



CITY OF NORTH RIDGEVILLE

PLANNING COMMISSION



Vice-Chairwoman Jennifer Swallow
Member Steve Ali

Chairman James Smolik
7307 Avon Belden Road
North Ridgeville, Ohio 44039
(440) 353-0513

Member Jason R. Jacobs
Council Liaison Bruce F. Abens

AGENDA

REGULAR MEETING – TUESDAY, AUGUST 11, 2020

TO ORDER: 7:00 PM

ROLL CALL:

MINUTES: Regular meeting held Tuesday, July 14, 2020

CORRESPONDENCE:

OLD BUSINESS:

NEW BUSINESS:

APPLICANT: Ryan Schulthesis, Root Development & Construction
36097 Westminister Ave., North Ridgeville, OH 44039

OWNER: Root Development & Construction
36097 Westminister Ave., North Ridgeville, OH 44039

REQUEST: Final plat approval for Harvest Pointe Subdivision Phase 2

LOCATION: East side of Root Rd. & South side of Lorain Rd.
Permanent Parcel No. 07-00-011-103-189

ADJOURNMENT:

NOTICE TO THE PUBLIC

Due to current restrictions associated with the ongoing coronavirus pandemic (COVID-19), City Hall will remain closed to the general public for this public meeting. However, to ensure public viewing and participation, this meeting will be live streamed on our YouTube channel:

www.youtube.com/channel/UCThTaGFRof_AOvxSYAzMNYg

NEXT REGULAR MEETING WILL BE HELD THURSDAY, SEPTEMBER 10, 2020

**NORTH RIDGEVILLE PLANNING COMMISSION
AGENDA – TUESDAY, AUGUST 11, 2020**

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Interested parties may submit comments and questions during the meeting using the YouTube live chat feature; or in advance of the meeting by emailing Lisa Ciofani at lciofani@nridgeville.org. Your comments or questions will be read into the record.

Visit the Planning Commission web site to access the electronic agenda, along with agenda items: www.nridgeville.org/PlanningCommission.aspx

*DON'T FORGET TO **SUBSCRIBE** TO OUR **YOUTUBE CHANNEL** TO TUNE
IN TO **ALL CITY PUBLIC MEETINGS!***

**NORTH RIDGEVILLE PLANNING COMMISSION
MINUTES OF
REGULAR MEETING – TUESDAY, JULY 14, 2020**

CALL TO ORDER:

Chairman Smolik called the Planning Commission meeting to order with the Pledge of Allegiance at 7:02 PM.

ROLL CALL:

Present were members Jason R. Jacobs, Council Liaison Bruce F. Abens, Vice-Chairwoman Jennifer Swallow and Chairman James Smolik.

Member Steve Ali was absent.

Also present was Chief Building Official Guy Fursdon, Assistant Law Director Toni Morgan, Fire Chief John Reese, City Engineer Dan Rodriguez, Assistant Clerk of Council Tara Peet, and Deputy Clerk of Council Lisa Ciofani.

Chairman Smolik announced that, though this was a virtual meeting, in accordance with the State of Ohio, public notice was issued to all abutting residences and was also posted on the City of North Ridgeville website. He stated that the meeting was live streaming to the City of North Ridgeville YouTube channel, which was being monitored for input from the public by the Assistant Clerk of Council Peet. He indicated that members of the Commission will be advised of any comments posted to the YouTube channel.

MINUTES:

Chairman Smolik asked if members had a chance to review the minutes of the regular meeting on Tuesday, June 9, 2020. He asked if there were any corrections. Hearing no corrections, the minutes were received and filed.

CORRESPONDENCE:

None

OLD BUSINESS:

None

NEW BUSINESS:

APPLICANT: Bradley Mull, Mull & Weithman Architects, 4525 Indianola Ave., Columbus, OH 43214

OWNER: City of North Ridgeville, Fire Station No. 2

REQUEST: Additions and renovations to Fire Station No. 2

LOCATION: 34523 Lorain Road in a B-3 Highway Commercial District

Application was read.

Administrative comments were read.

Chairman Smolik stated that a representative was present. He asked that he state his name and address for the record and describe the project to the Commission.

Bradley Mull, Mull and Weithman Architects, 4525 Indianola Ave, Columbus, Ohio, 43214, stated they are proposing two additions to Fire Station #2: one addition to the east along apparatus base which allows for proper storage for equipment that is on the base at this time and one addition to the south of the administrative area of the station which is for physical fitness equipment that is also stored in the base at this time. Renovation part of project will be dormitory and replacing HVAC systems that are currently there.

Chairman Smolik asked for any further questions or comments.

Council Liaison Abens asked what the setback was of next door neighbor to east.

Mr. Mull advised the southeast corner is 1.8 feet from property line and property line is at an angle and displays outward towards the north, where there is more space.

Chairman Smolik asked administration if setback is being brought forth to BZBA.

Chief Building Official Fursdon advised the City is exempt from zoning code.

Mr. Mull advised they will be providing a fire rating on wall and also added per 1973 drawings, an addition was anticipated for the future and has document he can share if Commission would like.

Chairman Smolik asked for any further questions or comments.

Chairman Smolik asked if dumpster was going to be relocated during this project and if so, where would it be located.

Mr. Mull said the dumpster is not currently part of the project and it will remain as is.

Chairman Smolik asked if dumpster would remain in the front of the station.

Mr. Mull confirmed same.

Chairman Smolik asked if fire trucks have adequate turning radius with back addition pushing building out.

Mr. Mull confirmed there is adequate turning radius and a site plan was included with package showing same.

Chairman Smolik stated he understands City is exempt from setbacks but wonders if we should build that close to property line regarding expansion along the east. Chairman Smolik asked if there were any other floor plans developed where there is no encroachment on property.

Mr. Mull advised there was another floor plan however, it still encroached to the east.

Chairman Smolik asked if there were multiple variations of floor plans in order to get out of encroachment. He wanted to make sure City did due diligence in trying to come up with floor plan that is not hugging property line.

Mr. Mull stated they look at different organization of spaces along the east but everything is located there functionally. He asked if Chief Reese had anything to add.

Chief Reese advised they did look at a different layout that had L-shape off the back but they would have lost access to one of the apparatus bays. Also stated in previous drawings there was always a proposed apparatus bay to that side. They are trying to meet modern building code standards but nothing has been done to that building aside from general maintenance since 1973.

Chairman Smolik stated it appeared the City had done due diligence and this is the only layout that works in order to serve the community.

Chief Reese confirmed Chairman Smolik's statement.

Chairman Smolik asked for any further questions or comments. No discussion was offered.

Chairman Smolik opened up comments or questions to public.

Assistant Clerk of Council Peet advised no discussion was offered.

Chairman Smolik asked for any additional questions or comments.

Chief Building Official Fursdon asked if any residents have raised any concerns that Fire Chief Reese is aware of.

Chief Reese replied no, not that he is aware of. He added there is a fence buffer and landscaping and is hoping this does not change anything for residents.

Chairman Smolik opened for a motion.

It was moved by Vice-Chairwoman Swallow and seconded by Jacobs to approve the request as submitted.

A voice vote was taken and the motion carried.

Yes – 4 No – 0

Chairman Smolik commented to the representative the paperwork would be handled internally since the City is the owner.

APPLICANT: Richard Stickland, UYA Holdings, LLC, 118 Mill Street, Medina, OH 44256

OWNER: UYA Holdings, LLC, 118 Mill Street, Medina, OH 44256

REQUEST: Construction of a production facility

LOCATION: 7385 Race Road, south of Center Ridge Road in a B-3 Highway Commercial District

Permanent Parcel No. 07-00-034-000-137

Application was read.

Administrative comments were read.

Chairman Smolik stated that a representative was present. He asked that he state his name and address for the record and describe the project to the Commission.

Richard Stickland, owner, 118 Mill St, Medina, Ohio 44256, stated he was aware the building was placed too close and the builder/architect had realized same and moving the building is not a problem. Already have buffer zones shown to the east of building. Biggest hurdle is proximity to fire hydrant and ability to turn around fire truck. Met with Assistant Chief Mike Uhnak and discussed possibility of bringing road around south end of building into back with concrete down South side of building where truck could be turned around. Waiting on architect's ideas on same.

Chairman Smolik asked for owner to confirm he is willing to move structure 25 feet off property line.

Mr. Stickland advised moving the structure actually helps with distance in driveway and distance in being close to fire hydrant.

Chairman Smolik asked for any additional questions or comments.

Council Liaison Abens asked for purpose of building.

Mr. Stickland advised it will be used to repair automobiles in collision business for his aluminum operation. In order for certifications, they require a separate area for aluminum repair.

Council Liaison Abens asked if there are any special requirements for air filters.

Mr. Stickland advised the only requirement is for portable air vacuum-type system when welding aluminum.

Council Liaison Abens asked if this would contribute to air quality around the neighborhood.

Mr. Stickland advised no, it would never make it outside of the building.

Chairman Smolik asked for any additional questions or comments.

Member Jacobs asked in order to comply with setback will the building be moved 25 feet south.

Mr. Stickland confirmed.

Chairman Smolik asked if there is a retention required for additional roof area.

City Engineer Rodriguez advised they were waiting to see what was submitted by Mr. Stickland but since it's existing area and less than 3,200 sq ft, it will not add much more roof area. Advised there are spoil mounds and asked that they don't block any properties. That will also be reviewed during improvement plans once submitted.

Chairman Smolik asked if parking would be expanded.

Mr. Stickland advised there most likely will be more parking and a proposed apron for when cars are in disassembly. Parking will be added in fenced in area and moved to northeast property boundary and to east fenced-in area, which is gravel.

Chairman Smolik asked if there are any additional questions or comments.

Chairman Smolik opened up comments or questions to public.

Assitant Clerk of Council Peet advised no discussion was offered.

Chairman Smolik asked for any additional questions or comments.

Council Liaison Abens asked if they build another 21 feet, what does that do to the fire separation to the existing building to the south and does it affect that.

Chief Building Official Fursdon advised they should have more than 30 feet and he doesn't believe a fire rating would be required. That would be discussed in their plan review when they receive drawings and directions.

Chairman Smolik opened for a motion.

It was moved by Vice-Chairwoman Swallow under the condition that there is a 25 ft setback change that the applicant has agreed to. Motion was seconded by Jacobs.

A voice vote was taken and the motion carried.

Yes – 4 No – 0

Chairman Smolik commented to the representative he would receive the signed paperwork later this week.

APPLICANT: Joe Molnar, Bob Schmitt Homes, Inc., 9095 Gatestone Road, North Ridgeville, OH 44039

OWNER: Same

REQUEST: Final plat approval of Ridgefield Subdivision, Phase No. 16

LOCATION: South of Sprague Road and adjacent to the Cuyahoga-Lorain County line in an R-1 Residence District
Permanent Parcel No. 07-00-001-000-409

Application was read.

Administrative comments were read.

Chairman Smolik stated that a representative was present. He asked that he state his name and address for the record and describe the project to the Commission.

Joe Molnar, Bob Schmitt Homes, 9095 Gatestone Road, North Ridgeville, OH 44039, advised this is the extension of Littlebrook Way and proposed 26 single family detached cluster units on west side and two single family units on east side.

Chairman Smolik confirmed the key is 1.96 units per acre and code is 2.3 so they are under. Chairman asked if there are any questions or comments.

Council Liaison Abens said with the last major storm there were a number of residents complaining roads were filled with water and asked if this will be remedied or ongoing.

City Engineer Rodriguez explained streets and sewers are designed to hold 10 yr storm event to the grate. When there is a storm event greater than 10 yr storm, there will be water there for a period of time. Area meets requirements but with heavy storm, there will be water on the road.

Mr. Molnar advised water is not reaching houses and stays in streets and in retention basin.

City Engineer Rodriguez advised the intensity charts have not been recently updated.

Member Jacobs asked if new street going in will have the same issue with water in the street.

Mr. Molnar advised no, there will be a temporary retention basin at the end of the cul-de-sac that will hold the water.

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Chairman Smolik opened up comments or questions to public. Bill S. asked exact location of new street.

Mr. Molnar advised location is off of Longbrook Drive and Littlebrook Way. Mr. Molnar added when report was read, it stated property abutted north line of North Ridgeville and south of Sprague Road however, they aren't close to Sprague Road or North line of subdivision.

Chairman Smolik asked for any further questions or comments. No discussion was offered.

Chairman Smolik opened for a motion.

It was moved by Jacobs and seconded by Swallow to approve the request as submitted.

A voice vote was taken and the motion carried.

Yes – 4 No – 0

Chairman Smolik commented to the representative that they would receive their signed copies later this week. City Engineer Rodriguez advised they would receive approved plans no later than the end of next week.

ADJOURNMENT:

The meeting was adjourned at 7:48 PM.

James Smolik
Chairman

Lisa M. Ciofani
Deputy Clerk of Council

Tuesday, August 11, 2020
Date Approved

Engineering Fee Paid: \$ 1,570.00
Receipt No.: 486900
☐ Cash ☒ Check - Check No.: 1138
(See attached for description of fees.)

Planning Commission & Bldg. Admin. Fees: \$ 321.00
Receipt No.: 00008414
☐ Cash ☒ Check - Check No.: 1137
(See attached for description of fees.)



RECEIVED

**CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
REQUEST FOR ACTION**

Received: JUL 09 2020 Date Released to Planning Commission: _____

Date of Planning Commission Meeting: _____ (Unless otherwise notified.)

APPLICANT INFORMATION AND REQUEST

APPLICANT: Ryan Schultheiss PROPERTY OWNER: Root Development & Construction
COMPANY NAME: Root Development & Construction ADDRESS: 36097 Westminster Ave.
ADDRESS: 36097 Westminster Ave. CITY / STATE: N. Ridgeville OH ZIP: 44039
CITY / STATE: N. Ridgeville OH ZIP: 44039 PHONE NO.: 440-353-2822
PHONE NO.: 440-353-2822 SIGNATURE: [Signature]
SIGNATURE: [Signature] (Owner's original signature must be submitted with application.)
EMAIL ADDRESS: Ryan@GreenQuestGroup.com

Please provide an email address, fax number or mailing address to send Administrative comments in advance of the meeting.

LOCATION OF PROPERTY/ADDRESS: East side of Root Rd. and South of Lorain Rd.
PERMANENT PARCEL NO.: 070001103189 ZONING OF PROPERTY: R-1
ZONING OF ADJACENT PROPERTY TO: NORTH R-1 EAST R-1 SOUTH R-1 WEST R-1
DESCRIPTION OF REQUEST: Final Plat approval of Harvest Pointe Phase 2

Have the Planning Commission or Board of Zoning and Building Appeals considered any prior request concerning this property? Yes ☒ No ☐

If yes, list dates and nature of each: Feb 12, 2019 Preliminary approval of Phase 1 & 2
April 14, 2020 Final Plat approval Phase 1

On the attached form, list the current record title owners(s) adjacent to the property of request. Include on this list the record title owner(s) name(s), permanent parcel number(s) and mailing address(es). Adjacent properties shall include those properties bordering to the north, south, east, west, across a street from the property involved and those properties meeting corners of the property involved.

In the event of property transfers, the applicant shall be responsible for providing an updated list of current adjacent record title owner(s) to the office of the Clerk of Council twenty-five days prior to the date of any public hearing when the applicant will appear on the agenda.

PLANNING COMMISSION USE ONLY:

☐ APPROVED ☐ DISAPPROVED

All approvals are conditional until applicant fully meets the requirements of applicable City ordinances enforced by the Chief Building Official, City Engineer, Fire Department and Police Department with respect to safety and design.

- ☐ Board of Building & Zoning Appeals Approval Required
☐ Conditions as set forth by the Commission on this date are: _____

Date: _____ Signature: _____
(Presiding Officer at Meeting)

Return completed form to Building Dept., 7307 Avon Belden Road, North Ridgeville, Ohio, 44039 after Commission action.

ALL FEES MUST BE INCLUDED WITH APPLICATION

Submit separate checks made payable to the "City of North Ridgeville" at departments noted below.

Planning Commission Application Fee

This fee must be submitted at time of application and a separate check for any of the applicable fees below.

Single Lot	\$100.00
Multiple Lots	\$300.00
Planning Commission Special Meeting Fee	\$250.00
Public Notification Fee	\$1.00 per notice of adjacent property owner(s)
<u>16</u> x \$1.00 = \$ <u>16</u>	
Number of Notices	Fee
Building Dept. Admin. Fee	\$5.00

300
+ 16
+ 5

\$321
==

Submit your application and check to the Building Department.

Engineering Deposit Fee

This fee must be submitted at time of application and also a separate check for the Planning Commission fee.

Residential Subdivision:

Preliminary	\$375.00
Final	\$975.00 plus \$35.00 per lot

Multi-Family Apartments, etc.	\$950.00 + \$30.00 per unit
Commercial Site Plan (1 Building)	\$1,125.00
Industrial Site Plan (1 Building)	\$1,125.00
Plot Plans, Lot Splits & Other Map Reviews	\$225.00

975
+ 595

\$1,570
==

This check is to be submitted to the City Engineer's Office.

Special Development District Deposit Fee.....\$5,000.00

This fee must be submitted at time of application in addition to a separate check for the Planning Commission fee.

This check is to be submitted to the Clerk of Council's office.

CANCELLATIONS: Applicants shall be charged a cancellation fee should a cancellation be due to the request of the applicant. The fee is \$1.00 per notice.

- **THE FOREGOING LISTS THE MINIMUM REQUIRED BY THE PLANNING COMMISSION. THE COMMISSION CAN AND MAY REQUIRE ADDITIONAL INFORMATION.**
- **APPLICANT OR A REPRESENTATIVE AUTHORIZED IN WRITING MUST APPEAR AT THE MEETING WHEN THE PROPOSAL IS CONSIDERED.**
- **THIS APPLICATION MUST BE FILLED OUT IN FULL, INCLUDING A COMPLETE LIST OF ALL CURRENT RECORD TITLE OWNER(S). ANY APPLICATION SUBMITTED CONTAINING BLANKS, OMISSIONS, OR NOT MEETING CODE REQUIREMENTS, MAY BE DELAYED OR REJECTED.**
- **THE CITY OF NORTH RIDGEVILLE STRIVES FOR ACCURACY IN THE NOTIFICATION OF ADJACENT RECORD TITLE OWNER(S). HOWEVER, IF THE CITY HAS MADE AN ERROR IN THE NOTIFICATION PROCESS, THIS WILL NOT BE CAUSE FOR REJECTION OF THIS APPLICATION.**
- **PER CHARTER SECTION 8.6, "ALL PLANS AND RECOMMENDATIONS MADE BY THE PLANNING COMMISSION SHALL BE SUBMITTED TO COUNCIL FOR APPROVAL BEFORE THE SAME SHALL BE CONSIDERED AS OFFICIAL."**

TO BE FILLED OUT BY APPLICANT

I, Ryan Schultheiss

(Print Name)

(Signature)

verify that the following are the names, mailing addresses and permanent parcel numbers of the current record title owners adjacent to the property of request for:

Applicant: Ryan Schultheiss

Owner: ~~Root Residential Development, LLC~~

Root Development & Construction

Project address: N/E Side of Root Road/S of Lorain Rd.

Permanent parcel no. 07-00-011-103-189

THE FOLLOWING INFORMATION MAY BE OBTAINED AT THE LORAIN COUNTY AUDITOR'S OFFICE,
ADMINISTRATION BUILDING., 226 MIDDLE AVENUE, ELYRIA, OHIO.
PHONE: 440-329-5207 WEBSITE: WWW.LORAINCOUNTY.COM/AUDITOR

	<u>ADJACENT PROPERTY OWNER/ADDRESS</u>	<u>PARCEL NUMBER</u>
✓1	Mildred I. Smith 8715 Rood Rd. North Ridgeville, OH 44039	07-00-011-103-028, 07-00-011-103-055, 07-00-011-103-076, & 07-00-011-103-068
✓2	Sarah L. Dill <u>Thomas & Janet Streeter</u> 8699 Root Rd. North Ridgeville, OH 44039	07-00-011-103-012, & 07-00-011-103-059
✓3	Robert B. Hayes & Carolyn L. Zack 41485 Russia Rd. Elyria, OH 44035	07-00-011-103-067, & 07-00-011-103-077 07-000-011-103-192
✓4	Robert S. & Julia E. Moore 34155 Lorain Rd. North Ridgeville, OH 44039	07-00-011-103-074, 07-00-011-103-090, 07-000-011-103-192
✓5	Ridgefield Homeowners Association 8700 Gatewood Dr. North Ridgeville, OH 44039	07-00-011-103-108
✓6	City of North Ridgeville 8949 Root Rd. North Ridgeville, OH 44039	07-00-011-103-058
✓7	Thomas E. & Margaret F. Lesniak 8781 Root Rd. North Ridgeville, OH 44039	07-00-011-103-048
✓8	David & Julie Gunn 8810 Root Rd. North Ridgeville, OH 44039	07-00-011-104-002
✓9	Gerald Simon 8776 Root Rd. North Ridgeville, OH 44039	07-00-011-104-007
✓10	Sarah J. Slacey 8754 Root Rd. North Ridgeville, OH 44039	07-00-011-104-008

SEE REVERSE SIDE FOR ADDITIONAL LISTINGS.

OFFICE USE ONLY

CBO verification by: _____

Date/time stamp: _____

BZA/PC verification by: _____

	<u>ADJACENT PROPERTY OWNER/ADDRESS</u>	<u>PARCEL NUMBER</u>
✓11	Michael G. & Maureen E. Kruichuk 8732 Root Rd. North Ridgeville, OH 44039	07-00-011-104-009
✓12	Catherine L. Rosbough 8710 Root Rd. North Ridgeville, OH 44039	07-00-011-104-011
✓13	Arthur K. & Charlotte A. Kline 8688 Root Rd. North Ridgeville, OH 44039	07-00-014-105-032
✓14	Robert M. & Gloria J. Stepp 8688 Root Rd. North Ridgeville, OH 44039	07-00-014-105-033
✓15	Lawrence J. Schroeder & Marianne Dechant 8644 Root Rd. North Ridgeville, OH 44039	07-00-014-105-034
✓16	Marvin C. & Phyllis J. Moore 8622 Root Rd. North Ridgeville, OH 44039	07-00-014-105-035
17	Robert P. Moore Holdings, LLC 34155 Larkin Rd. North Ridgeville, OH 44039	07-00-011-103-192
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PLEASE COPY THIS PAGE FOR ADDITIONAL LISTINGS OF ADJACENT PROPERTY OWNERS.

SUBDIVISION: Harvest Pointe

DATE: 7/6/2020

FINAL PLAT APPROVAL: §1224.02

The following item(s) (do, does, does not) conform with the requirements of the North Ridgeville City Subdivision Regulations. Those items not conforming are explained on the final page.

	Included	Not Included	Item
1	X		Application with names of adjacent parcel owners, parcel numbers and addresses: §1210.04
2	X		Preliminary plan approval on (date): <u>Feb 12, 2019</u> §1224.05(b)(2)
3	X		Subdivision plat drawn to scale of not less than 100 feet to the inch. If more than 2 sheets, an index sheet of same dimensions must be filed with the entire subdivision on 1 sheet with all areas shown on other sheets indicated. Drawings shall be held to a minimum of 18 inches by 24 inches and a maximum of 24 inches by 36 inches outside dimensions; and must be drawn using India ink: §1224.02(a)
4	X		The final plan shows boundary lines of the area being subdivided in heavy lines with accurate distances and bearings, including original lot, township, corporations and county lines and road center lines: §1224.02(a)(1)
5	X		The final plan shows property lines of all proposed streets with their widths, names, bearings and existing sanitary and storm sewers, water mains, culverts and other underground structures within the tract and adjacent thereto: §1224.02(a)(2)
6	X		The final plan shows the accurate boundary lines of all grounds for public use and the acreage of the same: §1224.02(a)(3)
7	X		The final plan shows all common boundary corners of all adjoining lands and adjacent streets with their widths and names, the names of adjoining subdivisions and the name of record owners of adjoining parcels of unplatted land: §1224.02(a)(4)
8	X		The final plan shows all lot lines with as many bearings as necessary to describe each line and a system for identification of lots, blocks and other areas: §1224.02(a)(5)
9	X		The final plan shows easements for public uses, services or utilities and their dimensions: §1224.02(a)(6)
10	X		The final plan shows all dimensions, linear and angular, boundary locations, lots, streets, easements and areas for public or private uses, expressed in decimals of a foot and the number of acres of each reserve, park, playground and other public areas: §1224.02(a)(7)
11	X		The final plan shows the radii and chords, points of tangency, control angles for all curvilinear street center lines and radii for all rounded corners: §1224.02(a)(8)
12	X		The final plans shows all arcs, chords lengths, bearings of chords and points of tangency of the property lines of the curvilinear lines: §1224.02(a)(9)
13	X		The name of the subdivision and a description of the property subdivided, showing its location and extent, points of compass, scale of plan, dedication of streets and other public open spaces, and the names of the owner and subdivider, together with the appropriate evidence of ownership of the subdivision: §1224.02(a)(10)

	Included	Not Included	Item
14	X		Certification by a surveyor, licensed or registered in the state, to the effect that the plan represents a survey made by him/her in which the traverse of the exterior boundaries of the tract and of each block, when computed from field measurements of the ground, closed within a limit of error of 1 foot to 10,000 feet of the perimeter before balancing the survey, and that all the required survey monuments are correctly shown thereon and that those which are necessary for construction of improvements are in place on the site, with any remaining survey monuments to be properly placed upon the completion of construction: §1224.02(a)(11)
15	X		Proper acknowledgement of consent of the plat by all parties having any record, legal right, title or interest in the property: §1224.02(a)(13)
16	X		Building setback lines with dimensions to be shown on plan: §1224.02(a)(14)
17	X		A copy of the preliminary title report: §1224.02 <i>On file w/ City</i>
18	X		A copy of improvement plans, if any, along with a subdivider's agreement, construction drawings, title sheet, plan view and profile view, engineering details, estimates of quantities and materials: §1228.01(a) through (h) <i>On file w/ City / Construction plans are being reviewed by Engineer</i>
19	X		10 copies of the subdivision plat: §1224.05(b)(2)A
20		X	A copy of the certificate from City Engineer that all improvements have been installed or a performance agreement and bond have been filed to secure the construction: §1224.05(b)(2)A 1 and 2 <i>→ We are not marketing Phase 2 lots at this time</i>

PLEASE NOTE THAT THIS CHECK LIST DOES NOT SUPERSEDE CITY ORDINANCES. PLEASE MAKE SURE YOU UNDERSTAND WHAT IS REQUIRED TO BE SUBMITTED TO PLANNING COMMISSION. THE APPLICATION MAY NOT BE ACCEPTED BY PLANNING COMMISSION IF ALL REQUIRED INFORMATION, PURSUANT TO CITY ORDINANCES, IS NOT SUBMITTED WITH THE APPLICATION.

**CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
RECOMMENDATIONS**

Name of Applicant:	Ryan Schultheiss
Name of Owner:	Root Road Development LLC
Date Submitted for Consideration:	7-9-20
Date to Return to Planning Commission:	7-20-20
Regarding: Harvest Pointe Subdivision No. 2 Final Plat	

RECOMMENDATIONS:

1. 1282.11 (a)(2) Harvest Pointe Subdivision has 17 dwellings (15 single family dwellings & 2 cluster family dwellings) with a density of 1.27 (17 dwellings divided by 13.3934 acres = 1.27).
2. 1282.11 (a)(3) Harvest Pointe Subdivision has 44% open space (5.9828 open space acres divided by 13.3934 total acres = 0.44).
3. 1282.11 (c)(5) requires 30 foot rear yard. Sublots 20,21& 22 do not indicate rear yard setback.

(use additional sheets if necessary)

Department Head Signature & Title: _____



Form prepared by the Office of the Clerk of Council 6-30-99. Amended 12-13-2005.

Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Commission Secretary not later than five (5) business days prior to the Commission meeting at which action is scheduled to be taken on the matter. (Planning Commission By-Laws, Article V, Section 3)

Comments received after the deadline will be distributed to the Members the night of the meeting.

**CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
RECOMMENDATIONS**

Name of Applicant:	Ryan Schultheiss; Root Development and Construction 36097 Westminister Ave, North Ridgeville, Ohio 44039
Name of Owner:	Root Development and Construction 36097 Westminister Ave, North Ridgeville, Ohio 44039
Date of Planning Commission Meeting:	Tuesday, August 11, 2020
Date to Return to Deputy Clerk of Council:	Thursday, July 30, 2020

Regarding: Final plat approval of Harvest Pointe Subdivision, Phase No. 2; located East side of Root Rd and South of Lorain Rd, in an R-1 Residence District.
Permanent Parcel No. 07-00-011-103-189

Recommendations:

1. Detailed improvement plans and stormwater managment calculations for this subdivision are currently under review in the Engineering Department. Plan approval has not been granted at this time.
2. No further comments at this time.

(Use additional sheets if necessary.)

Department Head Signature:  **Title:** City Engineer

Form prepared by the Office of the Clerk of Council 06-30-1999. Amended 05-30-2019.

Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Commission Secretary not later than five (5) business days prior to the Commission meeting at which action is scheduled to be taken on the matter.
(Planning Commission By-Laws, Article V, Section 3)

Comments received after the deadline will be distributed to the Members the night of the meeting.

**CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
RECOMMENDATIONS**

Name of Applicant:	Ryan Schultheiss; Root Development and Construction 36097 Westminister Ave, North Ridgeville, Ohio 44039
Name of Owner:	Root Development and Construction 36097 Westminister Ave, North Ridgeville, Ohio 44039
Date of Planning Commission Meeting:	Tuesday, August 11, 2020
Date to Return to Deputy Clerk of Council:	Thursday, July 30, 2020

Regarding: Final plat approval of Harvest Pointe Subdivision, Phase No. 2; located East side of Root Rd and South of Lorain Rd, in an R-1 Residence District.
Permanent Parcel No. 07-00-011-103-189

Recommendations:

No comments at this time.

(Use additional sheets if necessary.)

Department Head Signature: _____



Title: Assistant Fire Chief

Form prepared by the Office of the Clerk of Council 06-30-1999. Amended 05-30-2019.

Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Commission Secretary not later than five (5) business days prior to the Commission meeting at which action is scheduled to be taken on the matter.
(Planning Commission By-Laws, Article V, Section 3)

Comments received after the deadline will be distributed to the Members the night of the meeting.

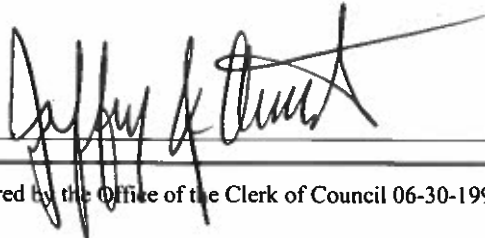
**CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
RECOMMENDATIONS**

Name of Applicant:	Ryan Schultheiss; Root Development and Construction 36097 Westminister Ave, North Ridgeville, Ohio 44039
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Recommendations:

(Use additional sheets if necessary.)

Department Head Signature: _____



Title: Safety Service Dir.
[Select Title...]

Form prepared by the Office of the Clerk of Council 06-30-1999, Amended 05-30-2019.

Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Commission Secretary not later than five (5) business days prior to the Commission meeting at which action is scheduled to be taken on the matter.
(Planning Commission By-Laws, Article V, Section 3)

Comments received after the deadline will be distributed to the Members the night of the meeting.

Harvest Pointe Subdivision No.2

P.P.N. 07-00-011-103-189, Root Residential Development LLC

Known as Being a part of Lots 11 & 14, Original Ridgeville Township 16 North,

Range 6 West within the Connecticut Western Reserve

City of North Ridgeville - County of Lorain - State of Ohio

June, 2020 Scale 1"=60'

OWNERS CONSENT:

WE, THE UNDERSIGNED ROOT RESIDENTIAL DEVELOPMENT LLC THROUGH RYAN E. SHULTHEISS, CONTROLLER, AND HOLDERS OF LIENS AND OTHER INTERESTS IN AND TO THE LANDS EMBRACED WITHIN THIS SUBDIVISION, DO HEREBY DECLARE THIS PLAT TO BE OUR FREE ACT AND DEED, AND DO HEREBY DEDICATE TO PUBLIC USE, FOREVER, THE STREETS AND RIGHT OF WAYS, EASEMENTS, AND OPEN SPACES, EXCEPTING THE EXISTING EASEMENTS, SHOWN ON THIS PLAT.

WE, THE OWNERS OF THE WITHIN PLATTED LAND, DO HEREBY GRANT UNTO THE **HARVEST POINTE SUBDIVISION HOMEOWNERS ASSOCIATION OR PROPERTY OWNER**, RESPONSIBILITIES FOR "**DRAINAGE EASEMENTS**" AS SHOWN HEREON, OUTSIDE OF THE PUBLIC RIGHT OF WAY, ARE RESPONSIBLE FOR MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES.

WE, THE OWNERS OF THE WITHIN PLATTED LAND, DO HEREBY GRANT UNTO THE **HARVEST POINTE SUBDIVISION HOMEOWNERS ASSOCIATION** RESPONSIBILITIES FOR "**BLOCK A**" AS SHOWN HEREON, ARE RESPONSIBLE FOR MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES IN SAID "**BLOCK A**".

WE, THE OWNERS OF THE WITHIN PLATTED LAND, DO HEREBY GRANT UNTO THE **HARVEST POINTE SUBDIVISION HOMEOWNERS ASSOCIATION** RESPONSIBILITIES FOR "**BLOCK B**" AS SHOWN HEREON, THE DESIGNATED OPEN SPACE AREA SHOWN HEREON SHALL BE PROHIBITED FROM FURTHER SUBDIVISION OR DEVELOPMENT AND SHALL BE MAINTAINED AND PRESERVED IN ITS NATURAL STATE

WE, THE OWNERS OF THE WITHIN PLATTED LAND, DO HEREBY GRANT TO **THE CITY OF NORTH RIDGEVILLE**, ITS SUCCESSORS AND ASSIGNS, "**STORM SEWER EASEMENT**" AS SHOWN HEREON WITH RIGHTS TO ACCESS, LAY, MAINTAIN, REPLACE, AND/OR REMOVE STORM SEWERS, INLETS, DITCHES, SWALES, EARTH MOUNDS, PLANTINGS, AND/OR OTHER APPURTENANCES. THE INDIVIDUAL PROPERTY OWNER, OVER WHICH SAID EASEMENT LIES, SHALL BE RESPONSIBLE FOR THE DAILY NORMAL MAINTENANCE OF THE EASEMENT AREA SUCH AS MOWING, LEAF COLLECTION AND DISPOSAL, AND ANY OTHER SIMILAR MAINTENANCE NOT REQUIRING THE USE OF SPECIAL OR HEAVY EQUIPMENT. ANY REGRADING OF THE EASEMENT AREA SHALL BE SUBJECT TO CITY CODES.

OWNER:

ROOT RESIDENTIAL DEVELOPMENT LLC.

RYAN E. SHULTHEISS, CONTROLLER

STATE OF OHIO)

COUNTY OF LORAIN)

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED, ROOT RESIDENTIAL DEVELOPMENT LLC, THROUGH RYAN E. SHULTHEISS, CONTROLLER, WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING INSTRUMENT AND THAT THE SAME IS HIS FREE ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT _____, OHIO, THIS _____ DAY OF _____, 2020.

NOTARY PUBLIC

MORTGAGE RELEASE:

THIS IS TO CERTIFY THAT THE UNDERSIGNED _____ HOLDER OF A MORTGAGE DEED ON LANDS SHOWN WITHIN THIS FINAL PLAT, HAVING EXAMINED SAID FINAL PLAT, DO HEREBY ACCEPT THE SAME TO BE CORRECT AND CONSENT TO DEDICATE TO PUBLIC USE THE STREETS SHOWN HEREON.

SIGNED

MORTGAGEE

STATE OF OHIO)

COUNTY OF LORAIN)

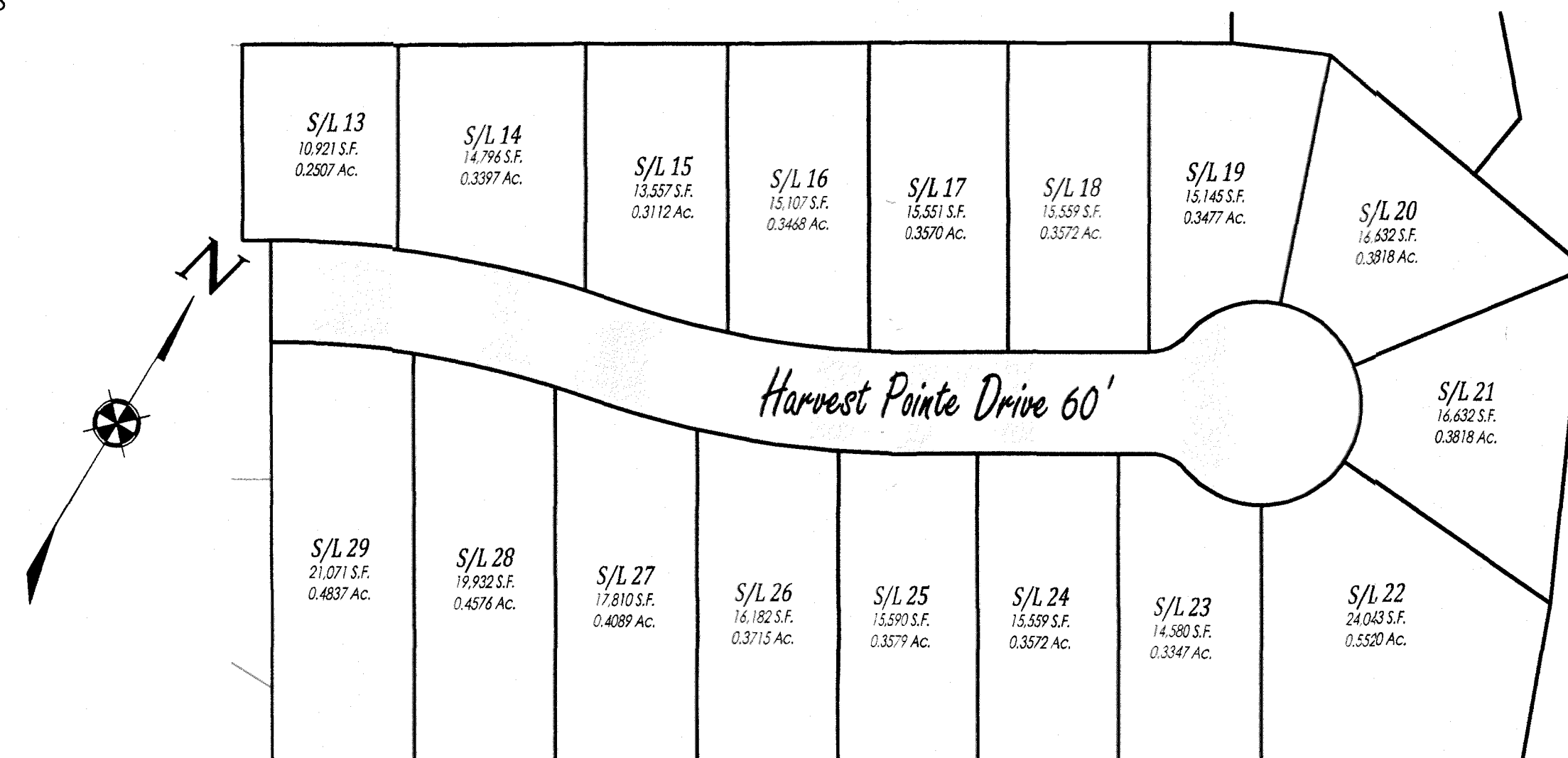
BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED, _____ WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING INSTRUMENT AND THAT THE SAME IS HIS FREE ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT _____, OHIO, THIS _____ DAY OF _____, 2020.

NOTARY PUBLIC



Vicinity Map - Scale 1" = 1000'



Site Layout - Scale 1" = 80'

AREA TABULATION:

AREA IN PROPOSED R.O.W.	= 1.0132 Acres
AREA IN SUBLOTS	= 6.3974 Acres
AREA IN BLOCK A	= 0.8711 Acres
AREA IN BLOCK B	= 5.1117 Acres
TOTAL AREA	= 13.3934 Acres

LOT REQUIREMENTS:

MINIMUM SETBACK = SHOWN ON PLAT
MINIMUM SIDEYARD - 5' (A TOTAL OF 15')
MINIMUM REAR YARD = SHOWN ON PLAT

APPROVALS:

APPROVED BY THE CITY ENGINEER OF THE CITY OF NORTH RIDGEVILLE THIS _____ DAY OF _____, 2020.

CITY ENGINEER _____ PRINT NAME

APPROVED BY THE COUNCIL OF THE CITY OF NORTH RIDGEVILLE THIS _____ DAY OF _____, 2020.

MAYOR _____ PRINT NAME

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF NORTH RIDGEVILLE THIS _____ DAY OF _____, 2020.

PLANNING COMMISSION CHAIRMAN _____ PRINT NAME

EASEMENT GRANT:

WE, THE UNDERSIGNED, ROOT RESIDENTIAL DEVELOPMENT LLC THROUGH RYAN E. SHULTHEISS, CONTROLLER, DO HEREBY GRANT UNTO OHIO EDISON, FRONTIER TELEPHONE CO., COLUMBIA GAS, AND TIME WARNER CABLE, THEIR SUCCESSORS AND ASSIGNS (HEREINAFTER REFERRED TO AS GRANTEES) A PERMANENT EASEMENT TWELVE (12) FEET IN WIDTH UNDER, OVER AND THROUGH ALL SUBLOTS AS SHOWN HEREIN, PARALLEL WITH AND CONTIGUOUS TO ALL STREET LINES TO CONSTRUCT, PLACE, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT AND RELOCATE SUCH UNDERGROUND ELECTRIC AND COMMUNICATIONS CABLES, DUCTS, CONDUITS, SURFACE OR BELOW GROUND MOUNTED TRANSFORMERS AND PEDESTALS, CONCRETE PADS AND OTHER FACILITIES AS ARE DEEMED NECESSARY OR CONVENIENT BY THE GRANTEES FOR DISTRIBUTING ELECTRICITY AND COMMUNICATION SIGNALS FOR PUBLIC OR PRIVATE USE AT SUCH LOCATIONS AS GRANTEES MAY DETERMINE UPON, WITHIN, AND ACROSS THE EASEMENT PREMISES. SAID EASEMENT RIGHTS SHALL INCLUDE THE RIGHT TO REMOVE TREES AND LANDSCAPING INCLUDING LAWNS WITHIN AND WITHOUT SAID EASEMENT PREMISES, WHICH MAY INTERFERE WITH THE INSTALLATION, REPAIR, MAINTENANCE OR OPERATION OF SAID ELECTRIC AND COMMUNICATION FACILITIES, THE RIGHT TO INSTALL, REPAIR, AUGMENT AND MAINTAIN SERVICE CABLES OUTSIDE OF THE ABOVE DESCRIBED EASEMENT PREMISES AND THE RIGHT OF ACCESS, INGRESS AND EGRESS TO AND FROM ANY OF THE WITHIN DESCRIBED PREMISES FOR EXERCISING ANY OF THE PURPOSES OF RIGHT OF WAY AND EASEMENT GRANT. ALL SUBLOTS SHALL BE RESTRICTED TO UNDERGROUND UTILITY SERVICE.

BY: ROOT RESIDENTIAL DEVELOPMENT LLC THROUGH RYAN E. SHULTHEISS, CONTROLLER

RYAN E. SHULTHEISS, CONTROLLER

WITNESS

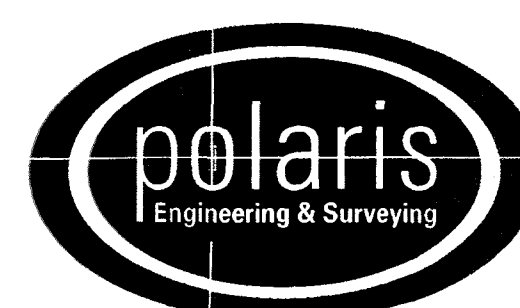
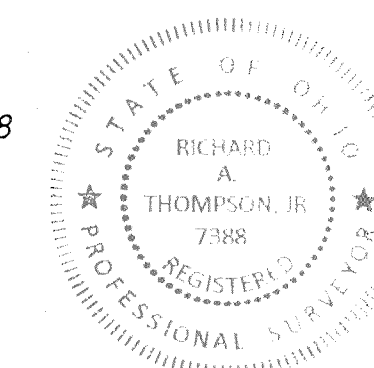
WITNESS

BOUNDARY CERTIFICATION:

THIS IS TO CERTIFY THAT AT THE REQUEST OF THE OWNER, I HAVE SURVEYED AND PLATTED HARVEST POINTE SUBDIVISION NO. 2, AS SHOWN HEREON. AT ALL POINTS SO INDICATED, MONUMENTS WERE EITHER FOUND OR SET. DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF. BEARINGS REFER TO THE OHIO COORDINATE SYSTEM OF 1983 - NORTH ZONE 1986 ADJUSTMENT.

THIS IS TO CERTIFY THAT THIS PLAT REPRESENTS A SURVEY IN WHICH THE TRAVERSE OF THE EXTERIOR BOUNDARIES WHEN COMPUTED FROM FIELD MEASUREMENTS WAS ACCURATE TO WITHIN A MINIMUM PRECISION OF 1:10,000 BEFORE BALANCING THE SURVEY, AND THAT ALL THE REQUIRED MONUMENTS ARE CORRECTLY SHOWN HEREON AND THAT THOSE WHICH ARE NECESSARY FOR CONSTRUCTION OF IMPROVEMENTS ARE IN PLACE ON THE SITE WITH ANY REMAINING SURVEY MONUMENTS TO BE PROPERLY PLACED UPON COMPLETION OF CONSTRUCTION.

RICHARD A. THOMPSON, JR.
OHIO PROFESSIONAL SURVEYOR #7388
DATE: 06/17/20



POLARIS ENGINEERING
and SURVEYING, INC.
34600 CHARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
(440) 944-4433 (440) 944-3722 (Fax)
www.polaris-es.com

CONTRACT No.

18175

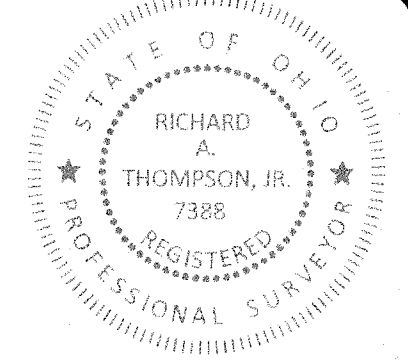
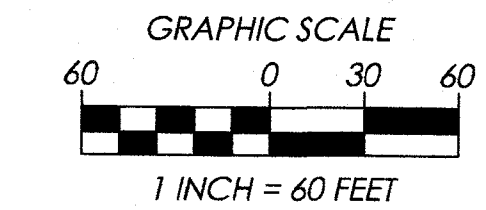
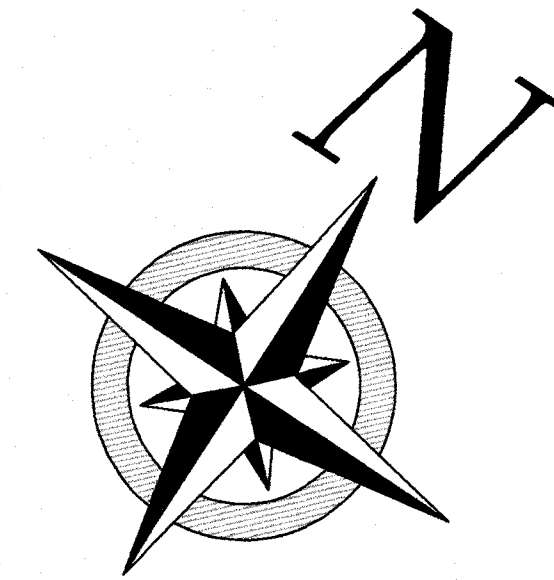
SHEET OF

01 02

Harvest Pointe Subdivision No.2

BEARINGS REFER TO THE OHIO
STATE PLANE COORDINATE SYSTEM
OF 1983 - NORTH ZONE
(1986 ADJUSTMENT)

• = 5/8 X 30 INCH IRON PIN TO BE
SET W/ I.D. CAP STAMPED "POLARIS
S-7087" UNLESS OTHERWISE NOTED



WILLIAM J. MAJCHER
INST. NO. 2018-0684135
P.P.N. 07-00-014-106-008 &
07-00-011-103-188

ROBERT S. & JULIA E. MOORE
INST. NO. 2019-0729354
P.P.N. 07-00-011-103-074

S 58°04'37" W 989.50' (Act.) 989.57' (Dd.) to C.L.

ROOT RESIDENTIAL DEVELOPMENT LLC
INST. NO. 2018-0683253
P.P.N. 07-00-011-103-189

ROBERT P. MOORE HOLDINGS
INST. NO. 2018-0689333
P.P.N. 07-00-011-103-192

ROBERT S. & JULIA E. MOORE
INST. NO. 2003-0892624
P.P.N. 07-00-011-103-090

S 58°06'32" W 841.33' (Act.) 841.50' (Dd.)

N 57°38'43" E 970.14' (Act.) 970.15' (Dd.) to C.L.

ROBERT B. HAYES & CAROLYN L. ZACK
INST. NO. 1999-0624867
P.P.N. 07-00-011-103-077

MILDRED I. SMITH
INST. NO. 1988-0032607
P.P.N. 07-00-011-103-076

S 57°38'43" W 970.14' (Act.) 970.15' (Dd.) to C.L.

Block A
37,947 S.F.
0.8711 Ac.

Block B
222,666 S.F.
5.1117 Ac.

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C12	76.47'	609.29'	38.29'	76.42'	N61°14'28"E	7°11'28"
C13	115.46'	609.29'	57.90'	115.29'	N70°15'55"E	10°51'26"
C14	198.05'	579.29'	100.00'	197.09'	N67°26'22"E	19°35'18"
C15	85.34'	549.29'	42.76'	85.26'	N62°05'47"E	8°54'07"
C16	87.50'	549.29'	43.84'	87.40'	N71°04'38"E	9°07'35"
C17	16.37'	609.29'	8.19'	16.37'	N76°27'49"E	1°32'23"
C18	14.95'	549.29'	7.48'	14.95'	N76°27'13"E	1°33'35"
C19	72.29'	549.29'	36.20'	72.24'	N73°27'48"E	7°32'25"
C20	85.83'	549.29'	43.00'	85.75'	N65°13'00"E	8°57'12"
C21	73.79'	609.29'	36.94'	73.74'	N73°45'51"E	8°56'20"
C22	86.04'	609.29'	43.09'	85.97'	N66°14'58"E	8°05'27"
C23	48.48'	609.29'	24.25'	48.44'	N59°55'29"E	4°33'31"
C24	198.05'	579.29'	100.00'	197.09'	N67°26'22"E	19°35'18"
C25	29.67'	549.29'	14.84'	29.66'	N59°11'34"E	3°05'41"
C26	25.23'	30.00'	13.42'	24.49'	N33°33'02"E	48°11'23"
C27	62.40'	60.00'	34.35'	59.62'	N39°14'55"E	59°35'10"
C28	59.22'	60.00'	32.27'	56.84'	N82°41'04"W	56°32'51"
C29	59.22'	60.00'	32.27'	56.84'	N26°08'13"W	56°32'51"
C30	58.13'	60.00'	31.57'	55.88'	N29°53'28"E	55°30'32"
C31	50.46'	60.00'	26.83'	48.99'	N81°44'25"E	48°11'23"
C32	25.23'	30.00'	13.42'	24.49'	N81°44'25"E	48°11'23"

LORAIN
ROAD 60'

178°58'05" Rec
178°58'26" Act.

O.L. 14
O.L. 11

SARAH L. DITZEL
INST. NO. 1999-0617910
P.P.N. 07-00-011-103-012

MILDRED I. SMITH
INST. NO. 1988-0032607
P.P.N. 07-00-011-103-028

P.P.N. 07-00-011-103-068

S/L 8
7,667 S.F.
0.2219 Ac.

S/L 9
7,540 S.F.
0.1731 Ac.

S/L 10
7,540 S.F.
0.1731 Ac.

S/L 11
7,540 S.F.
0.1731 Ac.

S/L 12
7,540 S.F.
0.1731 Ac.

S/L 13
10,921 S.F.
0.2507 Ac.

S/L 14
14,796 S.F.
0.3397 Ac.

S/L 15
13,557 S.F.
0.3112 Ac.

S/L 16
15,107 S.F.
0.3468 Ac.

S/L 17
15,551 S.F.
0.3570 Ac.

S/L 18
15,559 S.F.
0.3572 Ac.

S/L 19
15,145 S.F.
0.3477 Ac.

S/L 20
16,632 S.F.
0.3818 Ac.

S/L 21
16,632 S.F.
0.3818 Ac.

S/L 22
24,043 S.F.
0.5520 Ac.

S/L 23
14,580 S.F.
0.3372 Ac.

S/L 24
15,559 S.F.
0.3572 Ac.

S/L 25
15,590 S.F.
0.3579 Ac.

S/L 26
16,182 S.F.
0.3715 Ac.

S/L 27
17,810 S.F.
0.4089 Ac.

S/L 28
19,932 S.F.
0.4576 Ac.

S/L 29
21,071 S.F.
0.4837 Ac.

S/L 30
10,900 S.F.
0.2502 Ac.

S/L 31
11,375 S.F.
0.2611 Ac.

S/L 32
10,900 S.F.
0.2502 Ac.

S/L 33
11,674 S.F.
0.2685 Ac.

S/L 34
9,857 S.F.
0.2263 Ac.

S/L 35
12,993 S.F.
0.2983 Ac.

S/L 36
10,900 S.F.
0.2502 Ac.

S/L 37
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S/L 155
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0.2502 Ac.

S/L 156
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0.2502 Ac.

S/L 157
10,900 S.F.
0.250

BEFORE BEGINNING CONSTRUCTION THE CONTRACTOR IS TO SUPPLY A SWP3 SIGNED BY THE CONTRACTOR AND ALL OF HIS SUBCONTRACTORS TO THE CITY OF NORTH RIDGEVILLE ENGINEERING DEPARTMENT.

"THE UNDERSIGNED HAS BECOME INFORMED AND UNDERSTANDS THEIR ROLE AND RESPONSIBILITY IN COMPLYING WITH THE STORM WATER POLLUTION PREVENTION PLAN"

CONTRACTOR: _____ BY: _____ DATE: _____

NOTES:

1. STREET LIGHTING REQUIRED TO BE INSTALLED BY THE DEVELOPER

2. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUPPLY A SIGNED CONSTRUCTION SET ACKNOWLEDGING THEIR RESPONSIBILITY TO FOLLOW THE SWPPP FOR THIS PROJECT.

THE UNDERSIGNED HAS BEEN INFORMED AND UNDERSTANDS THEIR ROLE AND RESPONSIBILITY IN COMPLYING WITH THIS STORM WATER POLLUTION PREVENTION PLAN:

CONTRACTOR: _____

BY: _____ DATE: _____

CONTRACTOR: _____

BY: _____ DATE: _____

CONTRACTOR: _____

BY: _____ DATE: _____

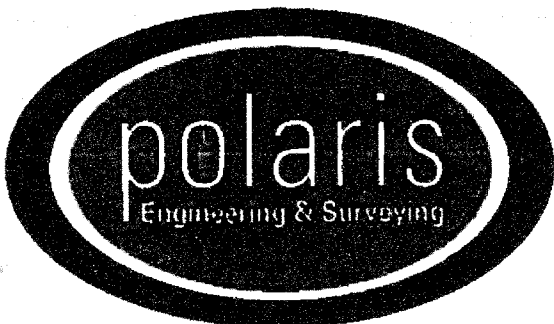
IMPROVEMENT PLANS FOR HARVEST POINTE SUBDIVISION No.2

CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO
MARCH, 2020

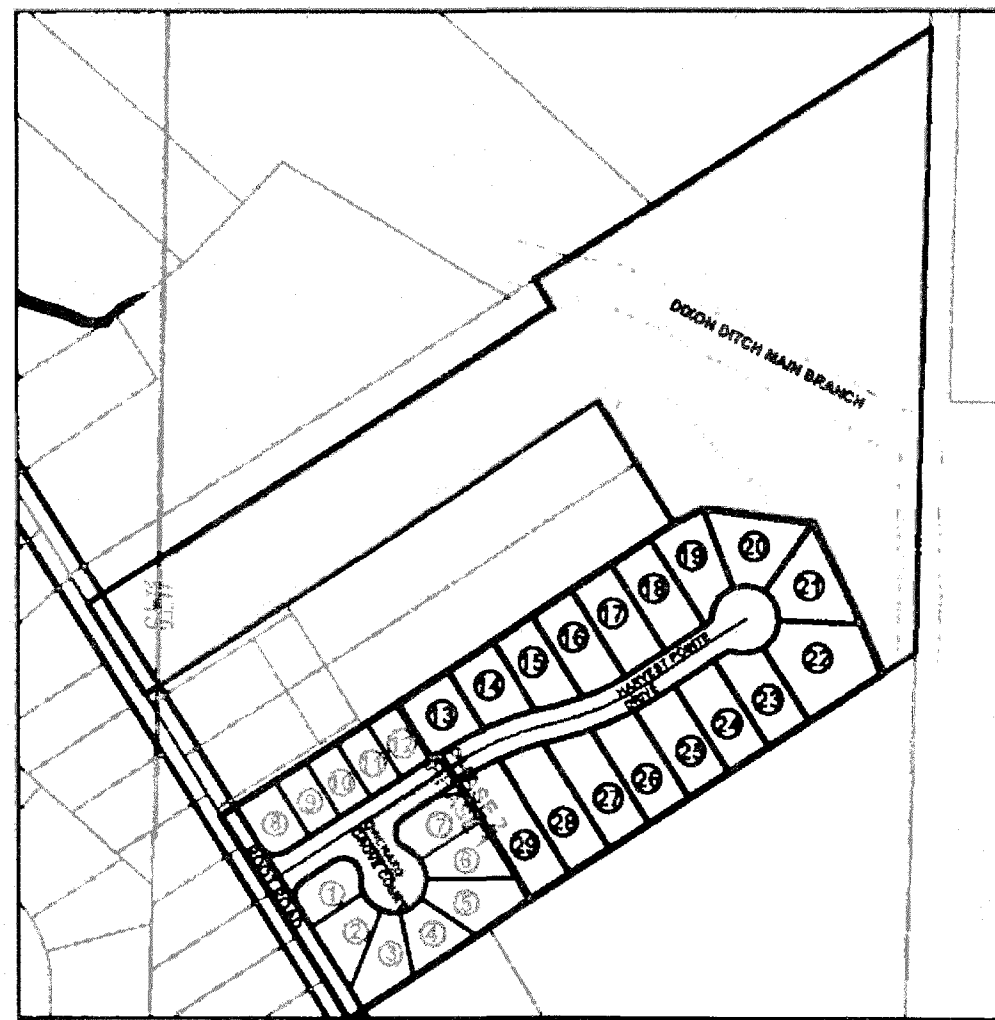
STREET LIGHTING NOTE:
STREET LIGHTING IS REQUIRED PER CNRO SECTION 1226.15. LAYOUT TO BE PROVIDED TO THE CITY FOR REVIEW AND APPROVAL. LED LIGHT FIXTURES TO BE USED.

SYMBOL LEGEND	
● Ex. Clean Out	○ Guy Wire
□ Ex. Catch Basin	○ Power Pole
■ Prop. Catch Basin	○ Light Power Pole
■ Ex. Curb Inlet	○ Light Pole
■ Prop. Curb Inlet	○ Traffic Signal Pole
○ Ex. Yard Drain	○ Traffic Signal Box
○ Ex. Manhole	○ Cable TV Box
○ Ex. Sanitary Manhole	○ Electrical Box
○ Prop. Sanitary Manhole	○ Telephone (SAC) Box
○ Ex. Storm Manhole	○ Tree
○ Prop. Storm Manhole	○ Pine Tree
○ Storm Inlet MH	○ Bush
○ Ex. Water Valve	○ Yard Light
○ Prop. WL Valve	○ Gasline Marker
○ Water Meter	○ Power Transformer
○ Ex. Fire Hydrant	○ Sprinkler Control Box
○ Prop. Hydrant	○ Sprinkler Head
○ Well	○ Sign
○ Gas Valve	○ Test Bore
○ Gas Meter	○ Guard Post
	○ Stump
	○ Mailbox

DESIGNED BY:



POLARIS ENGINEERING & SURVEYING, INC.
34600 CHARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
(440) 944-4433 (440) 944-3722 (Fax)
www.polaris-es.com



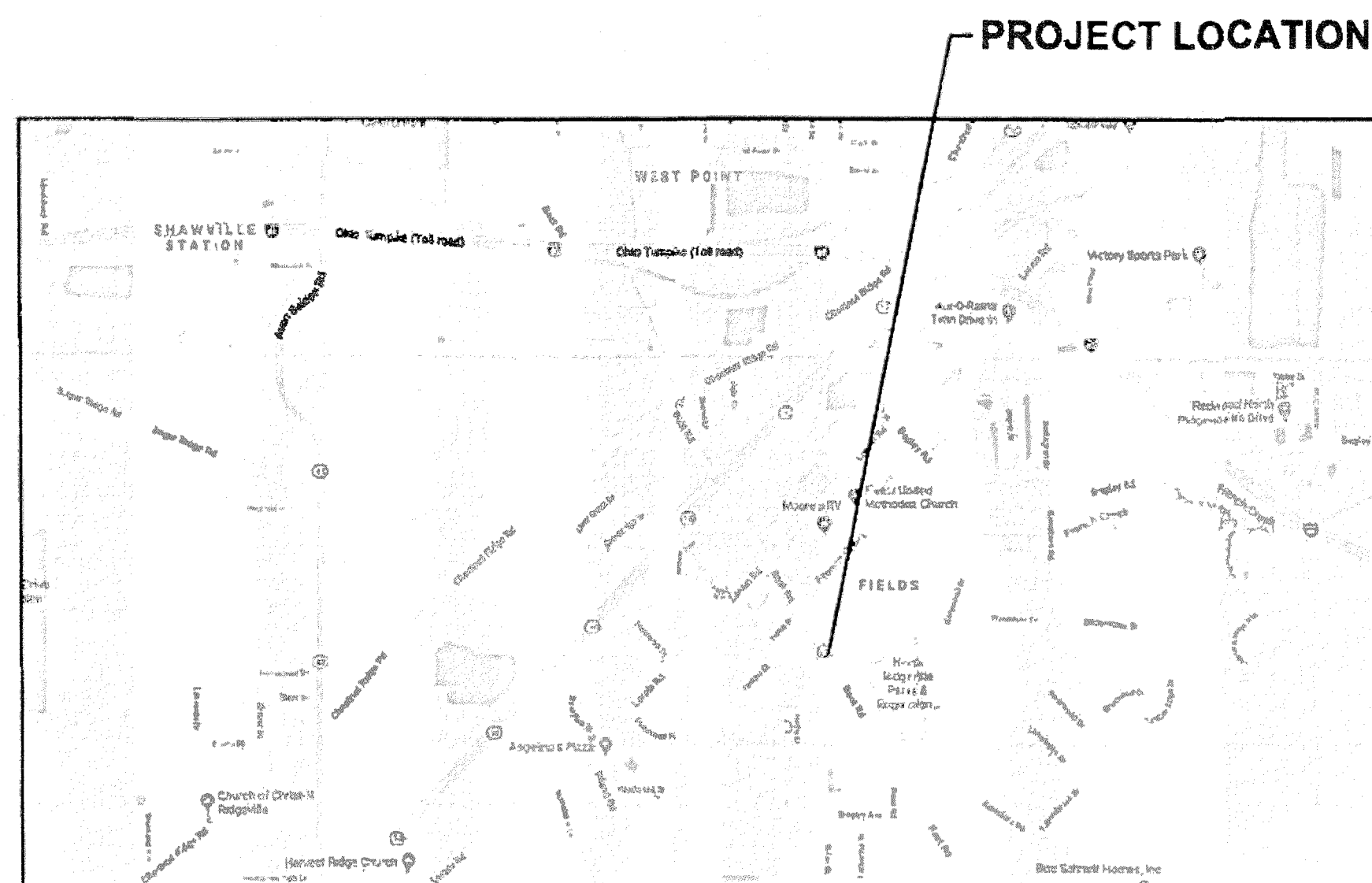
SITE MAP
N.T.S.

DEVELOPED BY:

ROOT DEVELOPMENT AND CONSTRUCTION LLC.
36097 WESTMINSTER AVENUE
NORTH RIDGEVILLE, OHIO 44039
PHONE: (440) 353-2822
CONTACT: RYAN SCHULTHEISS

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VICINITY MAP
N.T.S.

APPROVALS

SEWER APPROVED BY O.E.P.A. BY LETTER DATED: JULY 22, 2019.

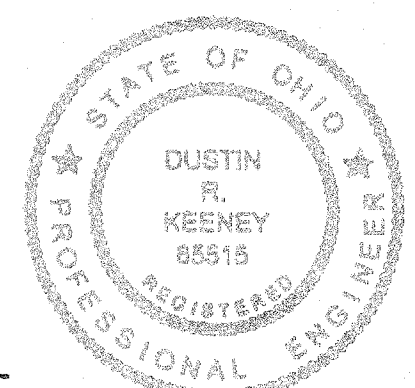
WATER APPROVED BY O.E.P.A. BY LETTER DATED: AUGUST 13, 2019.

APPROVED BY THE CITY OF NORTH RIDGEVILLE, OHIO:

BY: DANIEL A. RODRIGUEZ, PE DATE: _____
CITY OF NORTH RIDGEVILLE ENGINEER

EPA APPROVAL ONLY

Daniel Rodriguez
City Engineer



Dustin R. Keeney
ENGINEER P.E. #65515 2/xx/20

RECEIVED
JUN - 5 2020

TITLE SHEET

CONTRACT No.	
18175	
SHEET	OF
1	19

CITY OF NORTH RIDGEVILLE
STANDARD GENERAL NOTES

GENERAL

1. ALL WORK AND MATERIALS SHALL MEET THE RULES, LAWS & CODES OF THE CITY OF NORTH RIDGEVILLE.
2. THE FOLLOWING UTILITIES MAY BE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT:
- | | | |
|----------------------|--------------------------|----------------|
| PAVEMENTS | CITY OF NORTH RIDGEVILLE | (440) 353-0842 |
| STORM SEWERS | CITY OF NORTH RIDGEVILLE | (440) 353-0842 |
| SANITARY SEWERS | CITY OF NORTH RIDGEVILLE | (440) 353-0842 |
| WATERLINES | CITY OF NORTH RIDGEVILLE | (440) 353-0842 |
| GAS-COLUMBIS GAS | DAN SUREN | (440) 881-2428 |
| TELEPHONE-WINDSTREAM | GEOFF HAMM | (440) 329-4247 |
| ELECTRIC-OHIO EDISON | MIKE ZANNI | (440) 328-3271 |
| CABLE-SPECTRUM | RON HRIBAL | (440) 368-0416 |
- WATER TRANSMISSION AVON LAKE MUNICIPAL UTILITIES (440) 933-8226
- THE CONTRACTOR SHALL VERIFY THE ABOVE INFORMATION WITH OUPS WHEN HE CONTACTS THEM BEFORE CONSTRUCTION BEGINS.
3. THE CONTRACTOR SHALL LOCATE ALL UTILITIES OR UNDERGROUND STRUCTURES PRIOR TO CONSTRUCTION AND NOTIFY EACH RESPECTIVE UTILITY OWNER FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. WHERE IN ANY CASE THE PLANS AND SPECIFICATIONS DO NOT ENTIRELY COVER MATERIALS AND/OR WORKMANSHIP, THE "STATE OF OHIO, DEPARTMENT OF TRANSPORTATION, CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION WILL APPLY. ODOT REFERENCES MAY BE INDICATED THROUGHOUT THE PLANS. MATERIAL AND WORKMANSHIP SHALL ALSO CONFORM TO THE SPECIFICATIONS, RULES AND ORDINANCES OF THE CITY OF NORTH RIDGEVILLE. WHERE CONFLICTS OCCUR IN THE ABOVE, THE CITY ENGINEER SHALL DETERMINE THE GOVERNING AUTHORITY. ANY DEFECTS IN THE CONSTRUCTION INCLUDING MATERIALS OR WORKMANSHIP SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY ENGINEER. REFERENCES THROUGHOUT THESE PLANS TO "THE ENGINEER" SHALL BE THE CITY ENGINEER.
5. ALL WORK SHALL BE DONE IN A SAFE MANNER AND AS A MINIMUM SHALL COMPLY WITH THE SPECIFIC SAFETY REQUIREMENTS OF THE OSHA AS DEFINED IN 29 CFR 1926.
6. AT LEAST FIVE DAYS PRIOR TO THE START OF ACTUAL CONSTRUCTION WORK, A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD AT THE DIRECTION OF THE CITY OF NORTH RIDGEVILLE ENGINEER AND APPROPRIATE CITY OFFICIALS, AND THE OWNER'S ENGINEER. THE CONTRACTOR OR HIS AUTHORIZED SUPERINTENDENT SHALL BE PRESENT, ALONG WITH ANY AND ALL PRIVATE UTILITY COMPANY REPRESENTATIVES. THIS MEETING WILL BE FOR COORDINATION AND PROCEDURE REVIEW PRIOR TO COMMENCING ANY PHYSICAL WORK.
7. THE CONTRACTOR SHALL NOT COMMENCE WITH ANY FORM OF CONSTRUCTION WITHOUT GIVING 24 HOUR NOTICE TO THE OFFICE OF THE CITY ENGINEER TO ARRANGE FOR INSPECTION. IF ANY CHANGE IN THE WORK SCHEDULE BECOMES NECESSARY, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE INSPECTOR TO AVOID UNNECESSARY INSPECTION COSTS. IF NO NOTIFICATION IS MADE IN REGARDS TO CANCELLATION OF WORK, THE CONTRACTOR WILL BE CHARGED A MINIMUM OF FOUR (4) HOURS.
8. THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIAL, AND EQUIPMENT NECESSARY, SUCH AS CALCIUM CHLORIDE, WATER, OR A MOTORIZED DUST-FREE STREET SWEEPING DEVICE, AS DIRECTED BY THE ENGINEER, TO MAINTAIN ALL ROADWAYS BEING USED FOR ACCESS TO THE CONSTRUCTION SITE.
9. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY SAFEGUARDS SUCH AS BARRICADES, SATISFACTORY BARRIERS, LIGHTING, FLAGMEN, TEMPORARY GUARDRAIL, AND SUCH OTHER TRAFFIC CONTROL DEVICES AS PROVIDED IN "ITEM 614 - MAINTAINING TRAFFIC" SO AS TO AVOID DAMAGE AND/OR INJURY TO VEHICLES AND PERSONS USING THE ROADWAY DURING CONSTRUCTION. ALL AREAS OF PAVEMENT REMOVAL WHICH HAVE NOT BEEN FULLY RESTORED SHALL BE PROTECTED WITH CONES OR DRUMS DURING DAYLIGHT HOURS. THESE AREAS SHALL BE PROTECTED WITH FLASHING BARRICADES OR DRUMS WITH STEADY BURNING LIGHTS AT NIGHT. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS AS TO THE PROPOSED WORK WITH MINIMUM HAZARD, DELAY, AND INCONVENIENCE TO THE MOTORISTS USING THE STREETS AFFECTED BY THE WORK DONE UNDER THE CONTRACT AND HE SHALL COORDINATE ALL CLOSING OF STREETS WITH THE CITY ENGINEER AND THE POLICE CHIEF OF THE CITY OF NORTH RIDGEVILLE.
10. ACCESS ROADS SHALL BE KEPT FREE OF MUD, DEBRIS, DIRT, ETC, AND SHALL BE CLEANED EVERY DAY AT THE END OF WORK OR MORE FREQUENTLY IF SO ORDERED BY THE CITY OF NORTH RIDGEVILLE.
11. THE CONTRACTOR AND ANY SUBCONTRACTOR SHALL HAVE A COMPETENT SUPERVISOR ON THE PROJECT AT ALL TIMES WHEN WORK IS BEING DONE.
12. NO SLAG OR OTHER SULFUROUS MATERIAL WILL BE USED ON THE PROJECT.

12. FOR RESIDENTIAL SUBDIVISIONS, THE TRAFFIC CONTROL SIGNS WILL BE ERECTED BY THE CITY OF NORTH RIDGEVILLE AND THE COST OF INSTALLATION WILL BE PAID BY THE DEVELOPER. THE INSTALLATION AND COST OF THE STREET NAME SIGNS AND STREET LIGHTS WILL BE DONE BY THE DEVELOPER AT HIS EXPENSE.

13. THE CITY ENGINEER SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING THE ACTUAL CONSTRUCTION.

EARTHWORK

1. ALL EXCAVATION AND FILL WORK SHALL BE DONE IN ACCORDANCE WITH ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS.
2. THE SUBGRADE IN THE STREET SHALL BE LEFT TWO INCHES HIGH FOR THE PAVEMENT CONTRACTOR TO TRIM DOWN TO FINAL GRADE. THE CONTRACTOR SHALL PROOF ROLL THE GRADE WITH A FULLY LOADED (MAXIMUM LEGAL WEIGHT) TRAILER DUMP TRUCK. ANY "SOFT" SPOTS SHALL BE REMOVED AND REPLACED WITH COMPACTED EARTH.
3. EARTHWORK SHALL BE DONE IN SUCH A FASHION AS TO NOT TRAP WATER DURING CONSTRUCTION.
4. TREE AND BRUSH CLEARING/DISPOSAL SHALL BE DONE IN A MANNER ACCEPTABLE TO THE CITY OF NORTH RIDGEVILLE.
5. ALL PAVEMENT AREAS SHALL HAVE ALL ORGANICS AND TOPSOIL REMOVED FROM THE AREA.
6. AT ALL TIMES DURING THE PROGRESS OF THE WORK AND UNTIL RELEASE OF THE CONTRACTOR FROM HIS GUARANTEE BY THE OWNER, THE CONTRACTOR SHALL MAINTAIN THE BACKFILLED TRENCHES AND OTHER EXCAVATIONS. IN PARTICULAR, THOSE TRENCHES OR EXCAVATIONS WHICH ARE WITHIN FIFTEEN (15) FEET OF THE EDGE OF PAVEMENT OR THE EDGE OF TRAVELED ROADWAYS, SHALL BE KEPT FILLED UP THE SAME LEVEL AS THE ADJACENT UNDISTURBED GROUND, ANY SETTLEMENT WHICH OCCURS DURING THIS PERIOD SHALL BE IMMEDIATELY FILLED IN TO PREVENT THE POSSIBILITY OF ACCIDENTS.
7. WHERE EXISTING SEWERS ARE ENCOUNTERED AND ARE INTERFERED WITH, FLOWS SHALL BE MAINTAINED. SEWAGE OR OTHER LIQUID MUST BE HANDLED BY THE CONTRACTOR EITHER BY CONNECTION INTO OTHER SEWERS (WITH THE APPROVAL OF THE CITY ENGINEER) OR BY TEMPORARY PUMPING TO A SATISFACTORY OUTLET. SEWAGE OR OTHER LIQUID SHALL NOT BE PUMPED, BAILED OR FLUMED OVER THE STREET.
8. BACKFILL SHALL INCLUDE THE MATERIAL PLACED ABOVE THE BEDDING AND SHALL CONSIST OF FINELY DIVIDED SOIL FREE FROM STONES, RUBBISH, LARGE CLUMPS OR OTHER HARMFUL DEBRIS. THE BACKFILL SHALL BE TAMPED IN SIX (6) INCH LAYERS.
10. BACKFILL WITHIN EXISTING OR PROPOSED PAVED OR STONE STREETS, ALLEYS, DRIVEWAYS, PARKING AREA AND PROPOSED SIDEWALKS, OR WITHIN FIVE (5) FEET OF THESE AREAS SHALL CONSIST OF A DURABLE GRAVEL OR CRUSHED STONE MEETING THE REQUIREMENTS OF ITEM 304 OF THE CURRENT ODOT CONSTRUCTION AND MATERIAL SPECIFICATIONS. THE USE OF A 304 RECYCLED CONCRETE EQUIVALENT AND SLAG IS PROHIBITED. THE GRANULAR BACKFILL SHALL BE MECHANICALLY TAMPED IN SIX (6) INCH LAYERS SO THAT THE BACKFILL WILL HAVE A DENSITY EQUAL TO A MINIMUM OF 95% OF THAT POSSIBLE UNDER OPTIMUM MOISTURE CONTENT AS DETERMINED BY STANDARD PROCTOR TEST.

ROADWAY

1. ALL TREES AND BRUSH, AND ANY OTHER VEGETATION WITHIN THE LIMITS OF THIS PROJECT THAT INTERFERE WITH THE CONSTRUCTION SHALL BE REMOVED FROM THE SITE. STUMPS MAY BE GROUND OUT OR REMOVED FROM THE SITE.
2. ALL EARTHWORK SHALL HAVE INSPECTION AND TESTING AS DEEMED NECESSARY BY THE CITY OF NORTH RIDGEVILLE. SUCH INSPECTION WILL BE COORDINATED BY THE "CONTRACTOR", WHO SHALL USE A SOILS TESTING LABORATORY TO MAKE THE TESTS INCIDENTAL TO THE QUALITY CONTROL OF THE EARTHWORK OPERATION. SOIL TESTING AND CLASSIFICATION SHALL BE PERFORMED BY THE SOILS TESTING LABORATORY TO DETERMINE THE PROPER MOISTURE CONTENT AND SOIL DENSITY BEFORE BEGINNING EARTHWORK CONSTRUCTION. THE COST OF THIS INSPECTION AND TESTING WILL BE PAID BY THE CONTRACTOR. THE CONTRACTOR SHALL PRESENT HIS PLAN AND SCHEDULE FOR EARTHWORK OPERATIONS AT THE PRE-CONSTRUCTION CONFERENCE.
3. WHERE SOFT SUBGRADE IS ENCOUNTERED, DUE TO NO FAULT OR NEGLECT OF THE CONTRACTOR, IN WHICH SATISFACTORY STABILITY CANNOT BE OBTAINED BY MOISTURE CONTROL AND COMPACTION, THE UNSTABLE MATERIAL SHALL BE EXCAVATED TO THE DEPTH REQUIRED BY THE ENGINEER. BACKFILLING OF THESE EXCAVATED AREAS SHALL BE WITH EMBANKMENT MATERIAL FROM THE CONSTRUCTION PROJECT OR AGGREGATE BASE (ODOT ITEM 304) OR "AS DIRECTED BY THE ENGINEER."
4. CONCRETE WILL BE TESTED BY AN ODOT QUALIFIED LABORATORY DURING CONSTRUCTION FOR AIR ENTRAINMENT AND SLUMP. CONCRETE TEST CYLINDERS WILL BE PREPARED FOR EACH 50 YARDS OR FRACTION THEREOF. CONCRETE BEAMS MAY BE PREPARED AT THE CONTRACTOR'S OPTION. THE CONCRETE MIX DESIGN SHALL BE APPROVED BY THE SAME TESTING LABORATORY DESIGNATED TO PERFORM THE ON-SITE INSPECTION PRIOR TO CONSTRUCTION.
5. CONCRETE PAVEMENT CURING COMPOUND SHALL BE SILENCURE A FROM CHEMMASTERS, 300 EDWARDS ST., MADISON, OHIO, 44057.

6. IN AREAS OF HIGH GROUNDWATER OR WHERE SURFACE SEEPAGE HAS BEEN OBSERVED IT MAY BE NECESSARY TO CONSTRUCT DRAINS PERPENDICULAR TO THE PROPOSED PAVEMENT. THESE UNCLASSIFIED PIPE UNDERDRAINS, CONSTRUCTED IN ACCORDANCE WITH ODOT ITEM 605, SHALL BE 3 FEET BELOW PAVEMENT GRADE AND CONNECTED INTO THE APPROPRIATE STORM CONDUIT OR OUTLET. CONDUIT SHALL BE 6" DIAMETER PERFORATED PVC TYPE PS-48 PIPE CONFORMING TO ASTM F-758 OR 6" DIAMETER PERFORATED PSM POLYVINYL CHLORIDE (PVC) PIPE CONFORMING TO ASTM D-3034 SDR 35, WITH GEOTEXTILE DRAIN SLEEVE MEETING THE REQUIREMENTS OF ODOT 712.09, TYPE A, AND WITH NO. 8 STONE OR GRAVEL AGGREGATE.

UNDERGROUND INSTALLATIONS - GENERAL

1. THE VARIOUS UNDERGROUND INSTALLATION ITEMS SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL EXCAVATION, MATERIAL, LABOR, BEDDING, BACKFILL, COMPACTION, EQUIPMENT, UTILITY PROTECTION, MAINTENANCE OF ROADWAYS AND DRIVES UNTIL FINAL REPLACEMENT, PUMPING AND/OR DEWATERING, CONSTRUCTION AND REMOVAL OF ALL NECESSARY TRENCH PROTECTION AND ALL OTHER INCIDENTAL ITEMS NECESSARY TO INSTALL SUCH UTILITY. THE CONTRACTOR IS TO TOTALLY FAMILIARIZE HIMSELF WITH THE GROUND CONDITIONS THAT NOW DO OR MAY EXIST DURING THE CONSTRUCTION SO AS NOT TO ADVERSELY AFFECT THE INTEGRITY OF ANY UTILITY INSTALLATION OR STRUCTURE ON THE CONSTRUCTION SITE OR ADJACENT PROPERTIES.
2. ALL SANITARY SEWER AND STORM SEWER CONSTRUCTION SHALL CONFORM WITH ODOT ITEM 611.
3. ANY UNSUITABLE MATERIAL, MATERIAL NOT APPROVED BY THE ENGINEER FOR BACKFILL, AND MATERIAL IN EXCESS OF THAT REQUIRED FOR BACKFILLING SHALL BE DISPOSED OF BY THE CONTRACTOR ON THE SITE.
4. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PREVENT ANY CAVING OR SETTLING OF EXCAVATION OR TRENCH WALLS WHICH COULD ENDANGER THE SAFETY OF ANY PERSON ENGAGED IN THE WORK OR IN ANY WAY DAMAGE THE UNDERGROUND INSTALLATIONS OF ADJACENT UTILITY OR PROPERTY; OR DIMINISH THE TRENCH WIDTH NECESSARY FOR THE PROPER CONSTRUCTION OF THE UNDERGROUND INSTALLATION OR OTHERWISE INJURE OR DELAY THE WORK. THE TYPE AND AMOUNT OF SUCH PROTECTION, SUCH AS TRENCH BOXES, SHEETING, SHORING, OR BRACING SHALL BE CONSISTENT WITH THE DEPTH AND WIDTH OF EXCAVATION, THE COMPOSITION AND WATER CONTENT OF THE SOIL IN THE PROXIMITY OF STRUCTURES OR OTHER UTILITIES, THE VIBRATION FROM EQUIPMENT AND THE SPOIL PLACEMENT, AND SHALL BE IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. IN ORDER TO REDUCE GROUND WATER SEEPAGE AND PROVIDE A STABLE TRENCH IT MAY BE NECESSARY TO DEWATER PRIOR TO EXCAVATION OF THE SEWER TRENCH AND/OR PROVIDE TEMPORARY SUMPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT STRUCTURES, PAVEMENTS, OR UTILITIES, OR LOSS OF PRIVATE WELL WATER RESULTING FROM DEWATERING, LOSS OF GROUND, HEAVE, TRENCH CONSTRUCTION, AND ANY OTHER CONSTRUCTION METHODS. THE CONTRACTOR SHALL PROTECT ALL EXISTING SEWERS AND UTILITIES THAT THE PROPOSED INSTALLATION CROSSES BY COMPACTING THE BACKFILL UNDER SUCH EXISTING FACILITIES OR SHALL PROTECT THE EXISTING FACILITY IN A MANNER AS APPROVED BY THE ENGINEER. IF SHEETING IS USED, IT MAY BE NECESSARY TO DRIVE THE SHEETING SEVERAL FEET BELOW THE BOTTOM OF THE PIPE. WHEN USING MOVABLE TRENCH SUPPORTS OR SHEETING, CARE MUST BE EXERCISED SO AS NOT TO DISTURB THE PIPE LOCATION, JOINTING OR BEDDING MATERIAL. IF STEEL SHEETING IS USED IT SHALL BE HELD IN PLACE BY LONGITUDINAL BEAMS AND CROSS BRACES OR STRUTS AS REQUIRED TO RESTRAIN THE TOP OF THE SHEETING. IF TIMBER SHEETING AND BRACING IS USED, IT MUST BE OF GOOD QUALITY AND OF HARDWOOD CONSTRUCTION. AFTER THE PIPE HAS BEEN INSTALLED AND THE BALANCE OF THE BEDDING MATERIAL HAS BEEN PLACED OVER THE PIPE, THE REMOVAL OF ANY TRENCH PROTECTION SHALL BE CAREFULLY CONTROLLED. THE CONTRACTOR SHALL DEMONSTRATE THAT THE REMOVAL OF THE TRENCH PROTECTION WILL NOT ADVERSELY AFFECT THE PIPE LOCATION AND BEDDING. IF SHEETING CANNOT BE REMOVED WITHOUT ADVERSELY AFFECTING THE PIPE AND BEDDING LOCATION, THE ENGINEER MAY ORDER THE SHEETING CUT OFF AT SOME POINT, AT LEAST ONE FOOT ABOVE THE TOP OF THE PIPE AND LEFT IN PLACE.
6. PRIOR TO ANY CONNECTION INTO AN EXISTING SEWER MANHOLE OR CONDUIT THE CONTRACTOR SHALL TAKE SUCH MEASURES AS NECESSARY, "AS APPROVED BY THE ENGINEER", (I.E. TEMPORARY PLUGS, SAND BAGS, ETC.) DURING THE COURSE OF THE CONSTRUCTION OF THE PROPOSED SEWERS, TO GUARD AGAINST ANY DRAINAGE FROM ENTERING THE EXISTING SYSTEM AND POSSIBLY CONTAMINATING SUCH SYSTEM WITH SLT.

7. WHERE THE PROPOSED IMPROVEMENTS CROSS EXISTING OR PROPOSED PAVEMENTS, INCLUDING A POINT FIVE (5) FEET BEYOND SUCH CROSSINGS, OR WHERE THE CONSTRUCTION METHODS USED BY THE CONTRACTOR RESULT IN THE TRENCH WALL BEING LESS THAN 3 FEET FROM THE EDGE OF THE PAVEMENT, THE ENTIRE TRENCH BACKFILL SHALL BE COMPACTED IN LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS WITH MECHANICAL TAMPERS MEETING NINETY-EIGHT (98) PERCENT OF MAXIMUM LABORATORY DRY WEIGHT.

8. THE LINE AND GRADE OF SEWER MAINS SHALL BE CONTROLLED DURING THE SEWER CONSTRUCTION BY USE OF AN APPROVED LASER DEVICE.
9. AT ALL STORM SEWER MAIN AND SANITARY SEWER MAIN INTERSECTIONS (CROSSINGS) WHEN PIPE CLEARANCE IS LESS THAN 18", THE LOWER PIPE SHALL BE ENCASED AND THE UPPER PIPE SHALL BE MONOLITHICALLY GRADED IN 2500 PSI CONCRETE FOR THE WIDTH OF THE TRENCH. AT PIPE CROSSINGS GREATER THAN 18" THE BACKFILL BELOW THE UPPER PIPE SHALL BE COMPACTED IN PLACE TO THE SATISFACTION OF THE ENGINEER.

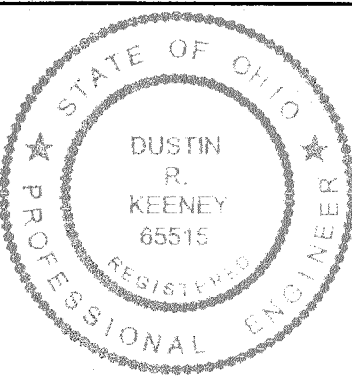
STORM SEWERS

1. STORM SEWER CONDUIT SHALL CONFORM TO THE FOLLOWING REQUIREMENTS: STORM CONDUIT BETWEEN STREET BASINS AND CONNECTING TO MANHOLE SHALL BE (A) ONLY IF COVER IS LESS THAN OR EQUAL TO ONE FOOT MEASURED FROM THE TOP OF THE PIPE TO THE BOTTOM OF THE SUBGRADE, OR MAY BE (E) IF COVER IS GREATER THAN ONE FOOT MEASURED FROM THE TOP OF THE PIPE TO THE BOTTOM OF THE SUBGRADE. ALL FOOTING DRAIN CONNECTIONS SHALL BE (B.) ONLY.
- A. REINFORCED CONCRETE PIPE ASTM C-76, "B" OR "C" WALL, 8 FOOT LENGTHS, WITH AN "O" RING CONFINED GASKET JOINT PER ASTM C-443: (A) 12" & LARGER DIA. CLASS IV.
- B. POLYVINYL CHLORIDE (PVC) ASTM D-3034 (SDR 35) (ODOT 707.45) WITH GASKET MATERIAL CONFORMING TO ASTM F-477 AND JOINTS PER ASTM D-3212 OR SOLVENT CEMENT JOINTS PER ASTM D-2584.
- C. PERMA-LOC (PVC) AASHTO SPECIFICATION IN M-304M (ODOT 707.43) WITH INTEGRAL BELL GASKET JOINTS IN ACCORDANCE WITH ASTM D-3212 AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- D. ULTRA-RIB (PVC) ASTM F 794 (ODOT 707.43) WITH INTEGRAL BELL AND SPIGOT JOINT IN ACCORDANCE WITH ASTM D-3212 AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- E. SMOOTH INTERIOR, CORRUGATED, HIGH DENSITY POLYETHYLENE PIPE (HDPE) CONFORMING TO AASHTO SPECIFICATIONS M252 TYPE S AND M-294 TYPE S, (ODOT 707.33) AOS N-12, HANCOR HI-Q, OR APPROVED EQUAL. THE JOINTS SHALL BE SLT-TIGHT AND THE GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477 (NOT PRESSURE RATED), INSTALLED IN ACCORDANCE WITH ASTM D-3212 AND MANUFACTURER'S RECOMMENDATIONS.
2. OTHER OPTIONAL MATERIALS MAY BE USED WHEN APPROVED BY THE CITY ENGINEER.
3. UNDERDRAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ODOT ITEM 605. CONDUIT SHALL BE 6" DIAMETER PVC TYPE PS-48 PIPE CONFORMING TO ASTM F-758, OR 6" DIAMETER PSM POLYVINYLCHELORIDE (PVC) PIPE CONFORMING TO ASTM D-3034 SDR 35, WITH A GEOTEXTILE SLEEVE MEETING THE REQUIREMENTS OF ODOT ITEM 712.09, TYPE A, AND WITH THE GRANULAR MATERIAL BEING NO. 57 AGGREGATE (NO SLAG).
4. ROOF DRAINS ARE TO BE DISCHARGED ONTO SPLASH BLOCKS. NO CONNECTION TO STORM SEWER.
5. AT LEAST 60 DAYS PRIOR TO THE END OF THE PERIOD FOR WHICH IMPROVEMENTS ARE COVERED BY MAINTENANCE BONDS, THE DEVELOPER SHALL CLEAN AND VIDEO TAPE THE STORM SEWER, SANITARY SEWER AND MANHOLES, OR CAUSE THIS TO BE DONE BY A SUBCONTRACTOR OR BUILDER(S) WHO THE DEVELOPER HOLDS RESPONSIBLE PRIOR TO RELEASE OF THE MAINTENANCE BONDS COVERING THE IMPROVEMENTS. TWO (2) COPIES OF THE VIDEO TAPE(S) AND A WRITTEN REPORT OF THE RESULTS SHALL BE FURNISHED TO THE DEVELOPER AND THE CITY ENGINEER, BOTH THE TAPING AND THE WRITTEN REPORT SHALL BE DONE TO THE SATISFACTION OF THE DEVELOPER AND THE CITY ENGINEER OR THEIR DESIGNEES. ANY AND ALL PROBLEMS DISCOVERED SHALL BE REMEDIATED WITHIN TEN (10) WORKING DAYS BY THE DEVELOPER OR BY THE PARTY THE DEVELOPER SHALL CAUSE TO REMEDIATE THE PROBLEMS, IF ANY.
6. ALL MAIN LINE STORM SEWERS SHALL BE CLEANED AND VIDEOTAPED IMMEDIATELY AFTER CONSTRUCTION AND THE VIDEOTAPE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. ALL DEFECTS SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR.

OCTOBER 1, 2008 - REV. 5/11/09, 9/29/09, 12/7/09, 8/18/16

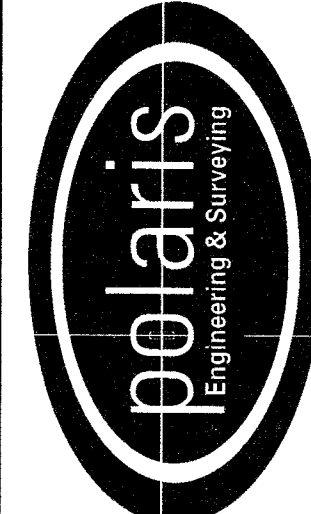
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REV. No.		DATE	BY		DATE: 7/15/20
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					DRAWN: DRW



HARVEST POINTE
SUBDIVISION PHASE 2
CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
3400 CHARLON ROAD - SUITE D
MADISON, OHIO 44057
(440) 944-4433 (440) 944-5722 (Fax)
www.polaris-es.com



GENERAL NOTES

CONTRACT No.	
18175	
SHEET	OF
02	19

CITY OF NORTH RIDGEVILLE
STANDARD GENERAL NOTES

SANITARY SEWERS

1. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
2. THE SANITARY SEWER SHALL PASS A LOW PRESSURE AIR TEST AND A 5% DEFLECTION TEST. THESE TESTS SHALL BE CONDUCTED BY A COMPETENT TESTER, PREFERABLY AN INDEPENDENT TESTING COMPANY.
- A. DEFLECTION TEST:
- IF PVC PIPE IS USED, THE DEFLECTION TEST WILL BE RUN NOT LESS THAN 30 DAYS NOR MORE THAN 45 DAYS AFTER THE FINAL AND FULL BACKFILL HAS BEEN PLACED. THE TEST IS REQUIRED ON ALL PVC PIPE. THE CONTRACTOR SHALL SUPPLY ALL NECESSARY EQUIPMENT FOR THE DEFLECTION TESTING. ALL EQUIPMENT SHALL BE APPROVED BY THE CITY OF NORTH RIDGEVILLE PRIOR TO THE START OF TESTING. WHERE POSSIBLE, ELECTRONIC EQUIPMENT SHALL BE USED TO MEASURE AND RECORD THE DEFLECTION IN THE FLEXIBLE PIPE. NO PIPE SHALL EXCEED A DEFLECTION OF FIVE PERCENT. IF SUCH EQUIPMENT IS NOT AVAILABLE, THE DEFLECTION TEST CAN BE RUN BY THE USE OF MANDRELS, HAVING A DIAMETER EQUAL TO NINETY-FIVE (95) PERCENT OF THE INSIDE DIAMETER OF THE PIPE, PULLED THROUGH THE SEWER WITHOUT MECHANICAL PULLING DEVICES. MANDRELS SHALL BE CONSTRUCTED WITH AT LEAST NINE EVENLY SPACED ARMS OR PRONGS. A METAL PROVING RING SHALL BE PROVIDED TO VERIFY THE ACCURACY OF THE MANOREL TO THE CITY ENGINEER. THE LENGTH OF THE MANDREL SHALL BE EIGHT INCHES FOR EIGHT INCH PIPE, TEN INCHES FOR TEN AND TWELVE INCH PIPE. IF ANY SECTION OF CONDUIT EXCEEDS THE DEFLECTION OF FIVE PERCENT, THE NECESSARY CORRECTIONS SHALL BE MADE. CONDUIT WHICH HAS DEFLECTED MORE THAN FIVE PERCENT MUST BE CORRECTED TO THE SATISFACTION OF THE CITY ENGINEER BY THE CONTRACTOR. THE PIPE SHALL BE MEASURED IN COMPLIANCE WITH ASTM D2122.
- B. THE LEAKAGE, EXFILTRATION, OR INFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY.
3. THE SANITARY SEWER MAIN AND ITS LATERALS SHALL BE PVC ASTM D3034, WITH GASKETED JOINTS MEETING ASTM D3212 SDR-35, UNLESS DEPTH OF COVER IS 15 FEET OR GREATER THEN USE ASTM D3034 SDR-26.
4. SANITARY MANHOLES SHALL BE PRECAST CONCRETE MEETING THE STANDARDS OF THE CITY OF NORTH RIDGEVILLE. THE MANHOLE SHALL BE FULLY INSPECTED AROUND ITS EXTERIOR BEFORE BACKFILLING. ANY SUSPECTED LEAK SPOTS, CRACKS, ETC. THAT MAY CAUSE A LEAK IN THE FUTURE SHALL BE PATCHED, SEALED, ETC. WITH WATERPROOFING MATERIALS. PARTICULAR ATTENTION SHALL BE PAID TO THE BARREL JOINTS, STEP LOCATIONS, LIFTING HOLES, AND THE JOINT BETWEEN THE GRADE RINGS AND THE CASTING. ALL MANHOLES SHALL BE VACUUM TESTED PER ASTM-C1244.
5. GRADE RINGS SHALL BE USED TO BRING ALL CASTING TO GRADE, MAXIMUM 11 INCHES.
6. IF THE CASTING IS DISTURBED AFTER IT IS INSTALLED IT SHALL BE COMPLETELY REMOVED, CLEANED, AND THEN REINSTALLED.
7. THE CONTRACTOR SHALL MARK ALL LATERAL LOCATIONS IN THE FIELD WITH A CONTINUOUS 4" X 4" WOODEN STAKE FROM INVERT TO 2'-6" ABOVE GRADE, PAINTED ORANGE OR RED.
8. "LOW-PRESSURE" AIR TESTING FOR PLASTIC PIPE SHALL BE PER ASTM-F1417.
9. ALL MAINLINE SANITARY SEWER SHALL BE VIDEO TAPED PER CITY ORDINANCE.
10. HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATERLINE, STORM SEWERS, AND SANITARY SEWERS SHALL BE MAINTAINED AS FOLLOWS:
- A. A MINIMUM 10-FOOT HORIZONTAL SEPARATION (MEASURED OUT-TO-OUT CLEAR) BETWEEN THE PROPOSED WATERLINE AND THE STORM SEWER WILL BE MAINTAINED.
- B. A MINIMUM 10-FOOT HORIZONTAL SEPARATION (MEASURED OUT-TO-OUT CLEAR) BETWEEN THE PROPOSED WATERLINE AND THE SANITARY SEWER WILL BE MAINTAINED.
- C. A MINIMUM 18-INCH VERTICAL CLEARANCE (MEASURED OUT-TO-OUT CLEAR) BETWEEN THE PROPOSED WATERLINE AND THE SANITARY SEWER WILL BE MAINTAINED.
- D. A MINIMUM 18-INCH VERTICAL CLEARANCE (MEASURED OUT-TO-OUT CLEAR) BETWEEN THE PROPOSED WATERLINE AND THE STORM SEWER WILL BE MAINTAINED.

11. THE CONTRACTOR WILL COLOR FILM BOTH SANITARY AND STORM SEWERS TO VERIFY THAT THEY ARE FREE OF DEFECTS AND FOREIGN MATTER AND THAT THEY ARE TO THE PROPER ALIGNMENT PRIOR TO FORMAL ACCEPTANCE BY THE CITY OF NORTH RIDGEVILLE. THE INSPECTION AND TESTING SHALL BE DONE BY AN EXPERIENCED AND CERTIFIED FIRM ENGAGED IN THIS TYPE OF WORK, AS APPROVED BY THE CITY. WRITTEN REPORTS FOR ALL INSPECTION AND TESTING SHALL BE SUBMITTED TO THE OWNER AND THE CITY FOR APPROVAL. ALL SEWERS WILL BE FLUSHED AND HAVE A VCR TELEVIEWED INSPECTION IN ACCORDANCE WITH THE CITY OF NORTH RIDGEVILLE SPECIFICATIONS AFTER THE COMPLETION OF THE PAVEMENT CONSTRUCTION AND SEEDING OF THE DISTURBED AREAS, BUT PRIOR TO THE ISSUANCE OF BUILDING PERMITS. IF THE INSTALLATION FAILS TO MEET THE REQUIREMENTS OF THE TESTS AND INSPECTION, THE CONTRACTOR SHALL REPAIR OR REPLACE ALL DEFECTS AND RETEST AND RE-FILM THE INSTALLATION. THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS BEFORE THE STORM AND SANITARY SEWERS ARE TELEVIEWED.

WATER SYSTEM

1. THE WATER SYSTEM SHALL BE CONSTRUCTED PER THE CITY OF NORTH RIDGEVILLE STANDARDS & REGULATIONS.
2. THE WATERLINE SHALL BE PVC MEETING THE REQUIREMENTS OF AWWA C900, OR C909, CLASS 150 PIPE CONFORMING TO DR18 OR DUCTILE IRON PIPE, CLASS 52, CEMENT LINED MEETING THE REQUIREMENTS OF ANSI A21.51 AND AWWA C-151.
3. A MINIMUM OF 35 PSI SHALL BE MAINTAINED TO THE CURB STOP DURING NORMAL OPERATING CONDITIONS. BOOSTER PUMPS ARE NOT PERMITTED ON SERVICE CONNECTIONS.
4. ALL FITTINGS FOR THE WATER MAIN SHALL BE RESTRAINED JOINT TYPE (MEGA-LUG) AND SHALL BE DUCTILE IRON MEETING AWWA C-153.
5. ALL BENDS OR TEES ON THE MAIN SHALL BE RESTRAINED JOINT TYPE (MEGA-LUG) AND BLOCKED WITH WOOD.
6. ALL DUCTILE IRON PIPE, CAST IRON FITTINGS AND HYDRANTS SHALL BE POLYWRAPPED ACCORDING TO AWWA C-105. RESTRAIN TWO PIPE JOINTS EITHER SIDE OF TEE OR ELBOW IN ADDITION TO THRUST RESTRAINT.
7. ALL FITTINGS SHALL BE GIVEN A CEMENT MORTAR LINING AT THE POINT OF MANUFACTURE. THE LINING SHALL CONFORM TO ANSI A21.4, AWWA C-104 AND ALL SUBSEQUENT AMENDMENTS.
8. ALL FITTINGS SHALL BE DESIGNED FOR A WORKING PRESSURE OF NOT LESS THAN 150 PSI.
9. ALL VALVES AND HYDRANT FITTINGS MUST HAVE STAINLESS STEEL NUTS AND BOLTS. T-BOLTS AND NUTS FOR ALL MECHANICAL JOINTS MUST HAVE A BITUMASTIC COATING.
10. ALL PIPE SHALL BE GIVEN A CEMENT MORTAR LINING AT THE POINT OF MANUFACTURE. THE MORTAR LINING SHALL NOT BE LESS THAN 1/16 INCH IN THICKNESS AND CONFORM TO ANSI A21.4, AWWA C-104 AND ALL SUBSEQUENT AMENDMENTS.
11. ALL JOINTS SHALL BE MECHANICAL OR PUSH-ON TYPE. MECHANICAL JOINTS SHALL MEET THE REQUIREMENTS OF ANSI A21.11, AWWA C-111 AND ALL SUBSEQUENT AMENDMENTS. PUSH-ON JOINTS SHALL BE MADE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PIPE MANUFACTURER.
12. ALL HYDRANTS SHALL HAVE MECHANICAL TYPE JOINTS.
13. WHENEVER CHANGES IN LINE AND GRADE OF THE MAIN AS SHOWN ON THE DRAWINGS ARE NOT STANDARD FITTING DEFLECTIONS, THE CONTRACTOR WILL BE PERMITTED TO USE AN APPROVED COMBINATION OF STANDARD FITTINGS AND SMALL DEFLECTION OF THREE DEGREES PER JOINT IN THE ADJOINING LENGTHS OF PIPE (NOT TO EXCEED THE MANUFACTURER'S SPECIFICATIONS).
14. CLOSURE PIECES SHALL BE ACCURATELY MEASURED AND CUT, IN THE FIELD, AND INSTALLED USING SOLID TYPE LONG PATTERN SLEEVES AS SHOWN OR AS REQUIRED.
15. A MINIMUM PRESSURE OF 20 PSI WILL BE MAINTAINED AT GROUND LEVEL AT ALL POINTS IN THE DISTRIBUTION SYSTEM UNDER ALL CONDITIONS OF FLOW IS REQUIRED ACCORDING TO TSS 8.2.1.

GATE VALVES

1. VALVES SHALL CONFORM IN ALL RESPECTS WITH AWWA C-500 OR C-509 AND WITH THE CITY OF NORTH RIDGEVILLE ENGINEERING DEPARTMENT SPECIFICATIONS.
2. ALL GATE VALVES THREE INCH AND LARGER SHALL HAVE A NON-RISING STEM, SHALL OPEN BY TURNING TO THE RIGHT, AND SHALL BE OPERATED BY A TWO-INCH SQUARE OPERATING NUT. NUTS SHALL HAVE AN ARROW AND THE WORD "OPEN" CAST THEREON TO INDICATE THE DIRECTION OF TURNING TO OPEN THE VALVE.
3. ALL GATE VALVES THREE-INCH TO 18 INCH IN SIZE SHALL BE OF RESILIENT WEDGE SEATED TYPE. THE VALVES SHALL HAVE RUBBER "O" RING PACKING SEALS AND MECHANICAL JOINT ENDS UNLESS OTHERWISE SPECIFIED OR APPROVED BY THE CITY ENGINEER. IF THE TOP OF THE OPERATING NUT IS MORE THAN 36 INCHES BELOW FINISHED GRADE, AN EXTENSION STEM SHALL BE PROVIDED TO PLACE THE OPERATING WRENCH NUT BETWEEN 24 AND 36 INCHES BELOW THE SURFACE.
4. ALL 20 AND 24 INCH GATE VALVES SHALL BE PROVIDED WITH A FOUR INCH BYPASS VALVE AND ALL 30 INCH TO 48 INCH VALVES INCLUSIVE SHALL BE PROVIDED WITH A SIX INCH BYPASS VALVE LOCATED BELOW THE CENTER OF THE VALVES.
5. ALL GATE VALVES 18 INCH AND UNDER SHALL BE CONSTRUCTED TO WORK VERTICALLY. GATE VALVES 20 INCH AND LARGER IN SIZE SHALL BE CONSTRUCTED TO WORK HORIZONTALLY.
6. ALL NUTS AND BOLTS SHALL BE STAINLESS STEEL.

BUTTERFLY VALVES

1. IN LIEU OF GATE VALVES, BUTTERFLY VALVES MAY BE USED ON 12 INCH AND LARGER MAINS.
2. ALL BUTTERFLY VALVES SHALL BE OF RUBBER-SEALED TIGHT-CLOSING TYPE. THEY SHALL MEET OR EXCEED PERFORMANCE REQUIREMENTS FOR WATER APPLICATIONS OF APPLICABLE RECOGNIZED STANDARDS SUCH AS AWWA C-504. ALL VALVES SHALL BE MUELLER BUTTERFLY VALVES OR AN APPROVED EQUAL.
3. BOTH VALVE ENDS SHALL BE MECHANICAL JOINT PER AWWA C-111. ACCESSORIES (BOLTS, GLANDS AND BASKETS) SHALL BE SUPPLIED BY THE VALVE MANUFACTURER.
4. ALL VALVES MUST USE FULL AWWA C-504, CLASS 150B VALVE SHAFT DIAMETER AND FULL CLASS 150B UNDERGROUND-SERVICE-OPERATOR TORQUE RATING THROUGHOUT ENTIRE TRAVEL, TO PROVIDE CAPABILITY FOR OPERATION IN EMERGENCY SERVICE.
5. VALVE BODY SHALL BE HIGH-STRENGTH CAST IRON ASTM A126, CLASS B WITH 18-8 TYPE 304 STAINLESS STEEL BODY SEAT. VALVE VANE SHALL BE HIGH STRENGTH CAST IRON ASTM A48 CLASS 40, HAVING RUBBER SEAT MECHANICALLY SECURED WITH AN INTEGRAL 18-8 STAINLESS STEEL CLAMP RING AND 18-8 STAINLESS STEEL SELF-LOCKING SCREWS.
6. RUBBER SEAT SHALL BE A FULL-CIRCLE 360 DREGEE SEAT NOT PENETRATED BY THE VALVE SHAFT. VALVE SHAFT SHALL BE ONE PIECE, EXTENDING FULL SIZE THROUGH THE ENTIRE SHAFT AND OPERATOR WITH NO NECK-DOWN, KEYWAYS OR HOLES TO WEAKEN IT. FOR 14 INCH AND LARGER, VALVE SHAFTS SHALL BE 18-8 STAINLESS STEEL STUB SHAFT DESIGN KEYED TO THE VANE WITH STAINLESS STEEL TAPER PINS.
7. VALVE OPERATOR SHALL BE OF THE TRAVELING-NUT TYPE, SEALED, GASKETED, AND LUBRICATED FOR UNDERGROUND SERVICE. IT SHALL BE CAPABLE OF WITHSTANDING AN OVERLOAD INPUT TORQUE OF 450 FT-LBS AT FULL-OPEN OR CLOSED POSITION WITHOUT DAMAGE TO THE VALVE OR VALVE OPERATOR. IT SHALL BE DESIGNED TO RESIST SUBMERGENCE IN WATER TO 25 FEET HEAD PRESSURE FOR UP TO 72 HOURS.
8. THE VALVE SHALL BE CAPABLE OF EASY CLOSURE BY ONE MAN USING A STANDARD VALVE KEY, EVEN UNDER EMERGENCY LINE-BREAK CONDITIONS AS SEVERE AS THOSE THAT WOULD CAUSE A VALVE MAXIMUM OPERATING TORQUE REQUIREMENT OF AS MUCH AS TWO TIMES AWWA CLASS 150B.
9. ALL VALVES SHALL BE TESTED, BUBBLE-TIGHT AIR-UNDER-WATER, BY THE MANUFACTURER AS FOLLOWS:

4" THROUGH 12" 175 PSI
14" AND UP 150 PSI

IN ADDITION A 300 PSI HYDROSTATIC TEST SHALL BE GIVEN TO THE ASSEMBLED VALVE. THIS 300 PSI PRESSURE SHALL ALSO BE APPLIED AGAINST THE FULLY CLOSED VANE OF EACH VALVE TO PROVE STRUCTURAL SOUNDNESS AND ASSURE COMPATIBILITY WITH FIELD LINE TEST PROCEDURES.

HYDROSTATIC TESTING

1. ALL WATER MAINS SHALL BE INSTALLED AND PRESSURE TESTED ACCORDING TO AWWA C-605, LATEST EDITION.
2. TESTING PLUGS OR CAPS SHALL BE FURNISHED AND INSTALLED FOR TESTING COMPLETED SECTIONS OF PIPE AND FITTINGS.
3. BEFORE THE TEST PRESSURE IS APPLIED, CARE SHALL BE TAKEN TO INSURE THE REMOVAL OF AIR IN THE LINE AT THE HIGH POINTS AND TO SEE THAT ALL CAPS, PLUGS AND EXPOSED PORTIONS OF THE LINE ARE SECURELY BRACED.
4. THE CONTRACTOR SHALL SUPPLY ALL NECESSARY EQUIPMENT, GAUGES, TOOLS, AND LABOR TO PROPERLY CONDUCT THE TEST. ALL TESTING SHALL BE DONE UNDER THE DIRECTION OF THE CITY OF NORTH RIDGEVILLE ENGINEERING DEPARTMENT.
5. WATER FOR FILLING THE TEST SECTIONS WILL BE PROVIDED BY THE CITY OF NORTH RIDGEVILLE.
6. IF THE LEAKAGE TEST EXCEEDS THE MAXIMUM ALLOWED, THE CONTRACTOR SHALL LOCATE AND REPAIR THE LEAKS AND AGAIN TEST THE PIPE. THIS PROCESS SHALL BE CONTINUED UNTIL THE LEAKAGE IS WITHIN THE ACCEPTABLE LIMITS.

DISINFECTING MAINS

1. AFTER HYDROSTATIC TESTING, THE NEW LINE SHALL BE THOROUGHLY FLUSHED IN ACCORDANCE WITH AWWA C-651. THE MAIN SHALL BE FLUSHED THROUGH THE HYDRANTS, BLOWOFFS OR BY SOME OTHER APPROVED MEANS.
2. CHLORINE SHALL BE ADDED AT SUCH RATES AS TO GIVE A MINIMUM CHLORINE DOSAGE OF 50 PARTS PER MILLION AVAILABLE CHLORINE.
3. CHLORINE USED AS A DISINFECTING AGENT MAY BE EITHER LIQUID CHLORINE OR AN ANHYDROUS CALCIUM HYPOCHLORITE COMPOUND SUCH AS "HTH" OR AN APPROVED EQUAL. LIQUID CHLORINE SHALL BE APPLIED THROUGH A SUITABLE CHLORINE FEEDING MACHINE AND INJECTION NOZZLE. ANHYDROUS CALCIUM HYPOCHLORITE SHALL BE FED AS A SOLUTION USING A SUITABLE INJECTION PUMP.
4. FOLLOWING THE DISINFECTING PERIOD, THE LINE SHALL BE THOROUGHLY FLUSHED UNTIL THE REPLACEMENT WATER THROUGHOUT THE ENTIRE LENGTH OF THE LINE SHALL UPON TEST, BOTH CHEMICALLY AND BACTERIOLOGICALLY, BE PROVEN EQUAL TO THE QUALITY OF THE WATER IN THE EXISTING SYSTEM.
5. THE CITY OF NORTH RIDGEVILLE SERVICE DEPARTMENT WILL TEST THE WATER. THE CONTRACTOR IS RESPONSIBLE FOR THE TEST ARRANGEMENTS.

CURB CONNECTIONS

1. THE SIZE OF SERVICE CONNECTIONS SHALL BE THREE-QUARTER INCH (3/4") DIAMETER MINIMUM.
2. SERVICE CONNECTIONS SHALL BE K COPPER. ALTERNATIVELY, 200 PSI PLASTIC PIPE APPROVED FOR POTABLE WATER, WITH TRACER WIRE, MAY BE USED PROVIDED THE 50 FEET OF CONNECTION ADJACENT TO THE SERVED STRUCTURE IS K COPPER AND THE STRUCTURE SERVED IS MORE THAN 200 FEET FROM THE ROADWAY RIGHT OF WAY LINE.
3. FOR STRUCTURES GREATER THAN 200 FEET FROM THE CENTERLINE OF THE ROADWAY, A METER VAULT MUST BE PROVIDED NEAR THE RIGHT OF WAY LINE OF THE ROADWAY.

OCTOBER 1, 2008 REVISED 9/29/09, 2/19/10

7/22/14

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					DRAWN: DRW

STATE OF OHIO
DUSTIN R. KEENEY
65515
REGISTERED PROFESSIONAL ENGINEER

HARVEST POINTE
SUBDIVISION PHASE 2

CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
3460 CHARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
(440) 944-4433 (440) 944-3722 (Fax)
www.polaris-es.com



GENERAL NOTES

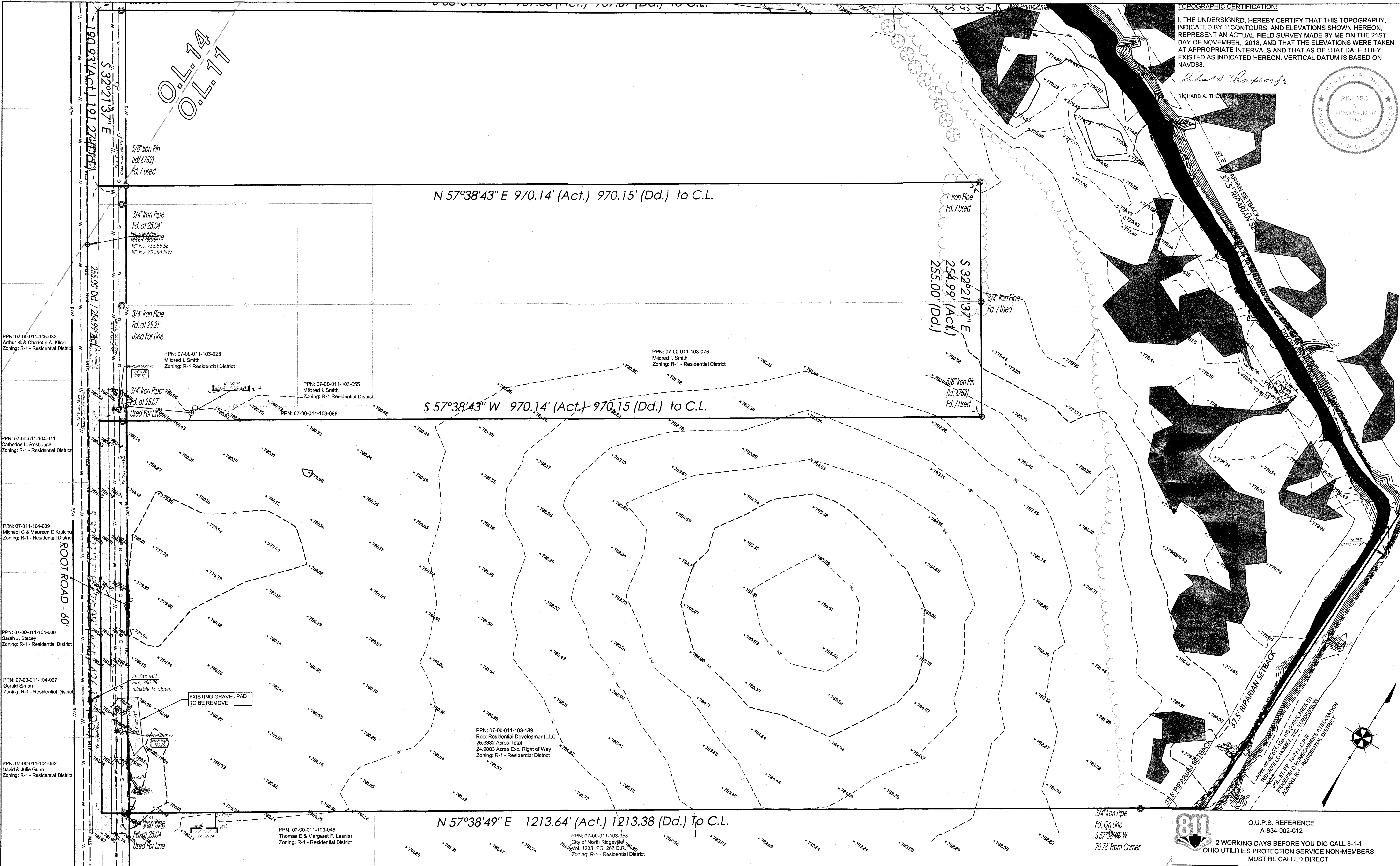
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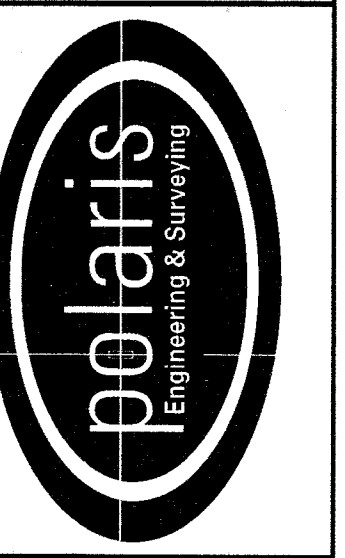
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TOPOGRAPHIC CERTIFICATION:
I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 1' CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE BY ME ON THE 21ST DAY OF NOVEMBER, 2018, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD88.
Richard A. Thompson Jr.
RICHARD A. THOMPSON JR.
PROFESSIONAL SURVEYOR
STATE OF OHIO
7389

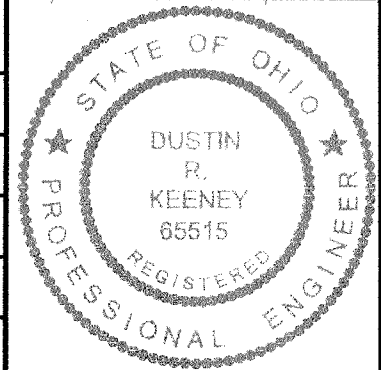
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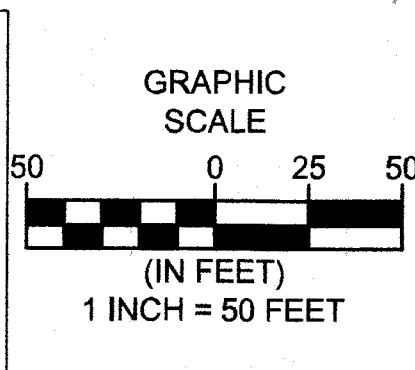
**EXISTING CONDITIONS
PLAN**

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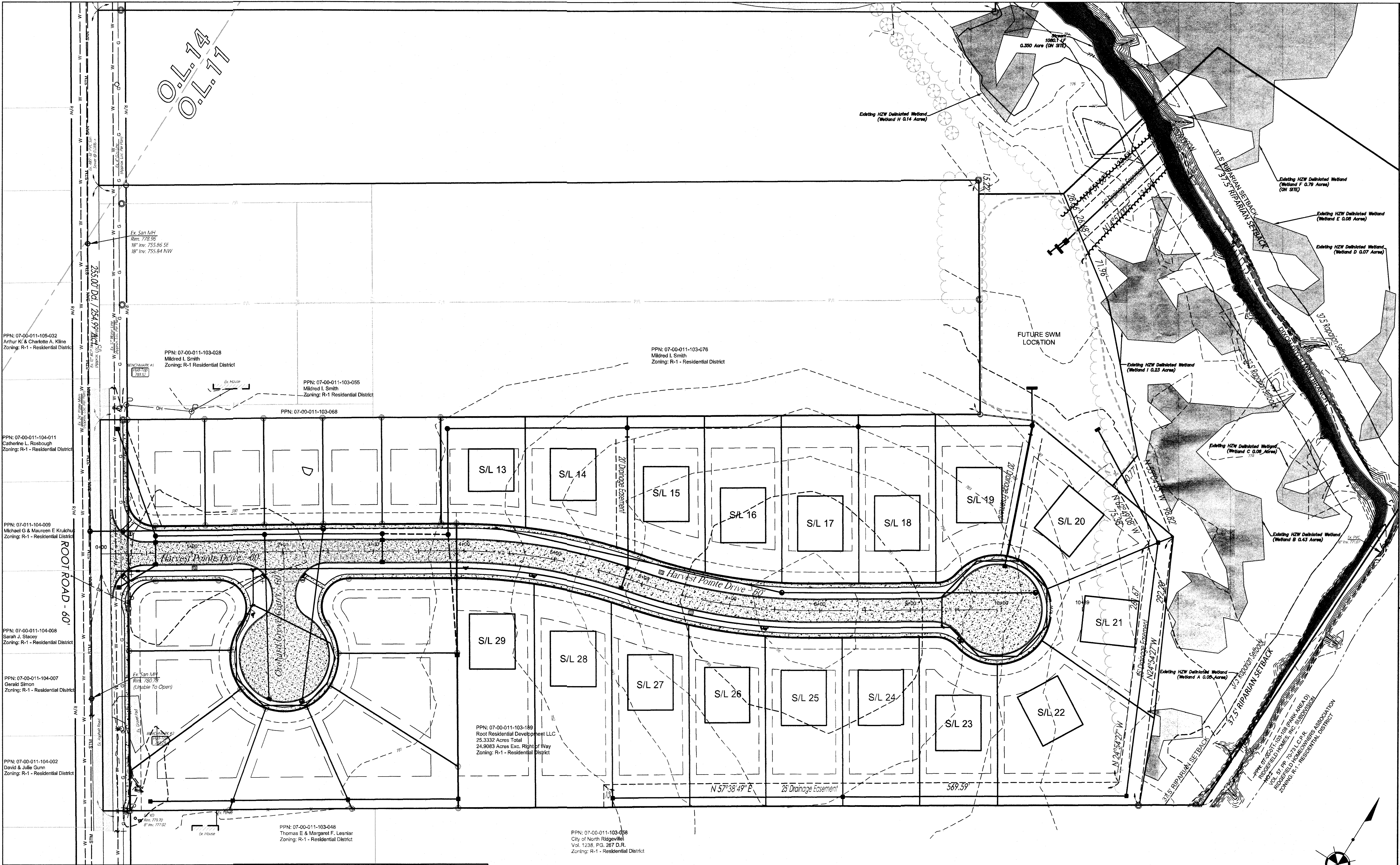
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VERT. NA
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FILENAME: Existing Conditions
TAB: 04-Existing Conditions
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Ex. Clean Out	Ex. Sanitary Manhole	Ex. Water Valve	Ex. Electrical Box	Ex. Tree	Ex. Monument Box
Ex. Catch Basin	Prop. Sanitary Manhole	Ex. Water Meter	Ex. Guy Wire	Ex. Pine Tree	Power Transformer
Prop. Catch Basin	Prop. Curb Inlet	Ex. Fire Hydrant	Ex. Power Pole	Ex. Bush	Sprinkler Control Box
Ex. Yard Drain	Ex. Curb Inlet	Prop. Hydrant	Ex. Light Power Pole	Ex. Mailbox	Sprinkler Head
Ex. Manhole	Ex. Gas Marker	Prop. Wt. Valve	Ex. Light Pole	Ex. Sign	Traffic Signal Pole
Ex. Storm Manhole	Ex. Gas Meter	Well	Ex. Telephone Box	Ex. Telephone Box	Traffic Signal Box
Prop. Storm Manhole	Ex. Gas Valve	Test Bore	Prop. Light Pole	Guard Post	



EXISTING UNDERGROUND UTILITIES NOTE:
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED, WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.
NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

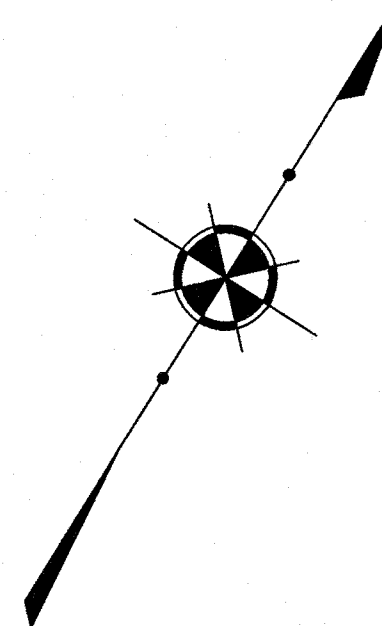
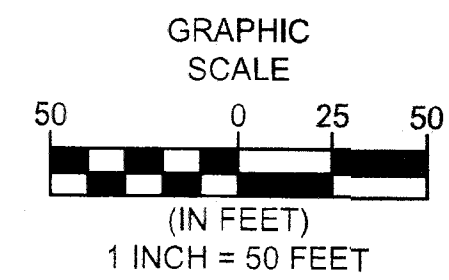
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REV. No.	DATE	BY

STATE OF OHIO
DUSTIN P. KEENEY
65515
PROFESSIONAL ENGINEER

DATE: 7/18/20
SCALE: HOR. 1"=50'
VERT. NA
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**HARVEST POINTE
SUBDIVISION PHASE 2**

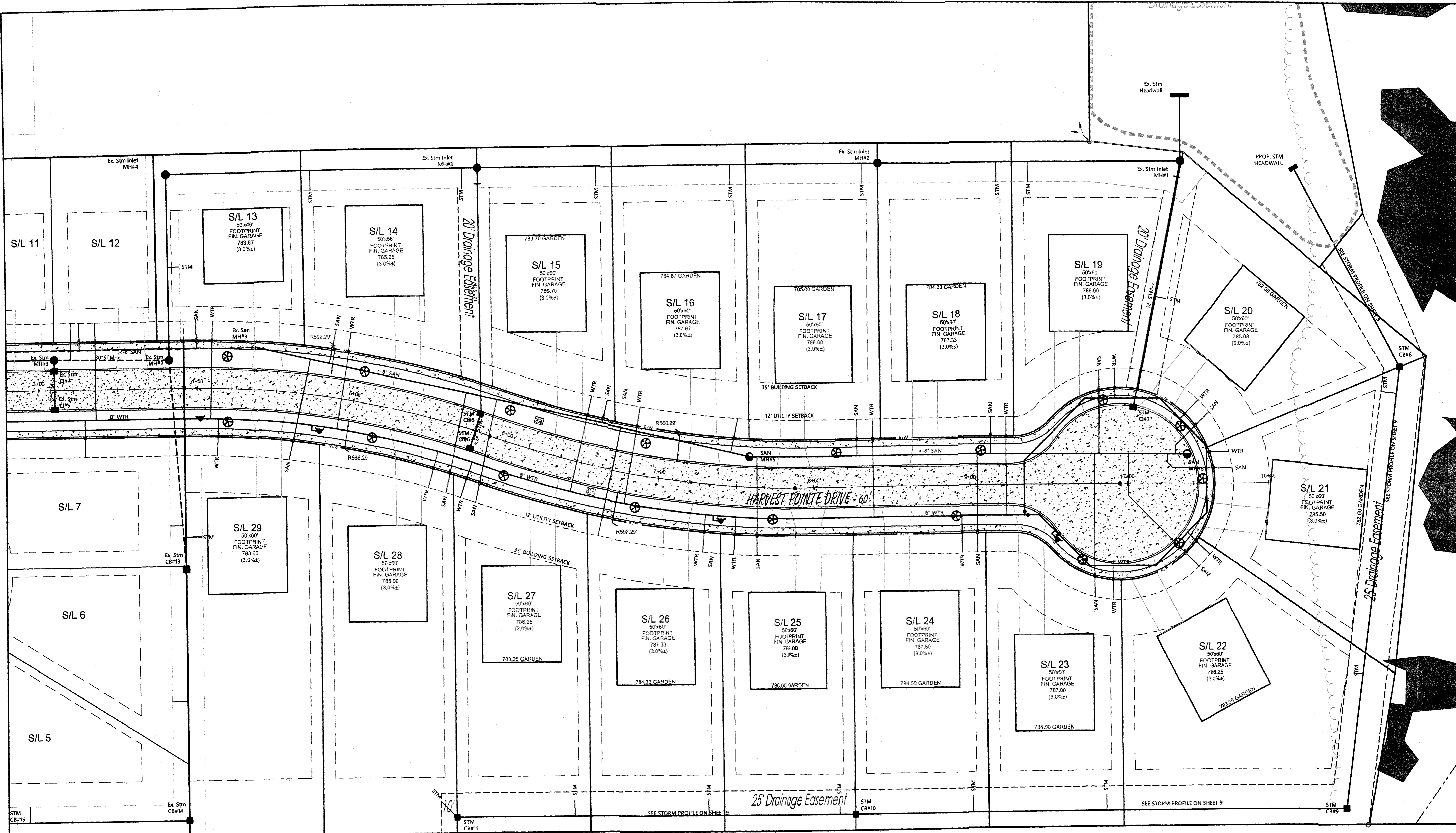
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OVERALL PLAN

CONTRACT No.
18175

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05	19

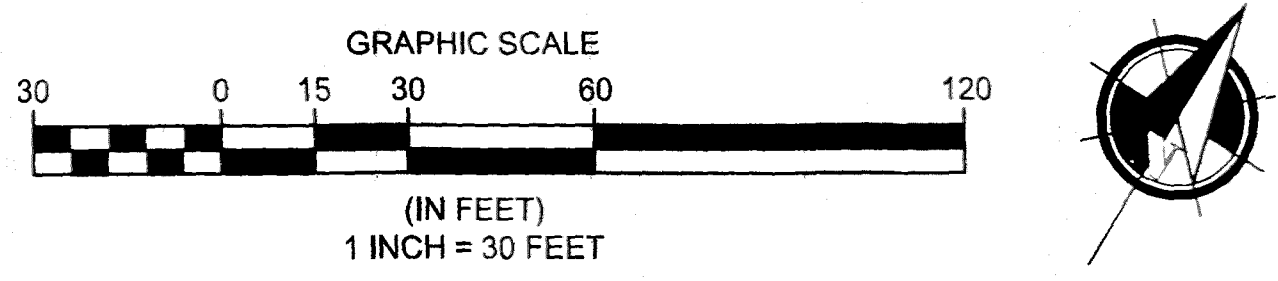


REV. No.	DATE	BY

STATE OF OHIO
DUSTIN R. KEENEY
REGISTERED PROFESSIONAL ENGINEER

DATE: 7/18/20
SCALE: HOR. 1"=30'
VERT. 1"=5'
FOLDER: DWG/Proj. Eng.
FILENAME: Util. & Grading
TAB: 06-UTILITY
DRAWN: DRW

STORM SEWER NOTE:
DOWNSPOUTS TO BE SPLASH
BLOCKED. SUMP PUMP SHALL
BE CONNECTED TO THE
STORM LATERAL SUPPLIED
FOR EACH INDIVIDUAL LOT



HARVEST POINTE
SUBDIVISION PHASE 2

CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

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UTILITY PLAN

CONTRACT No.

18175

SHEET	OF
06	19

REV. No.	DATE	BY	DATE

STATE OF OHIO

REGISTERED PROFESSIONAL ENGINEER

65515

DATE: 7/18/20

SCALE: HOR. 1"=20'

VERT. 1"=5'

FOLDER: DWG/Proj. Enw/Imp.

FILENAME: P&P (PH. 2)

TAB: 08-Harvest Pointe P&P

DRAWN: DRW

BACKFILL NOTE:
PREMIUM BACKFILL SHALL BE USED WITHIN THE ZONE OF INFLUENCE FOR ALL PIPING WITHIN THE RIGHT OF WAY

CLEARANCE NOTE:
WATER MAIN TO MAINTAIN 4.5' MIN. COVER & 18" CLEARANCE 8/W ALL SEWER LATERALS

WTR SERVICE NOTE:
WATER SERVICE BOXES ARE TO BE PROVIDED PER CITY OF NORTH RIDGEVILLE STANDARD CONSTRUCTION DRAWINGS WAT-13, SEE SHEET 19

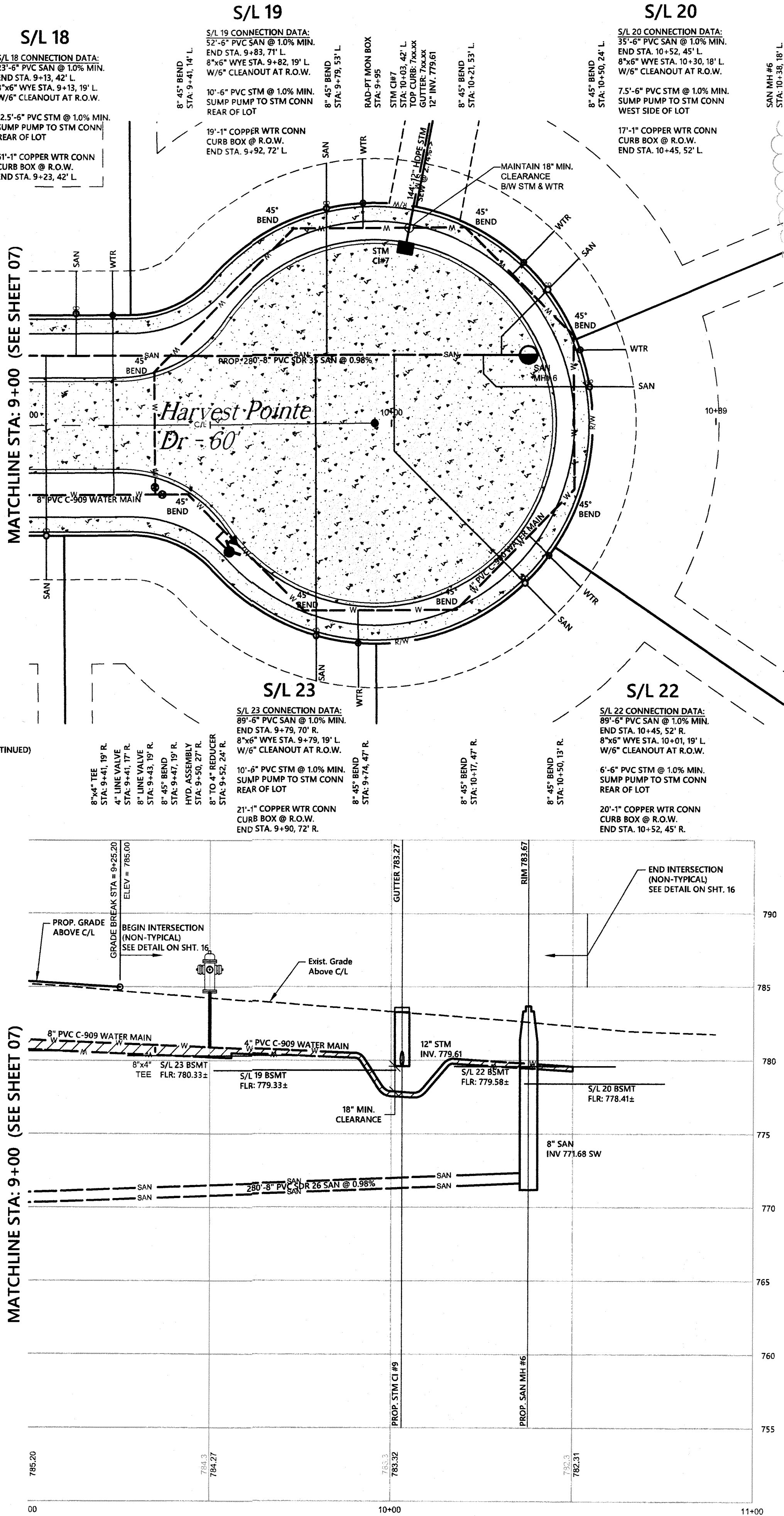
SAN SERVICE NOTE:
SANITARY SEWER CLEANOUTS ARE TO BE PROVIDED PER CITY OF NORTH RIDGEVILLE STANDARD CONSTRUCTION DRAWING SAN-8, SEE SHEET 17

DOWNSPOUT NOTE:
ALL DOWNSPOUTS TO BE SPLASH BLOCKED PER NORTH RIDGEVILLE CODIFIED ORDINANCE

CL MONUMENT NOTE:
ALL ROADWAY CENTERLINE MONUMENTS ARE TO BE INSTALLED PRIOR TO ACCEPTANCE.

SIDEWALK NOTE:
DEVELOPER REQUIRED TO INSTALL PUBLIC SIDEWALKS ALONG ALL COMMON AREAS, AND BLOCKS WITHIN THE RIGHT OF WAY.

STREET SIGN NOTE:
SIGN SHEETING TO BE ODOT TYPE 'H' HIGH INTENSITY PER ODOTCD REQUIREMENTS. STREET NAME SIGN LETTERS TO BE UPPERCASE & LOWERCASE



HARVEST POINTE SUBDIVISION PHASE 2

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HARVEST POINTE DRIVE PLAN & PROFILE (9+00 TO END)

CONTRACT No.
18175

SHEET	OF
08	19

REV. No.		DATE	BY

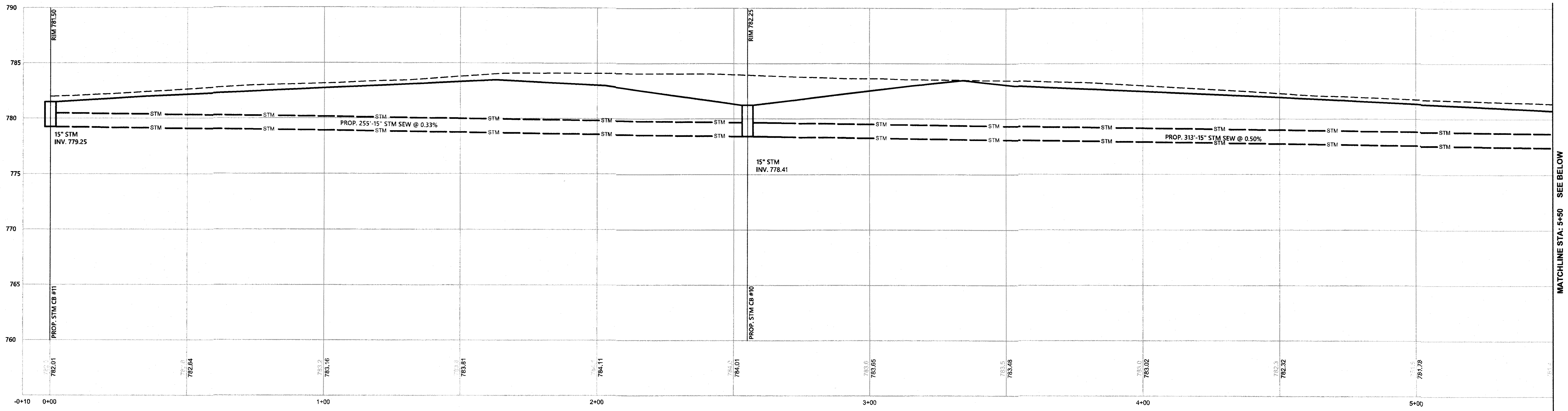
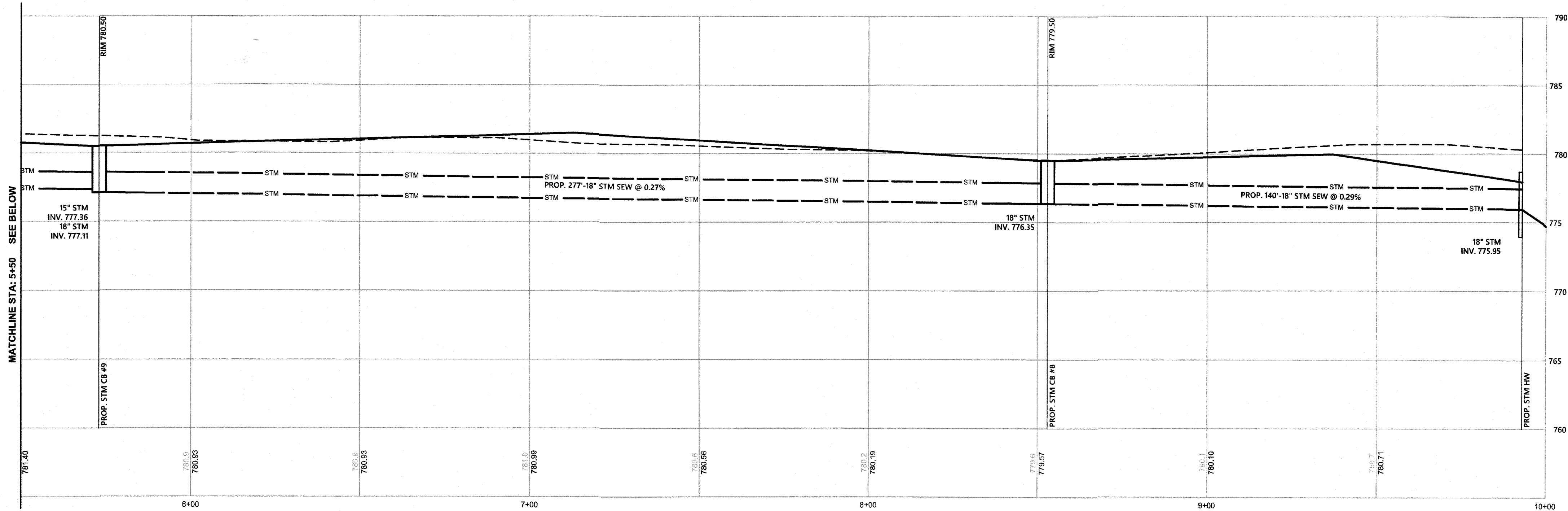
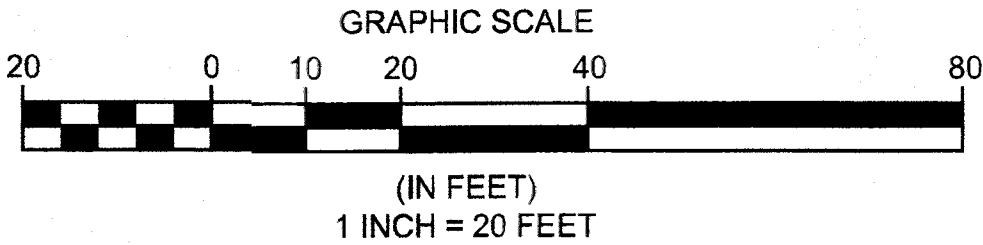
STATE OF OHIO

PROFESSIONAL ENGINEER

KEENEY

65515

DATE: 7/15/20
SCALE: HOR. 1"=20'
VERT. 1"=5'
FOLDER: DWG/Proj. Eng/Imp.
FILENAME: Plan & Profile (Ph. 2)
TAB: 09-Storm Sewer P&P
DRAWN: DRW



PLAN & PROFILE
REAR STORM SEWER
(SOUTH)



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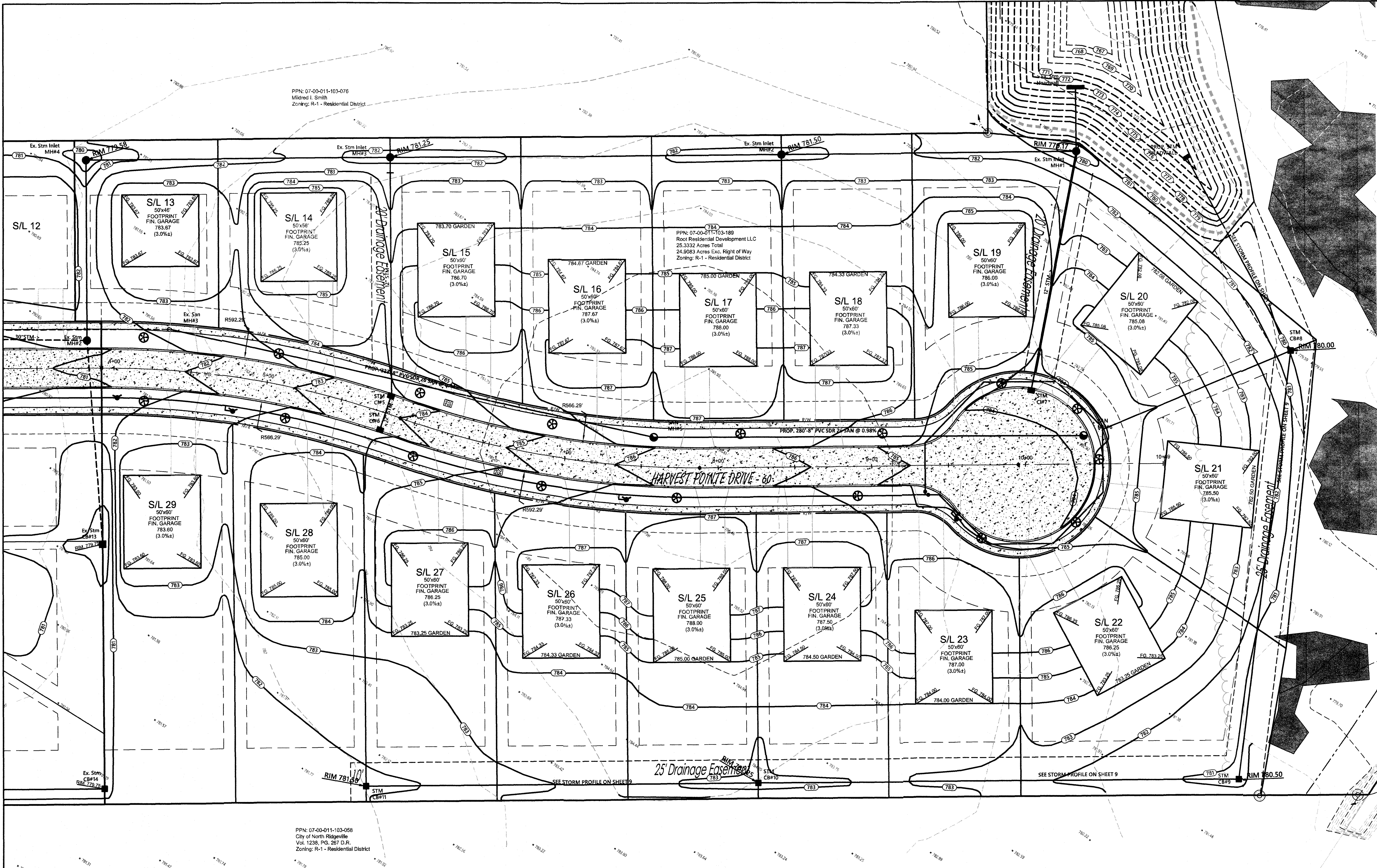
HARVEST POINTE
SUBDIVISION PHASE 2

CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

CONTRACT No.

18175

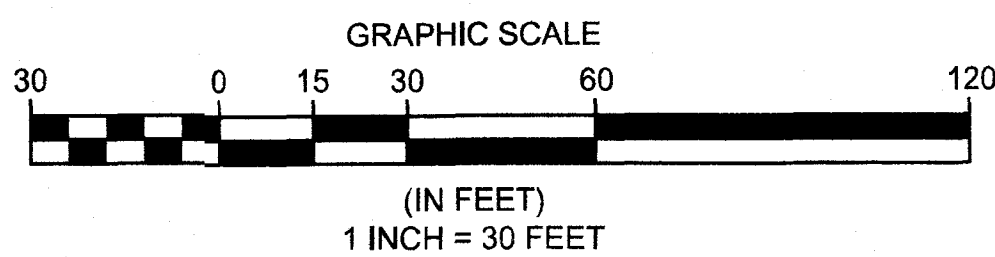
SHEET 09 OF 19



REV. No.	DATE	BY	DESCRIPTION

STATE OF OHIO
DUSTIN R. KEENEY
REGISTERED PROFESSIONAL ENGINEER
65515

DATE: 7/18/20
SCALE: HOR. 1"=30'
VERT. 1"=5'
FOLDER: DWG/Improvement
FILENAME: Grading & Utility
TAB: 10-Final Grading Plan
DRAWN: DRW



STOCKPILE NOTE:
EXCESS SOILS FROM HOUSE
EXCAVATIONS TO BE STOCKPILED
AND USED FOR FUTURE PHASE
CONSTRUCTION

HARVEST POINTE SUBDIVISION PHASE 2

CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

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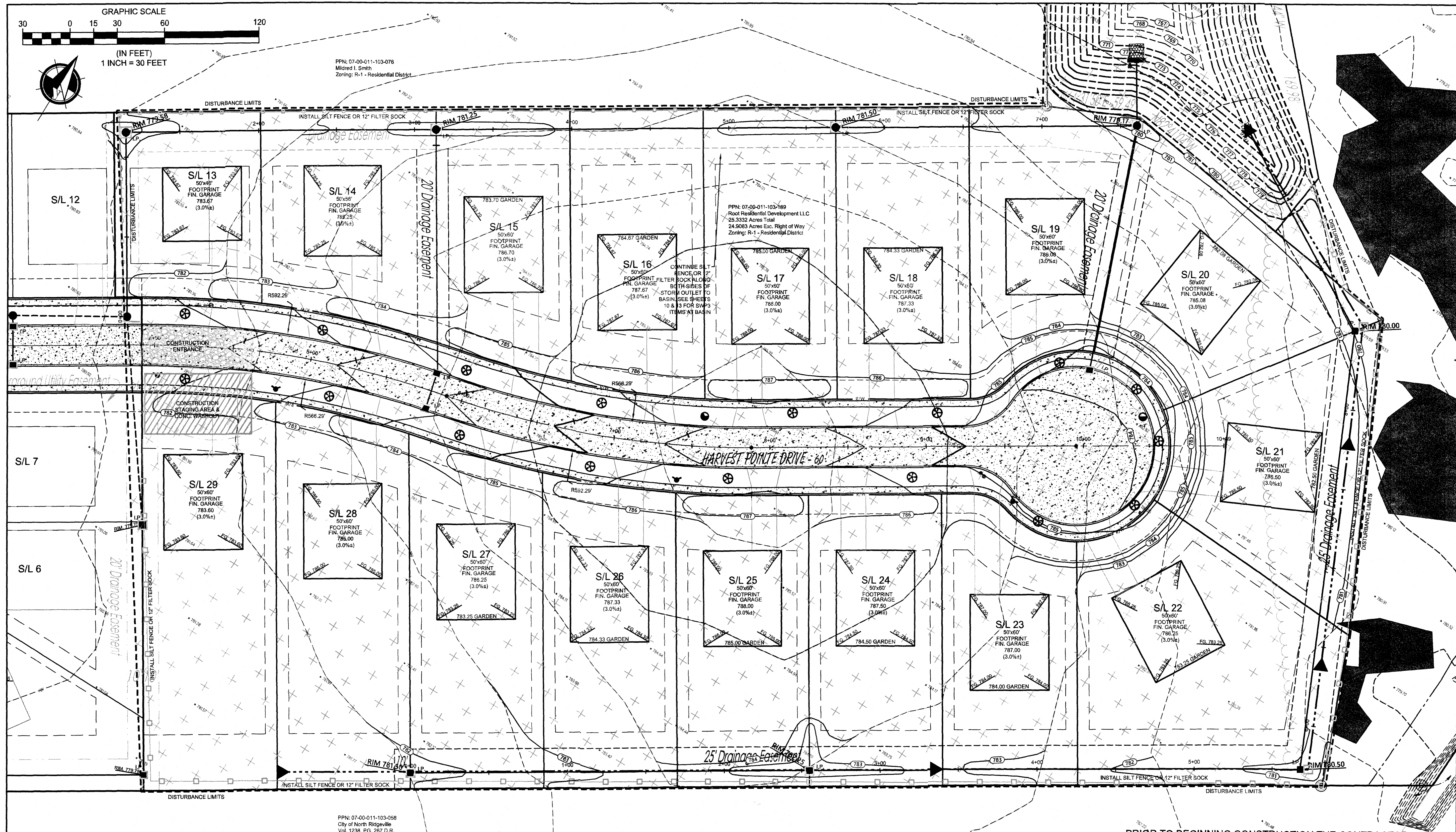


FINAL GRADING PLAN

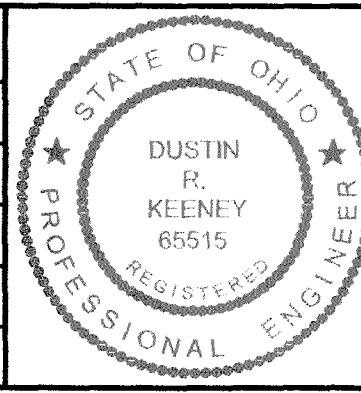
CONTRACT No.

18175

SHEET	OF
10	19



REV. No.	DATE	BY



DATE: 7/18/20
SCALE: HOR. 1"=30'
VERT. 1"=10'
FOLDER: DWG/Proj. Eng.
FILENAME: UHL & Grading
TAB: 11-Mass Grade & SWP3
DRAWN: DRW

SWP3 Site Description

Previous Land Use:
Development Type:
Total Site Acreage:
Phase 2 Site Acreage:
Total Phase 2 Site Disturbance:
Pre-Developed Impervious Area:
Pre-Developed Pervious Area:
Pre-Developed Curve Number:
Post Developed Impervious Area:
Post Developed Pervious Area:
Post Developed Curve Number:
Predominant Soil(s) & Hydraulic Group(s):
First Receiving Water Body:
Subsequent Receiving Water Body:
Water Resources within 200' of Site:
Offsite Borrow Areas:

Agricultural: Cultivated Field (SR + CR)
Residential: Single Family Homes
25.33 Ac.
8.42 Ac.
8.42 Ac.
0 Ac. (0%)
8.42 Ac. (100%)
84
2.86 Ac. (34%)
5.56 Ac. (66%)
B5.9
MgA-Mahoning Silt Loam; Group D
Unnamed Tributary
French Creek
Yes
N/A

STORMWATER MANAGEMENT NOTE:
THE HOA OR PROPERTY OWNER IS RESPONSIBLE
FOR MAINTENANCE OF ALL STORMWATER
MANAGEMENT FACILITIES OUTSIDE OF THE R.W.

STORMWATER BASIN NOTE:
STORM WATER BASIN TO BE CONSTRUCTED
FIRST AND TO BE USED AS SEDIMENT BASIN.

SWP3 LEGEND

Proposed Contour

Existing Contour

Disturbance Limits

Clearing Limits

Soil Delineation Line

Silt Fence

Diversion Swale

Soil Type

Inlet Protection

Stone Construction Entrance

Areas Requiring Stabilization Measures
(Temporary/Permanent)

Miscellaneous Bmps/Staging Areas
(Waste Disposal/Dumpster/Conc. Washout/Fuel Tanks)

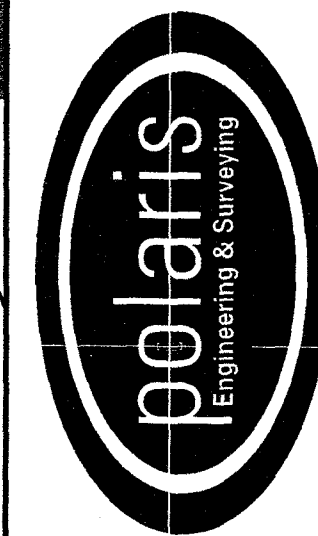
Rip Rap Over Non-Woven
Filter Fabric

Rock Check Dam

PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR
IS TO SUPPLY A SWP3 SIGNED BY THE CONTRACTOR AND ALL OF
HIS SUBCONTRACTORS TO THE CITY OF NORTH RIDGEVILLE
CITY ENGINEERING DEPARTMENT:
THE UNDERSIGNING HAS BEEN INFORMED AND UNDERSTANDS THEIR ROLE AND RESPONSIBILITY
IN COMPLYING WITH THIS STORM WATER POLLUTION PREVENTION PLAN:
CONTRACTOR: _____ BY: _____ DATE: _____

CONTRACT No.	
18175	
SHEET	OF
11	19

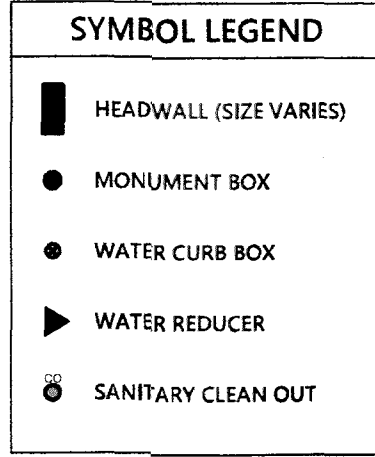
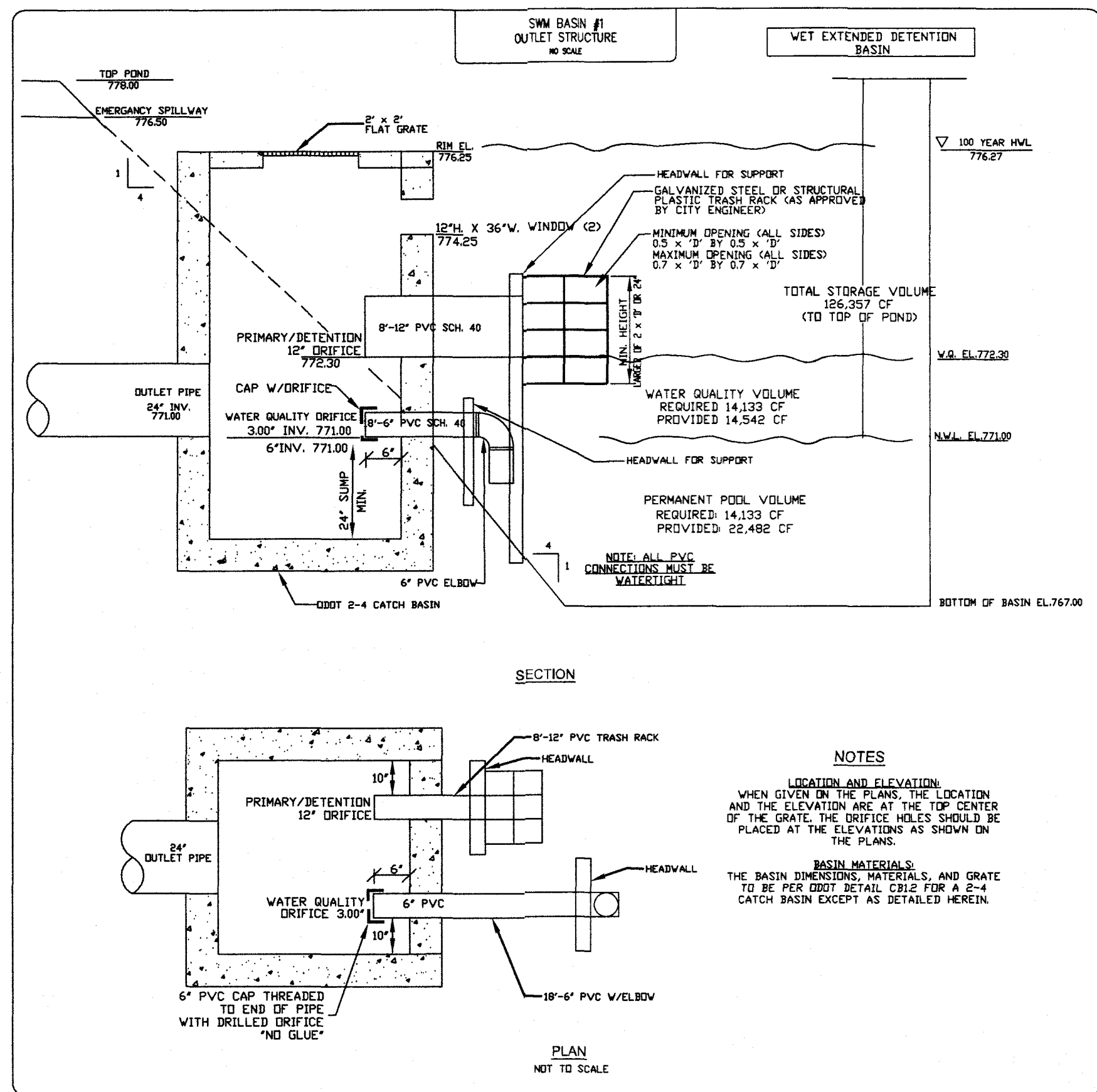
MASS GRADING &
SWP3 PLAN



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HARVEST POINTE
SUBDIVISION PHASE 2

CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

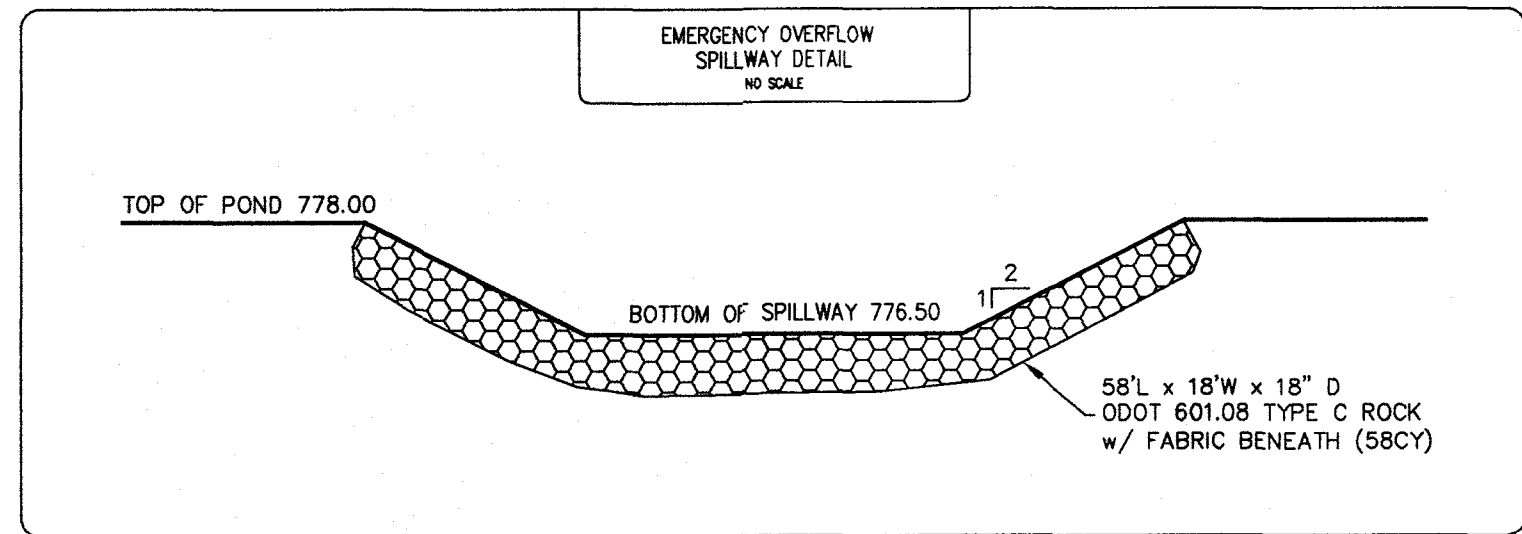


NOTE: THE HOME OWNERS ASSOCIATION IS RESPONSIBLE FOR PROVIDING AN ANNUAL INSPECTION REPORT OF THE STORMWATER MANAGEMENT FACILITIES BY A REGISTERED ENGINEER TO THE CITY OF NORTH RIDGEVILLE ENGINEERING DEPARTMENT

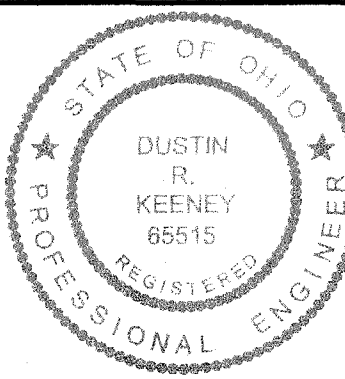
NOTE: THE HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORM WATER QUALITY STRUCTURES.

STORMWATER BASIN NOTE: STORM WATER BASIN TO BE CONSTRUCTED FIRST AND TO BE USED AS SEDIMENT BASIN.

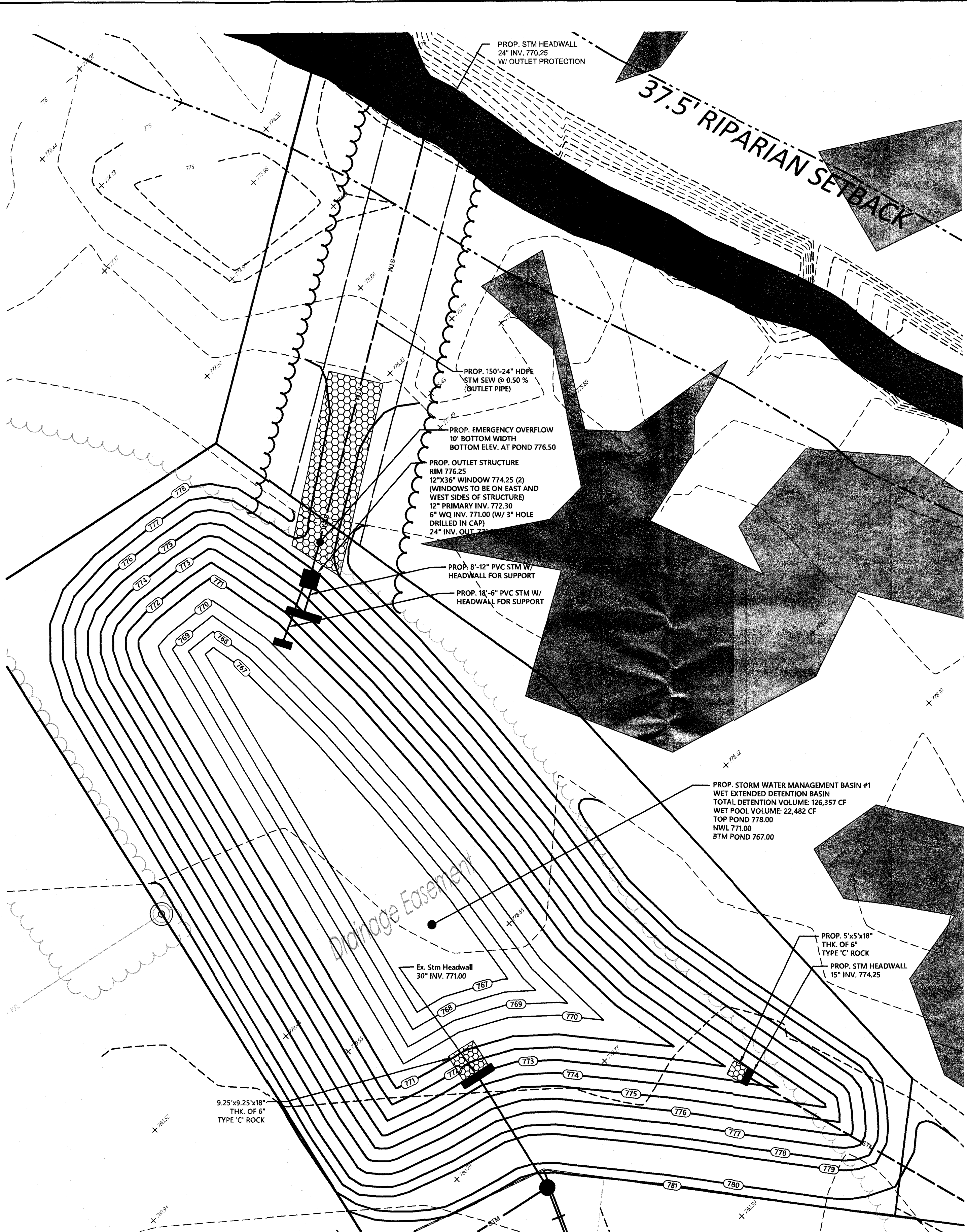
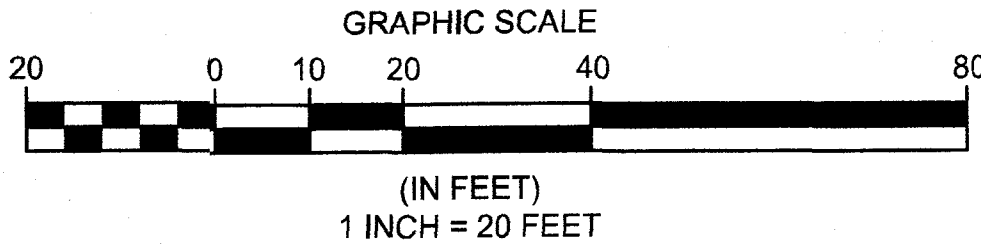
WET EXTENDED DETENTION	
Water Quality Volume Calculations	
Where:	
$R_v = \text{Runoff Coefficient} = 0.05-0.2$	$P = \text{Inches of Precipitation Depth} = 0.5$
$A_{\text{imp}} = 3.92 \text{ Ac. Impervious Area}$	$A = \text{Drainage Area} = 15.96 \text{ Ac.}$
$R_v = 0.271$	
$WQ_v = 0.32 \text{ Ac.} \times \text{Feet} = 14133 \text{ ft}^3$	
The proposed SWM basin elevation at this volume = 772.30	
The normal water elevation of the SWM Basin = 771.90	
Orifice Sizing	
$Q_{avg} = WQ_v / t_d = 0.164 \text{ ft}^3/\text{s}$	$t_d = \text{Draindown Time} = 24 \text{ hrs}$
$A = Q_{avg} / C_d \sqrt{2gH} = 0.07 \text{ ft}^2$	$C_d = \text{Coefficient of discharge} = 0.6$
$D = 4.43 \text{ ft}^{0.5} = 0.276 \text{ ft}$	$g = \text{Acceleration of gravity} = 32.2 \text{ ft/sec}^2$
CALC'D ORIFICE = 3.3 inches	$H = \text{Hmax} = \text{Max Hydraulic Head} = 1.30 \text{ ft}$
ORIFICE USED = 3 inches	$D = \text{Diameter of Orifice}$
Required Wet Pool Volume = 14133 ft ³ (100% of WQV)	
Provided Wet Pool Volume = 22,482 ft ³	
Confirm: Orifice Releases no more than one-half the WQV in the first one-third of Draindown Time	
$1/3 t_d = 8 \text{ hrs}$	
$1/2 WQ_v = 7067 \text{ ft}^3$	
Volume Discharge D in 1/3 of required draw-down time $(Q_{avg} \times 1/3 t_d \times 3600) = 14711 \text{ ft}^3 > 7067 \text{ ft}^3$ OK	



REV. No.	DATE	BY



DATE: 7/18/20
SCALE: HOR. 1"=20'
VERT. 1"=5'
FOLDER: DWG/Proj. Eng.
FILENAME: Plan & Profile
TAB: 12-SWM Basin Detail
DRAWN: DRW



NOTE: THIS PAGE SHOWN FOR REFERENCE ONLY. STORMWATER BASIN TO BE CONSTRUCTED IN PHASE 1

HARVEST POINTE SUBDIVISION PHASE 2

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SWM BASIN DETAIL

CONTRACT No.

18175

SHEET OF

12 19

CITY OF NORTH RIDGEVILLE
SWP3 STANDARD GENERAL NOTES

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

EROSION CONTROL SHALL CONSIST OF TEMPORARY CONTROL MEASURES AS DETAILED ON THE PLANS OR ORDERED BY THE GOVERNING AGENCY DURING THE LIFE OF THE CONTRACT TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGH USE OF EROSION CONTROL BEST MANAGEMENT PRACTICES (BMP'S).

TEMPORARY EROSION AND SEDIMENT CONTROL ITEMS, THE LOCATION AND SIZE OF WHICH ARE DETAILED ON THE PLANS, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTHWORK OPERATIONS. CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT WERE NOT FORESEEN DURING DESIGN STAGE; THAT REQUIRE ADDITIONAL OR MODIFIED TEMPORARY OR PERMANENT BMP'S SHALL BE APPROVED BY THE CITY ENGINEER AND REFLECTED ON THE REVISED SWP3.

SEDIMENT PONDS, SEDIMENT TRAPS, AND PERIMETER SEDIMENT CONTROLS, SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN 7 DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL DISTURBED AREAS ARE RE-ESTABLISHED WITH TEMPORARY VEGETATION. NO SEDIMENT CONTROLS SHALL BE PLACED IN A STREAM.

TRENCH DEWATERING OR GROUND WATER, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATER SHALL NOT BE DISCHARGED TO STREAMS OR THE STORM SEWER SYSTEM.

THE SWP3, NOTES AND DETAILED DRAWINGS ARE INTENDED TO SERVE AS BASIC GUIDELINES. ALL EROSION CONTROL PRACTICES SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE ODNR RAINWATER AND LAND DEVELOPMENT MANUAL.

ADDITIONAL EROSION CONTROL BMP'S MAY BE MANDATED BY THE GOVERNING AGENCY AT ANY TIME DURING THIS PROJECT AS UNFORESEEN SITUATIONS MAY ARISE THAT WARRANT FURTHER EROSION AND SEDIMENT CONTROL PRACTICES.

CLEARING AND GRUBBING

LIMITS OF CLEARING AND GRADING SHALL BE CLEARLY MARKED ON THE SITE WITH SIGNAGE, FLAGGING AND/OR ORANGE CONSTRUCTION FENCING.

THE CONTRACTOR SHALL LIMIT THE SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY EXCAVATION, BORROW, AND FILL OPERATIONS AND PROVIDE IMMEDIATE PERMANENT OR TEMPORARY CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS OR OTHER WATER COURSES, LAKES, PONDS, WETLANDS OR OTHER AREAS OF WATER IMPOUNDMENT.

CONSTRUCTION ENTRANCE

A STONED CONSTRUCTION ENTRANCE SHALL BE INSTALLED FOR ALL INGRESS & EGRESS TO THE SITE. THE MINIMUM DIMENSIONS OF THE DRIVE SHALL BE 20 FT. WIDE AND 50 FT. LONG. THE STONE SHALL BE 6 INCHES DEEP WITH AN UNDERLAIN GEOTEXTILE FABRIC. THE DRIVE SHALL BE INSTALLED PRIOR TO ANY CLEARING AND GRUBBING. SEDIMENTS SHALL BE REMOVED FROM THE ROADWAYS DAILY.

STABILIZATION

PERMANENT AND TEMPORARY STABILIZATION ARE DEFINED IN PART VII OF THE OEPA AUTHORIZATION FOR FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM. OHIO EPA PERMIT NO. OH000003 EFFECTIVE DATE 4/21/08 - EXPIRATION DATE 4/20/13 DISTURBED AREAS MUST BE STABILIZED AS SPECIFIED IN THE FOLLOWING TABLES BELOW:

TABLE 1: PERMANENT STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROL
ANY AREA THAT WILL BE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREA WITHIN 50 FT. OF A STREAM AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA

TEMPORARY SEEDING

SEEDING AREAS SHALL BE INSPECTED AND WHERE THE SEED HAS NOT PRODUCED 80% COVER SHALL BE RESEED AS NECESSARY BY THE CONTRACTOR. AREAS SHALL BE STABILIZED WITH STRAW MULCH WHEN CONDITIONS PROHIBIT SEEDING.

STRAW MULCHING SHALL BE APPLIED AT A RATE 2-3 STANDARD 45 LB. BALES PER 1000 SQ.FT. OF DISTURBED AREA OR 2 TONS PER ACRE. ALL HYDROSEEDING MUST BE STRAW MULCHED ACCORDING TO THE ABOVE SPECIFICATIONS UNLESS IT IS WATERED WEEKLY.

ALL DETENTION PONDS, RETENTION PONDS, WATER QUALITY STRUCTURES, SEDIMENT PONDS, SEDIMENT TRAPS, EARTHEN DIVERSIONS OR EMBANKMENTS SHALL BE SEEDD AND STRAW MULCHED WITHIN 7 DAYS OF COMPLETED CONSTRUCTION.

TABLE 2: TEMPORARY STABILIZATION

AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROL
ANY DISTURBED AREAS WITHIN 50 FT. OF A STREAM AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 21 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FT. OF STREAM	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOTS(S) PRIOR TO ONSET OF WINTER WEATHER (NOV.1) STRAW MULCH 2 TO 3 BALES PER 1000 SQ.FT. AND OR 2 TONS PER ACRE

PERMANENT STABILIZATION OF CONVEYANCE CHANNELS

OPERATORS SHALL UNDERTAKE SPECIAL MEASURES TO STABILIZE CHANNELS AND OUTFALLS AND PREVENT EROSION. MEASURES MAY INCLUDE SEEDING, DORMANT SEEDING (AS DEFINED IN THE LATEST EDITION OF "ODNR RAINWATER AND LAND DEVELOPMENT MANUAL"), MULCHING, EROSION CONTROL MATTING, SODDING, RIPRAP NATURAL CHANNEL DESIGN WITH BIO ENGINEERING TECHNIQUES OR ROCK CHECK DAMS.

SOIL TRANSPORT ONTO PUBLIC ROADS

WHERE SOIL IS TRANSPORTED ONTO PUBLIC ROAD SURFACES, THE ROADS SHALL BE CLEANED THOROUGHLY BY EITHER SWEEPING OR SCRAPING AT THE END OF EACH WORK DAY OR MORE FREQUENTLY, IN ORDER TO ENSURE PUBLIC SAFETY. STREET WASHING SHALL NOT BE PERMITTED.

ERODIBLE MATERIAL RAMPS IN STREETS TO ENABLE EQUIPMENT TO CROSS CURBS SHALL BE PROPERLY REMOVED IMMEDIATELY AFTER USE.

SILT FENCE & DIVERSIONS

SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE INTERCEPTED BY SILT FENCE OR DIVERSIONS TO PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED VIA SHEET FLOW. WHERE INTENDED TO PROVIDE SEDIMENT CONTROL, SILT FENCES SHALL BE PLACED ON A LEVEL CONTOUR. THE EPA PERMIT NO. OH000003 DOES NOT PRECLUDE THE USE OF OTHER SEDIMENT BARRIERS DESIGNED TO CONTROL SHEET FLOW RUNOFF. SILT FENCE IS NOT PERMITTED TO BE USED FOR CONTROLLING CONCENTRATED SURFACEWATER FLOW (ONLY SHEET FLOW). STORMWATER DIVERSION PRACTICES SHALL BE USED TO KEEP RUNOFF AWAY FROM DISTURBED AREAS AND STEEP SLOPES WHERE PRACTICAL. SUCH DEVICES, WHICH INCLUDE SWALES, DIKES OR BERMS, MAY RECEIVE FROM AREAS UP TO 10 ACRES.

INLET PROTECTION

INLET PROTECTION IS MANDATORY.

NON-SEDIMENT POLLUTANTS CONTROLS

NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORMWATER RUNOFF. ALL NECESSARY BMP'S MUST BE IMPLEMENTED TO PREVENT THE DISCHARGE OF NON-SEDIMENT POLLUTANTS TO THE DRAINAGE SYSTEM OF THE SITE OR SURFACE WATERS OF THE STATE. UNDER NO CIRCUMSTANCE SHALL CONCRETE TRUCKS WASH OUT DIRECTLY INTO A DRAINAGE CHANNEL, STORM SEWER OR SURFACE WATERS OF THE STATE. NO EXPOSURE OF STORMWATER TO WASTE MATERIALS IS RECOMMENDED.

TRENCH AND GROUND WATER CONTROL

THERE SHALL BE NO TURBID DISCHARGES TO SURFACE WATERS OF THE STATE RESULTING FROM DEWATERING ACTIVITIES. IF TRENCH OR GROUND WATERS CONTAIN SEDIMENT, IT MUST PASS THROUGH A SEDIMENT SETTLING POND OR OTHER EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE PRIOR TO BEING DISCHARGED FROM THE CONSTRUCTION SITE. ALTERNATIVELY, SEDIMENT MAY BE REMOVED BY SETTLING IN PLACE OR DEWATERING INTO A SUMP PIT, FILTER BAG OR COMPARABLE PRACTICE. GROUND WATER DEWATERING WHICH DOES NOT CONTAIN SEDIMENT OR OTHER POLLUTANTS ARE NOT REQUIRED TO BE TREATED PRIOR TO DISCHARGE, HOWEVER, CARE MUST BE TAKEN WHEN DISCHARGING GROUND WATER TO ENSURE THAT IT DOES NOT BECOME POLLUTANT-LADEN BY TRAVERSING OVER DISTURBED SOILS OR OTHER POLLUTANT SOURCES.

MAINTENANCE

ALL TEMPORARY AND PERMANENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED IN A FUNCTIONAL CONDITION UNTIL ALL UP-SLOPE AREAS THEY CONTROL ARE PERMANENTLY STABILIZED. THE CONTRACTOR SHALL COMPLY WITH THE MAINTENANCE SCHEDULE INCLUDED IN THE APPROVED PLANS FOR THE PROPOSED EROSION CONTROLS. A WRITTEN DOCUMENT CONTAINING THE SIGNATURES OF ALL CONTRACTORS AND SUB-CONTRACTORS INVOLVED IN THE IMPLEMENTATION OF THE BMP'S MUST BE MAINTAINED AS PROOF ACKNOWLEDGING THAT THEY REVIEWED AND UNDERSTAND THE CONDITIONS AND RESPONSIBILITIES OF THE SWP3.

INSPECTION

ALL STORMWATER CONTROLS ON THE SITE ARE INSPECTED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER 24 HOUR PERIOD. A WRITTEN RECORD DOCUMENTATING THE RESULTS OF THESE INSPECTIONS MUST BE CREATED AND MAINTAINED WITH THE SWP3. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE SWP3 SHALL BE OBSERVED TO ENSURE THAT THOSE ARE OPERATING CORRECTLY. DISCHARGE LOCATIONS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO THE RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE VEHICLE TRACKING.

WASTE DISPOSAL

CONTAINERS (e.g., DUMPSTERS, DRUMS) SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.

CLEAN HARD FILL

BRICKS, HARDENING CONCRETE, AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE. CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY, SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.

CONSTRUCTION & DEMOLITION DEBRIS

ALL CONSTRUCTION & DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE (ORC) 3714. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN A OHIO EPA APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS (SEE OHIO ADMINISTRATIVE CODE (OAC) 3745-20).

CONSTRUCTION CHEMICAL COMPOUNDS

AREA SHALL BE DESIGNATED FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME ASPHALT, OR CONCRETE. THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.

EQUIPMENT FUELING & MAINTENANCE

EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY.

A SPILL PREVENTION CONTROL AND COUNTERMEASURES

A SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 680 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,330 GALLONS, OR BELOW-GROUND STORAGE OF 4,200 GALLONS OF FUEL.

CONCRETE WASH WATER

ALL DESIGNATED CONCRETE WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREAS.

CONTAMINATED SOILS

ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED IN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITIES OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFs).

SPILL REPORTING REQUIREMENTS

THE CONTRACTOR SHALL CONTACT THE OHIO EPA AT 800-282-9378 AND THE LOCAL FIRE DEPARTMENT IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.

OPEN BURNING

OPEN BURNING IS NOT PERMITTED.

DUST CONTROLS/SUPPRESSANTS

USED OIL MAY NOT BE USED AS A DUST SUPPRESSANT. NO DUST SUPPRESSANT SHALL BE APPLIED NEAR CATCH BASINS, STORM SEWERS OR OTHER DRAINAGE WAYS.

STREAM CROSSINGS

STREAM CROSSINGS SHALL BE CONSTRUCTED ENTIRELY OF STONE, ROCK, OR CLEAN RECYCLED CONCRETE. SOIL OR EARTHEN MATERIAL MAY NOT BE USED. A 20 FT. STONE APRON ON EITHER SIDE OF THE STREAM SHALL BE CONSTRUCTED TO PREVENT LOCALIZED SEDIMENTATION. THE CHANNELBED AND BANKS SHALL BE RESTORED, AND ALL DISTURBED AREAS OF THE BANK WITHIN 50 FT. OF THE STREAM SHALL BE STABILIZED WITH SEED AND STRAW MULCH WITHIN 2 DAYS OF THE DISTURBANCE.

PERMITS

THIS SITE IS COVERED UNDER OHIO EPA CONSTRUCTION GENERAL PERMIT #_____

THIS SITE IS COVERED UNDER OEPA / ARMY 401 /404 PERMIT #_____

STRUCTURAL BMP'S

PERMANENT BMP'S FOR POST CONSTRUCTION TREATMENT OF STORMWATER (CONVERSION OF SEDIMENT LAND TO STORMWATER POND) SHALL NOT BE INSTALLED UNTIL 80% OF THE DISTURBED AREA IS STABILIZED.

SEEDING AND MULCHING

SEDIMENT CONTROL SHALL BE ACCOMPLISHED BY SEEDING AND MULCHING IMMEDIATELY UPON COMPLETION OF EXCAVATION OR FILL AND FINISHED GRADING IN ACCORDANCE WITH ITEM 659 OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS OR AS DIRECTED BY THE ENGINEER. THE FOLLOWING PRO-MIXTURE SHALL BE USED FOR SEEDING: 5-21 CERTIFIED KENTUCKY BLUE GRASS - 35% PENNLAWN FESCUE - 25% MANHATTEN II RYEGRASS - 40% FERTILIZER - 10#/1000 S.F. (12-12-12) MULCH - STRAW - 2 TONS/ACRE RESTORATION OF ALL DISTURBED AREAS SHALL IMMEDIATELY FOLLOW EXCAVATION AND GRADING OPERATIONS. DELAY IN RESTORATION SHALL NECESSITATE TEMPORARY EROSION CONTROL MEASURES APPROVED BY THE ENGINEER AND AT THE CONTRACTOR'S COST.

RIPARIAN BUFFERS

THE RIPARIAN BUFFER (SETBACK) FOR ALL MAJOR AND MINOR DITCHES SHALL BE MARKED IN THE FIELD WITH ORANGE CONSTRUCTION FENCING BY THE CONSTRUCTION SITE OPERATOR PRIOR TO ANY EARTH DISTURBING ACTIVITIES.

ENFORCEMENT

ALL DEVELOPMENT SITES ARE SUBJECT TO INSPECTIONS BY THE CITY OF NORTH RIDGEVILLE AUTHORIZED AGENT(S) UNDER THE DIRECTION OF THE A LICENSED PROFESSIONAL ENGINEER TO ENSURE COMPLIANCE WITH THE APPROVED SITE DEVELOPMENT PLAN OR SWM PLAN.

IF IT IS FOUND THAT THE OPERATIONS ARE BEING CONDUCTED IN VIOLATION OF THE APPROVED SITE DEVELOPMENT PLAN AND SWM PLAN, A STOP-WORK ORDER MAY BE ISSUED BY THE CITY OF NORTH RIDGEVILLE UNTIL THE IDENTIFIED VIOLATIONS CEASE.

AFTER ISSUANCE OF A STOP-WORK ORDER PROVIDED IN THE PARAGRAPH ABOVE, BUT BEFORE THE IMPOSITION OF ANY FINES, THE APPLICANT SHALL HAVE TWO (2) BUSINESS DAYS TO REQUEST A MEETING WITH THE CITY LAW DIRECTOR AND THE CITY ENGINEER TO SHOW CAUSE WHY THE WORK SHOULD NOT BE STOPPED.

FOLLOWING THE ISSUANCE OF A STOP-WORK ORDER, THE CITY OF NORTH RIDGEVILLE SHALL DETERMINE IF AND WHEN THE DEVELOPMENT MAY PROCEED. ANY DETERMINATION BY THE CITY OF NORTH RIDGEVILLE PURSUANT TO THIS SECTION IS A FINAL ORDER FOR THE PURPOSE OF JUDICIAL REVIEW.

VIOLATIONS

THE CITY OF NORTH RIDGEVILLE SHALL NOTIFY THE STORM WATER PERMITTEE OF ANY VIOLATIONS OBSERVED IN WRITING. SAID NOTICE SHALL INDICATE THE EXACT NATURE OF THE VIOLATIONS AND OTHER SPECIFIC CORRECTIONS WHICH ARE REQUIRED.

THE PERMITTEE SHALL COMPLY WITH THE TIMELINE FOR CORRECTIONS SPECIFIED BELOW. TIMELINE EXTENSIONS FOR ADVERSE WEATHER CONDITIONS MAY BE GRANTED UPON APPROVAL OF THE CITY ENGINEER.

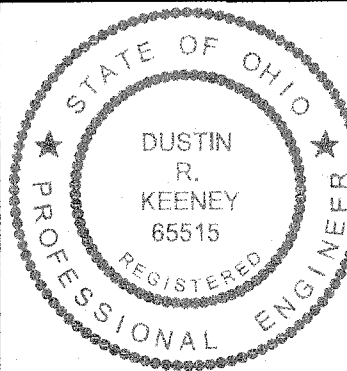
NATURE OF VIOLATION:	NUMBER OF DAYS FROM INSPECTION TO CORRECT FUNCTIONING OF CONTROL PRACTICE:
SILT FENCE	WITHIN THREE (3) DAYS
OUTLET CONTROL STRUCTURE	WITHIN THREE (3) DAYS
TEMPORARY OR PERMANENT STABILIZATION WITHIN 50' OF DRAINAGE CHANNELS	WITHIN THREE (3) DAYS
TEMPORARY OR PERMANENT STABILIZATION FOR ALL OTHER DISTURBED AREAS	WITHIN THREE (3) DAYS
STABILIZED CONSTRUCTION ENTRANCE	WITHIN THREE (3) DAYS
PUMPING SEDIMENT-LADEN DISCHARGE INTO DRAINAGE CHANNEL	IMMEDIATELY UPON NOTICE
SEDIMENT SETTLING POND	WITHIN TEN (10) DAYS
ANY OTHER CONTROL PRACTICE NOT ADDRESSED IN THIS TABLE	WITHIN THREE (3) DAYS

PENALTIES SUBSEQUENT TO ISSUANCE OF STOP-WORK ORDER

SUBSEQUENT TO ISSUANCE OF A STOP-WORK ORDER, PENALTIES MAY BE IMPOSED ACCORDING TO THE CITY OF NORTH RIDGEVILLE CODIFIED ORDINANCE 1056.08(G)(1)(A), 1056.08(G)(1)(B) OR 1056.08(G)(1)(C).

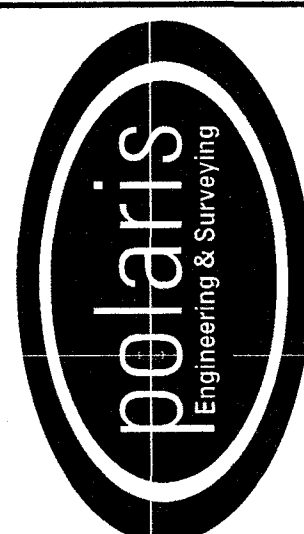
REV. 11/22/16 OCTOBER 1, 2008

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					TAB: 14-SWP3 Notes
					DRAWN: DRW



HARVEST POINTE
SUBDIVISION PHASE 2
CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
34600 CHARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
(440) 944-4433 (440) 944-3722 (Fax)
www.polaris-es.com



SWP3 NOTES

CONTRACT No.

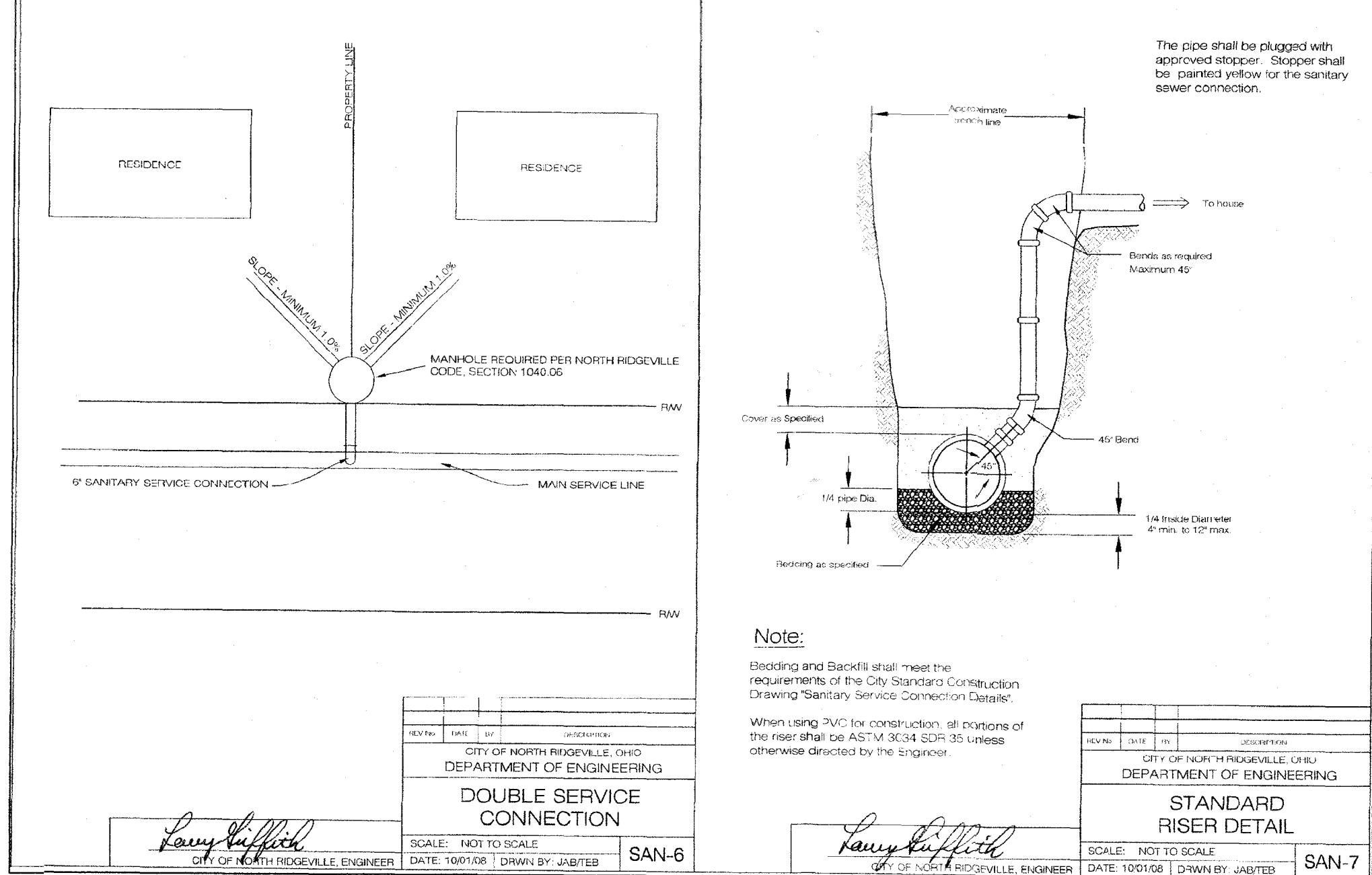
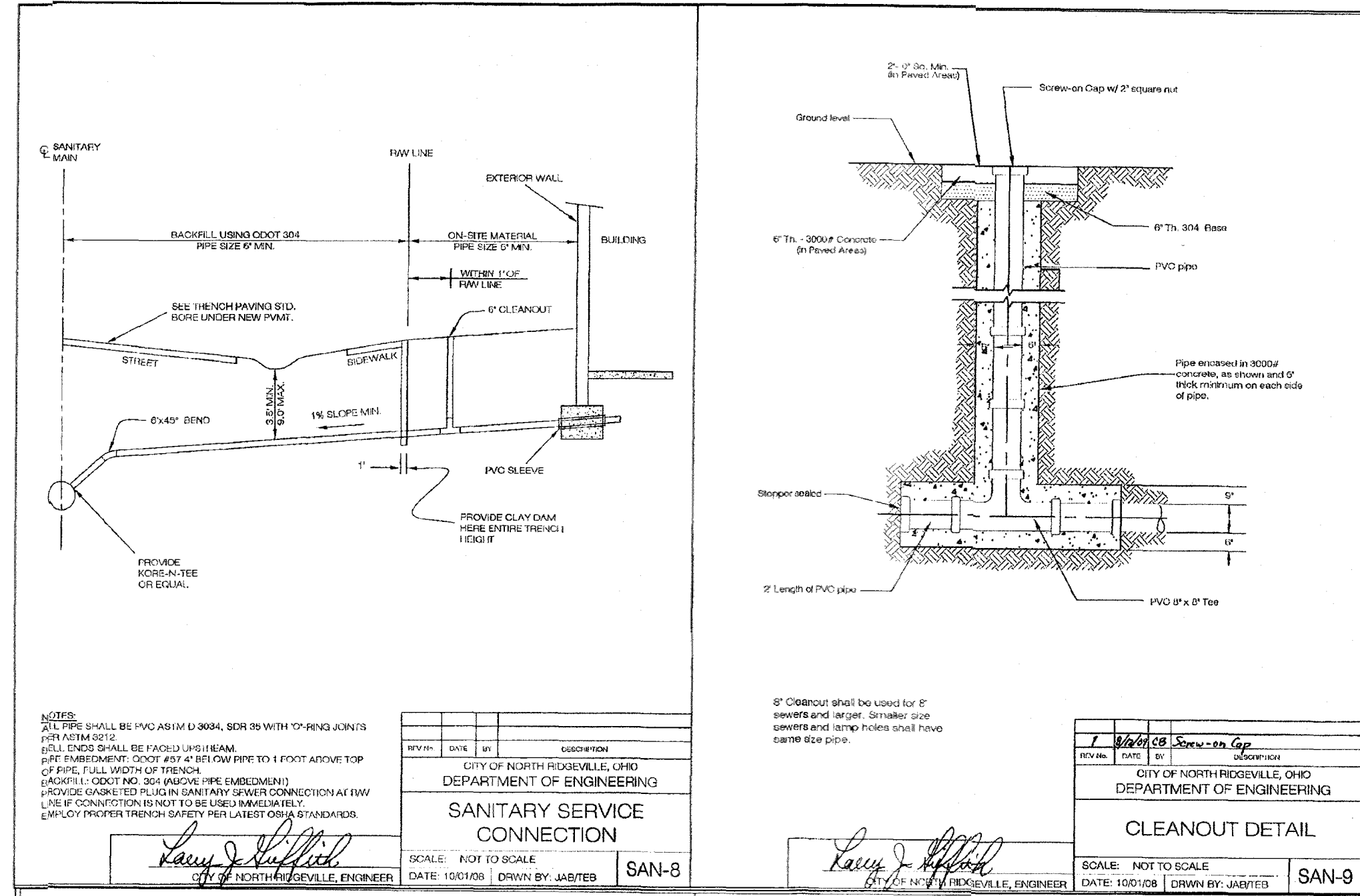
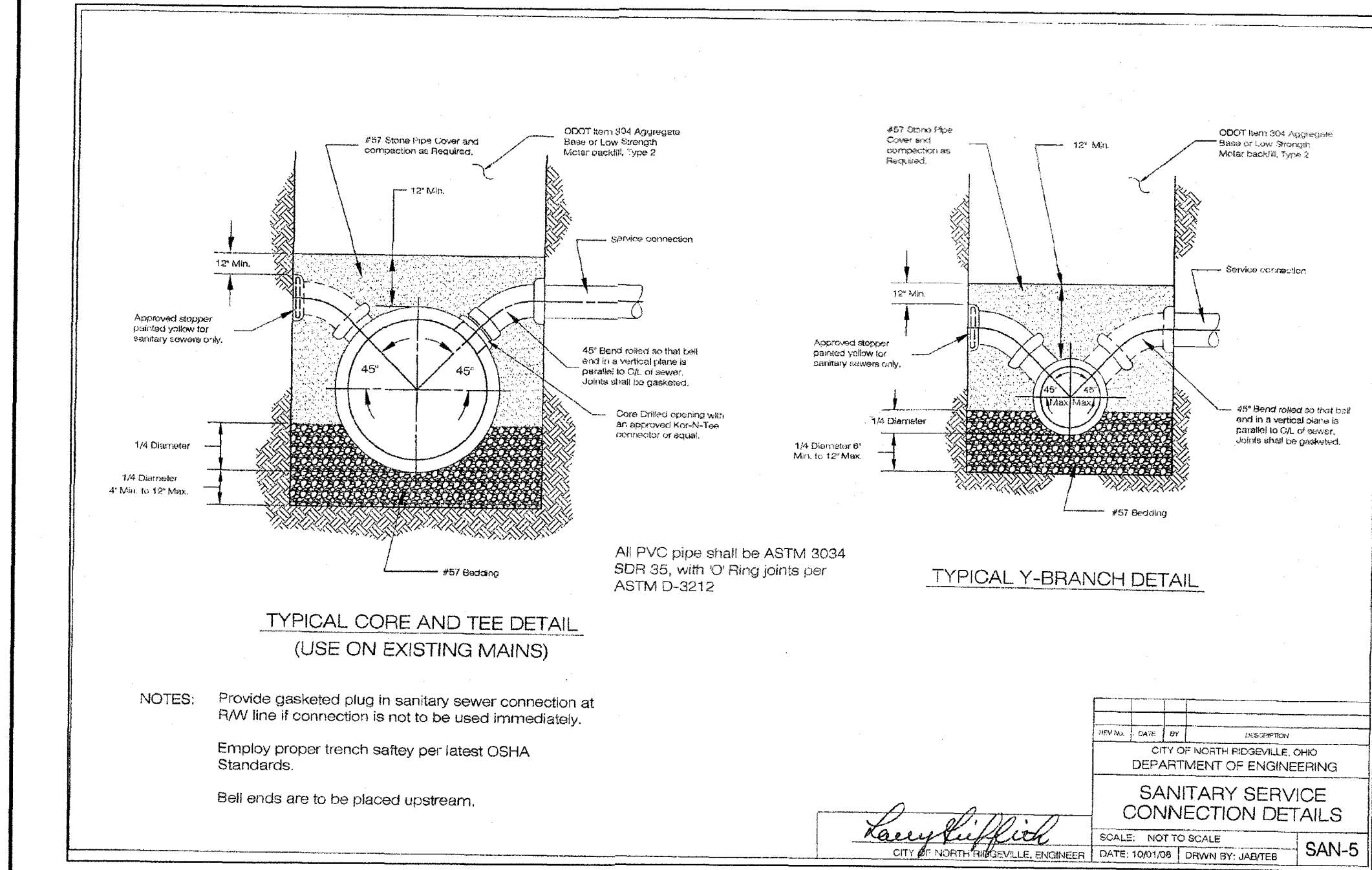
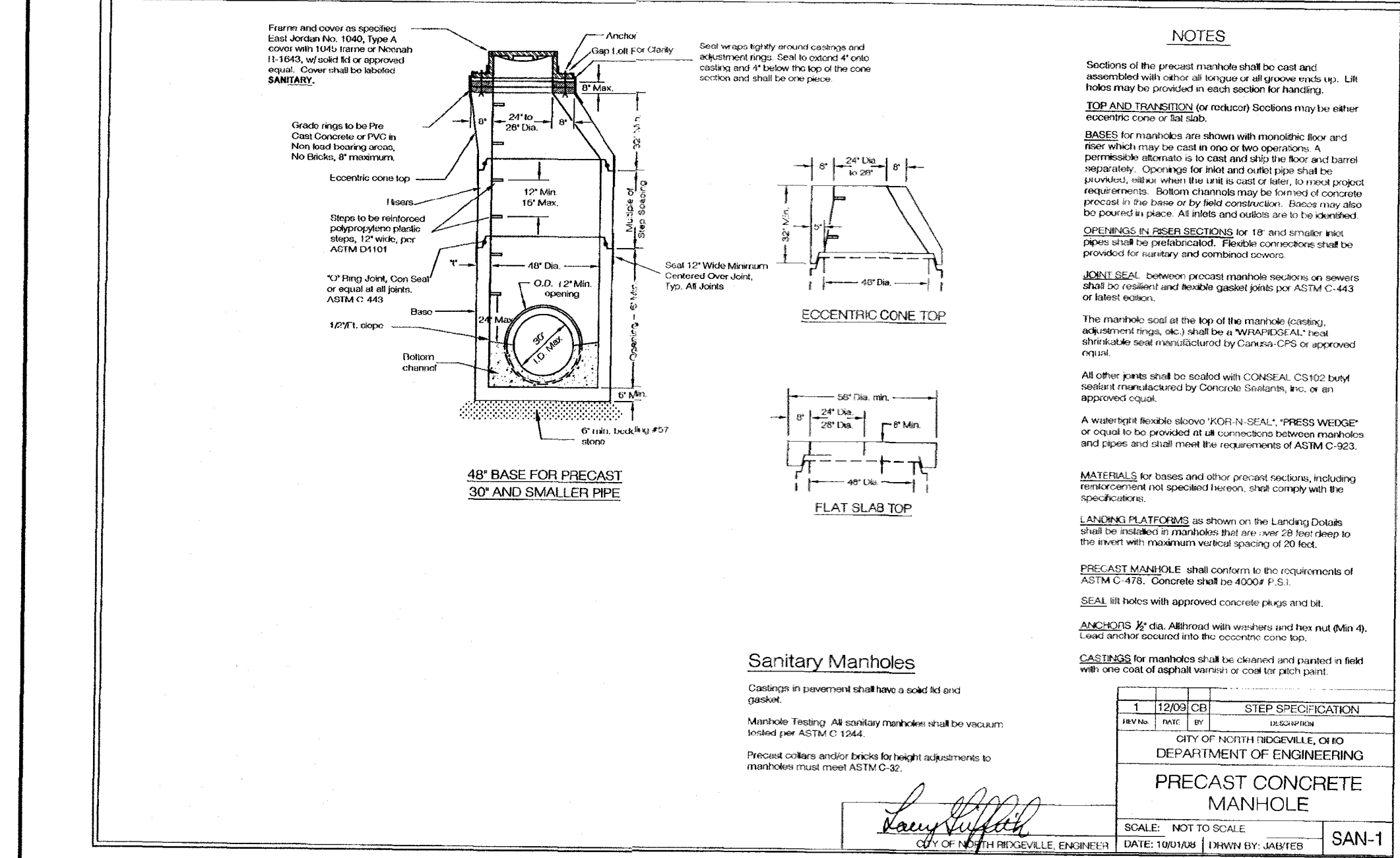
18175

SHEET

OF

13

19



REV. No.	DATE	BY

STATE OF OHIO

DUSTIN R. KEENEY

REGISTERED PROFESSIONAL ENGINEER

DATE: 7/15/20

SCALE: HOR. NA

VERT. NA

FOLDER: DWS/Proj. Eng.

FILENAME: Title, Notes, Details

TAB: 17-Sanitary Details

DRAWN: DRW

HARVEST POINTE SUBDIVISION PHASE 2

CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

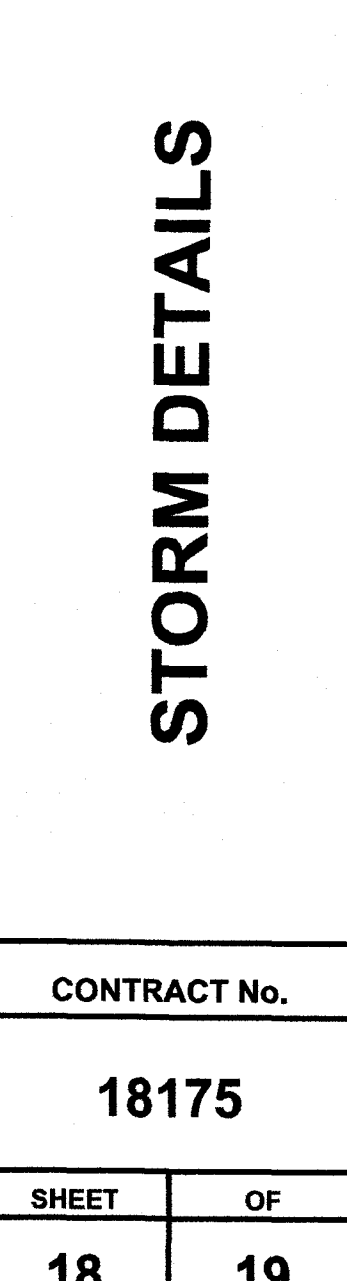
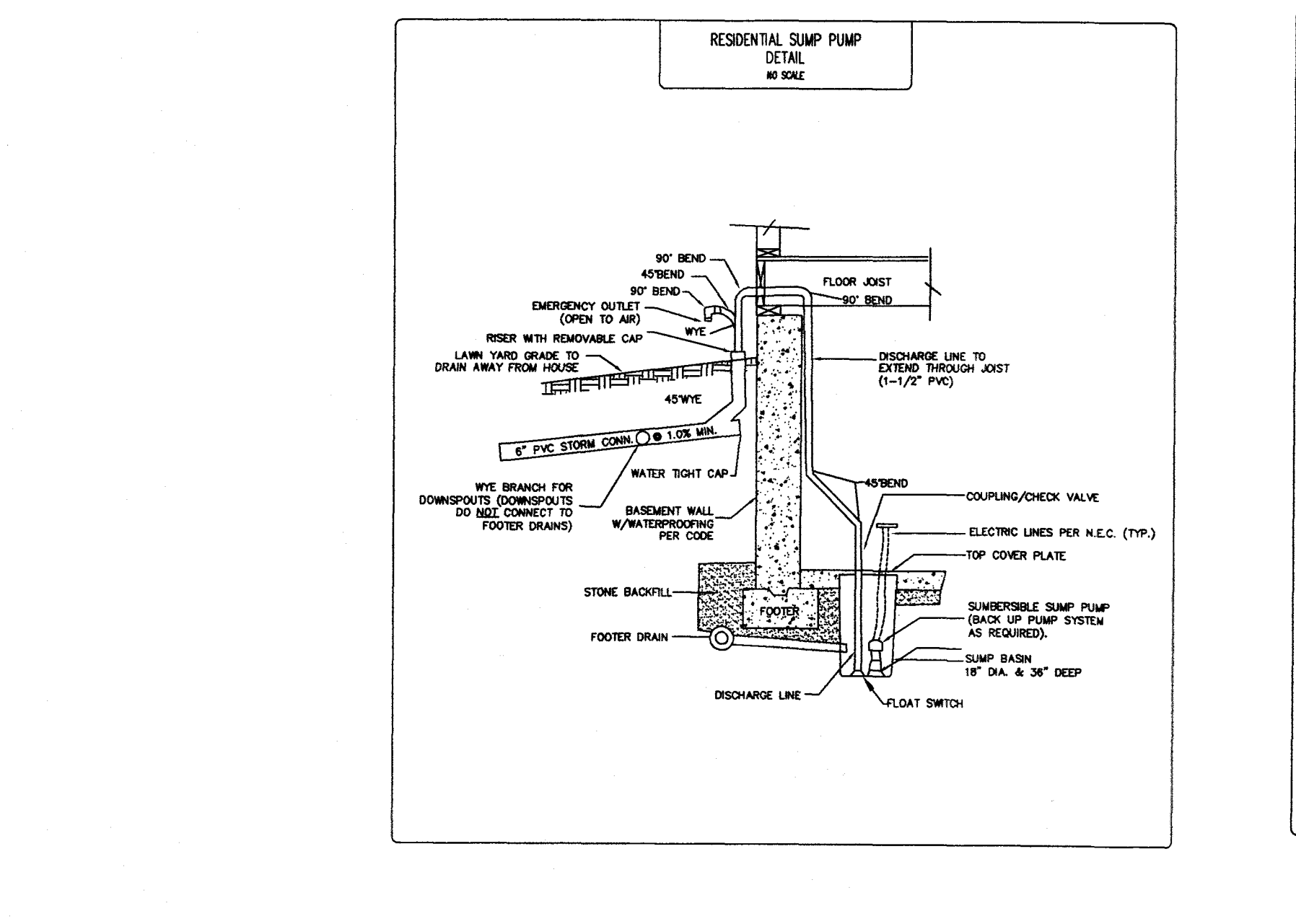
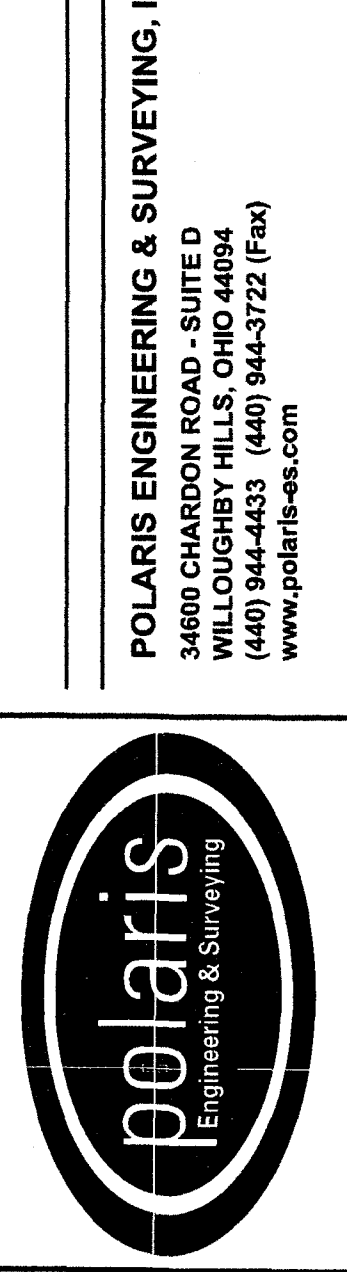
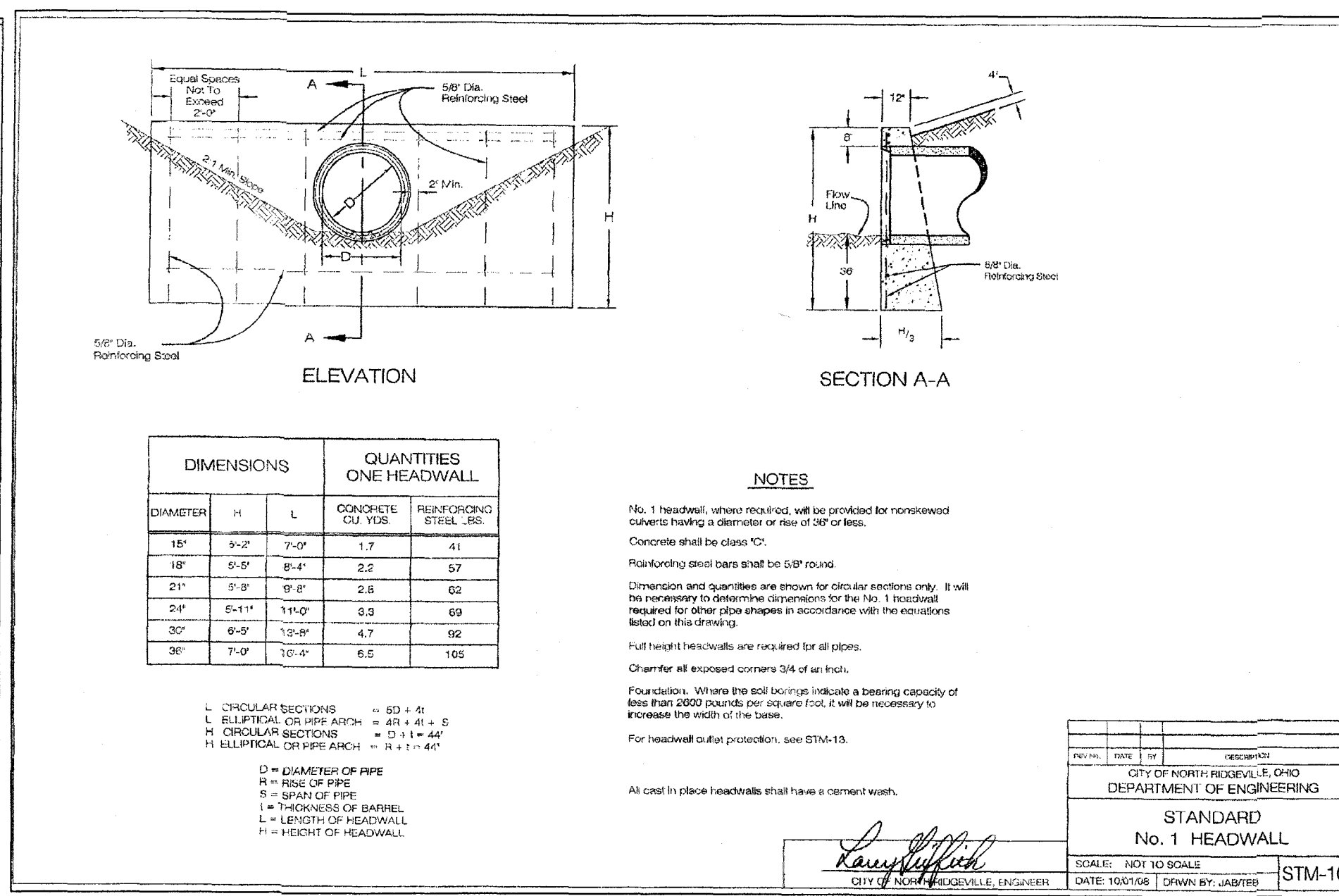
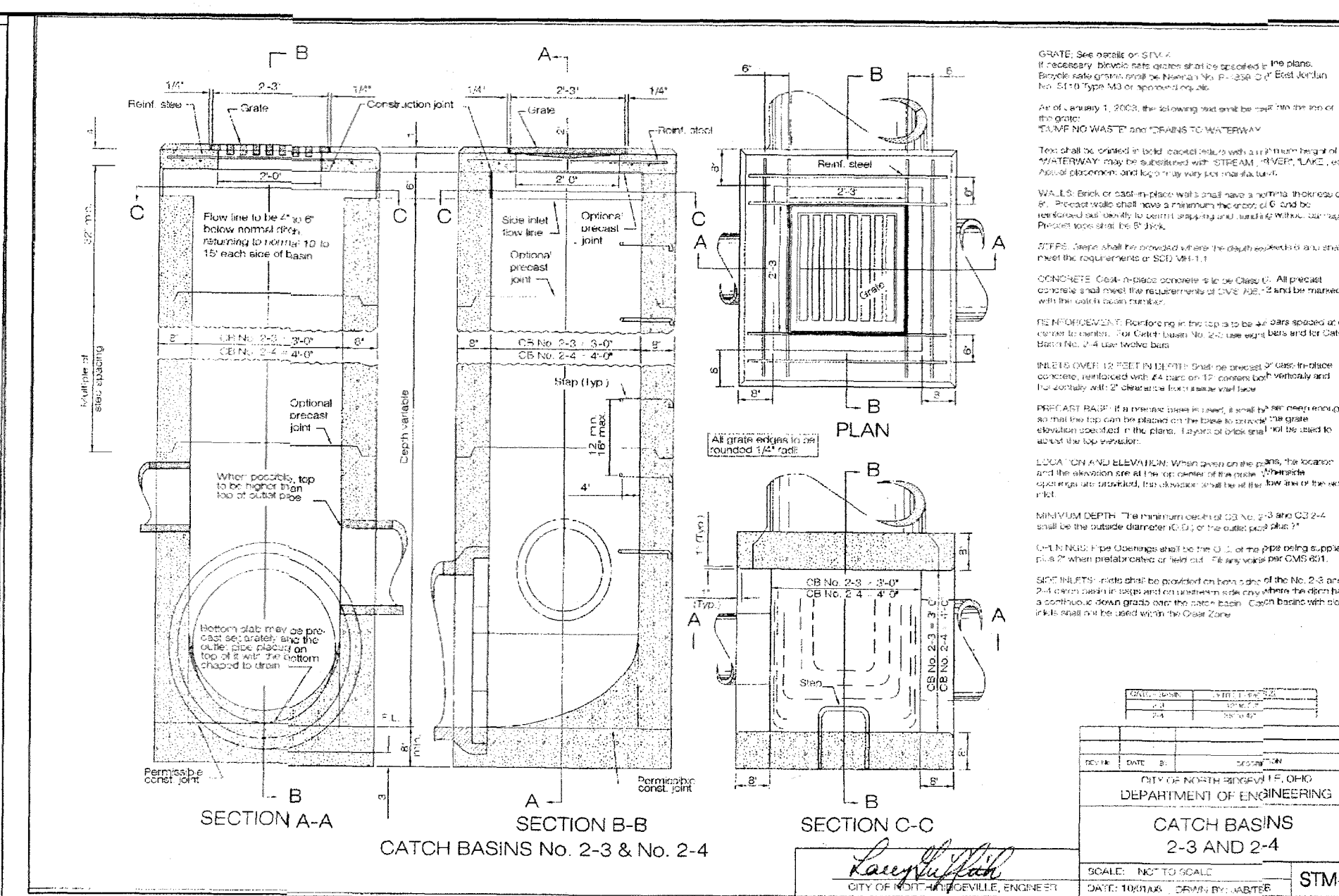
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SANITARY DETAILS

CONTRACT No.

18175

SHEET	OF
17	19



18175

SHEET	OF
18	19

HARVEST POINTE
SUBDIVISION PHASE 2

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(614) 444-4433 (FAX)
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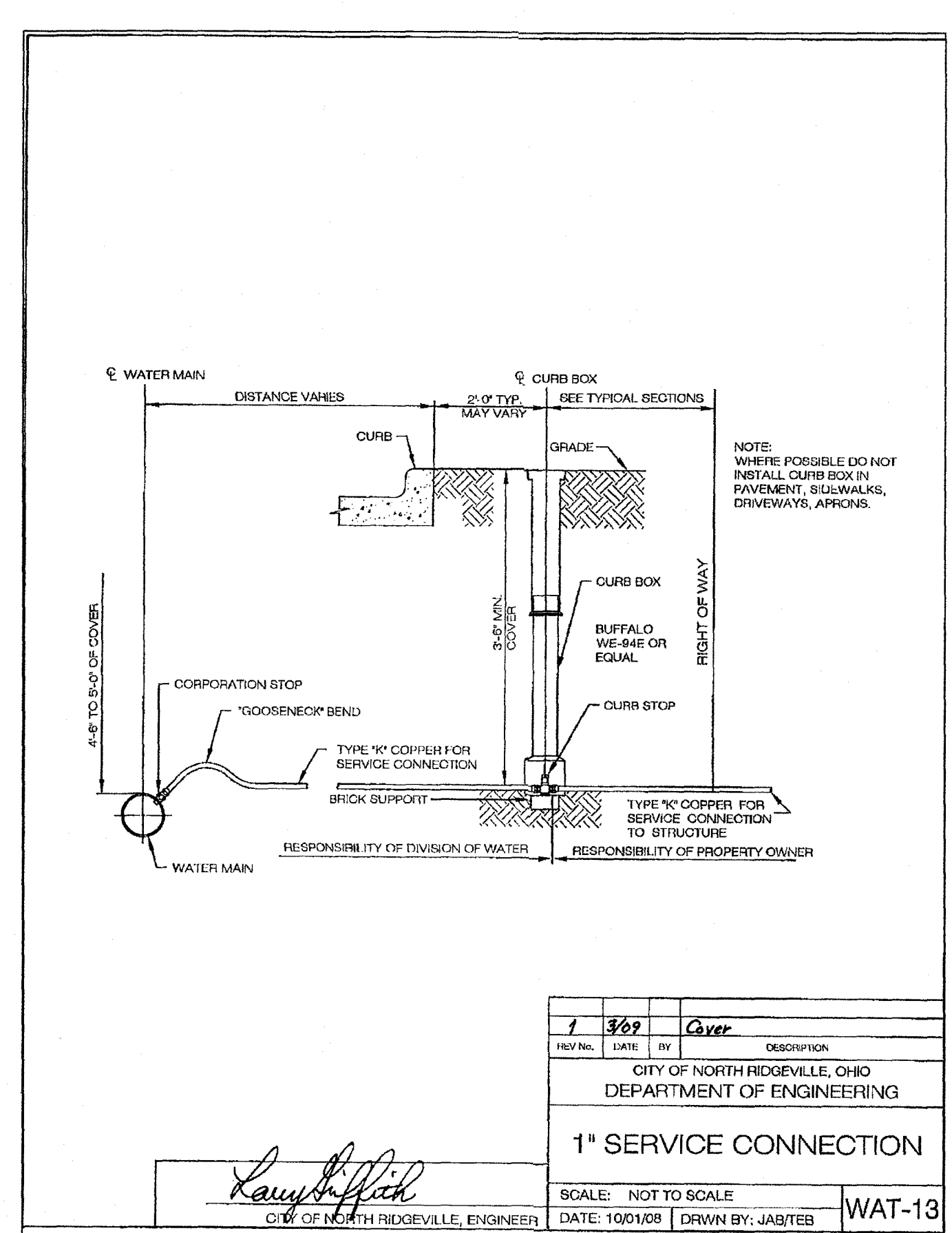
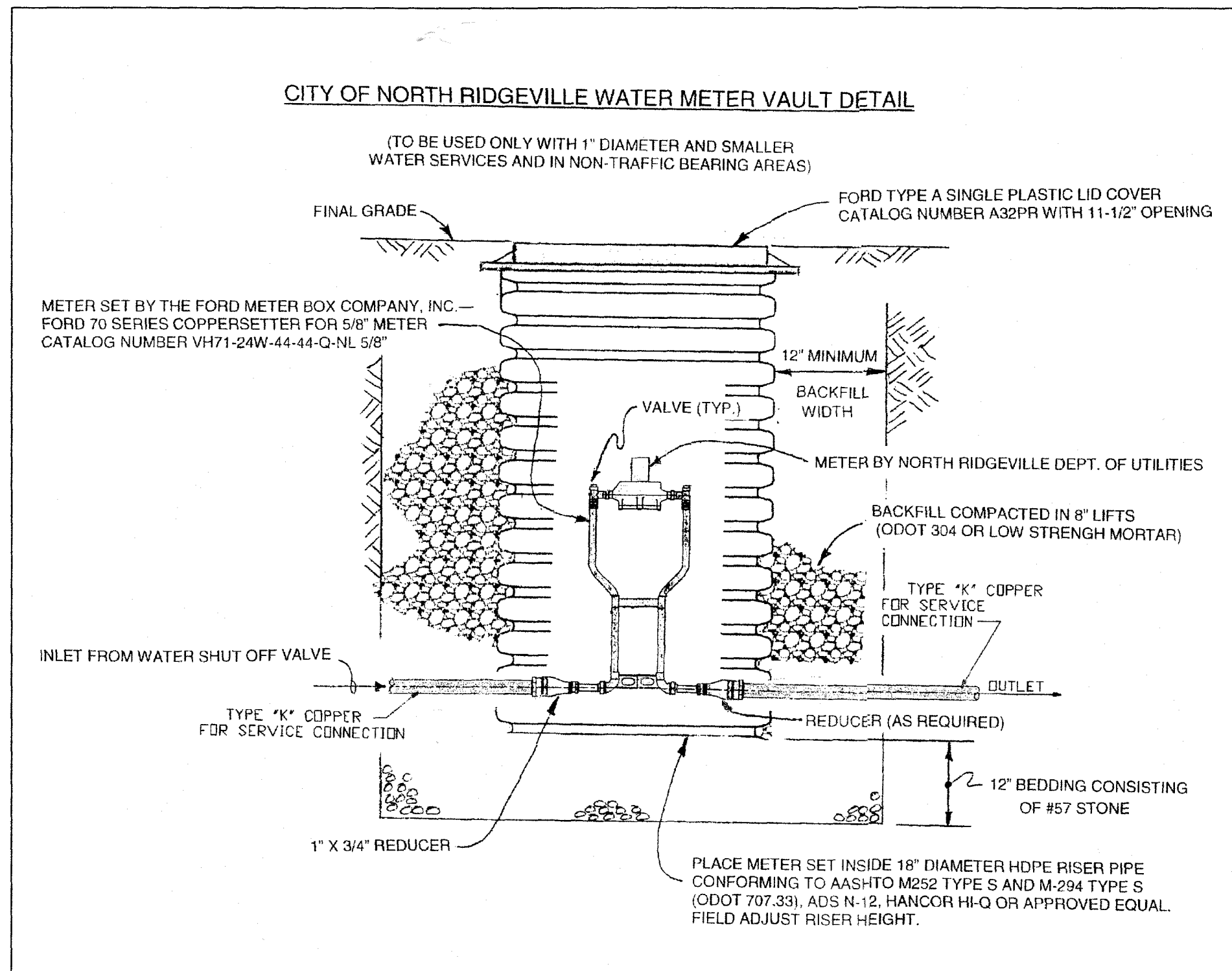
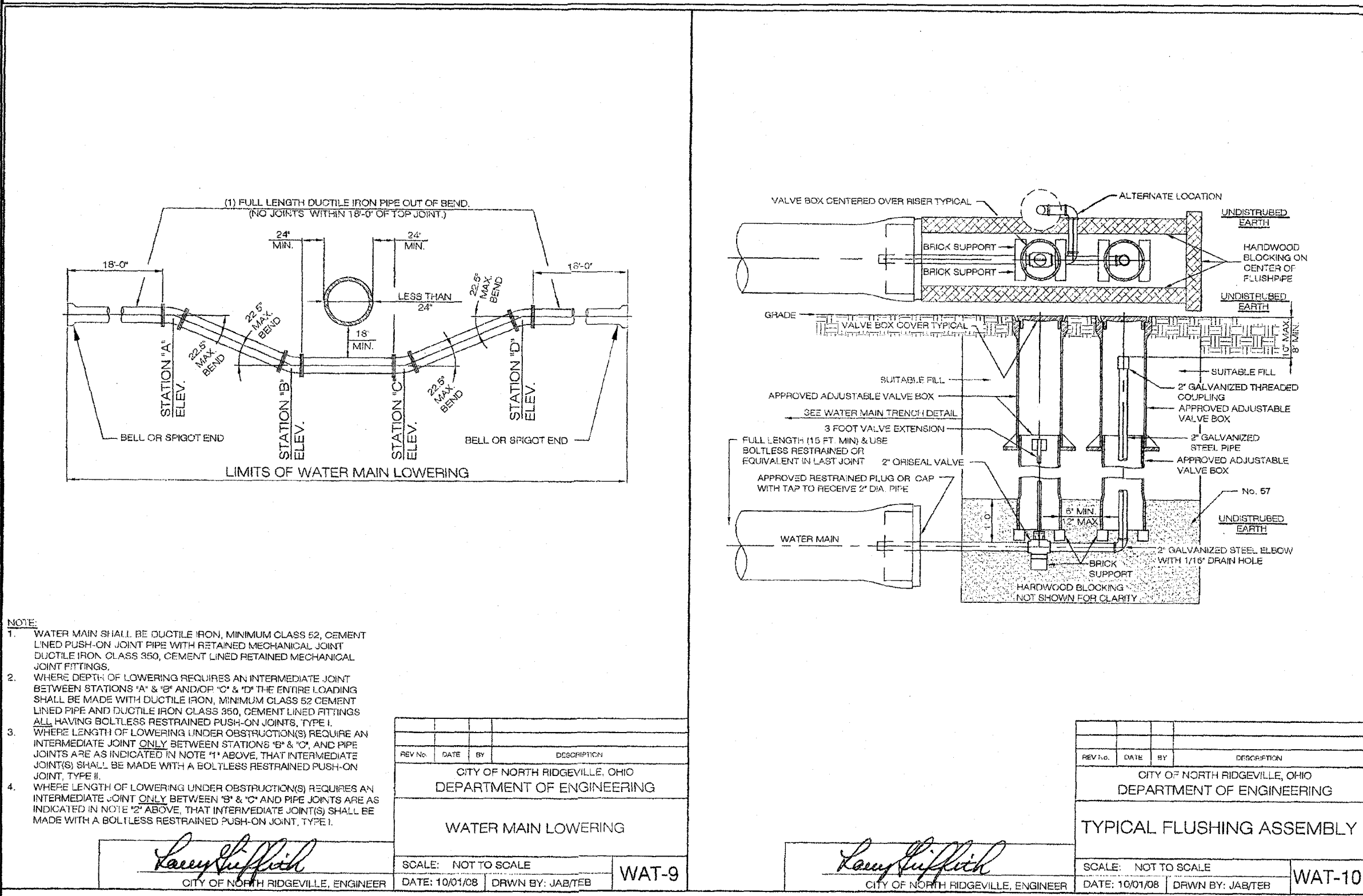
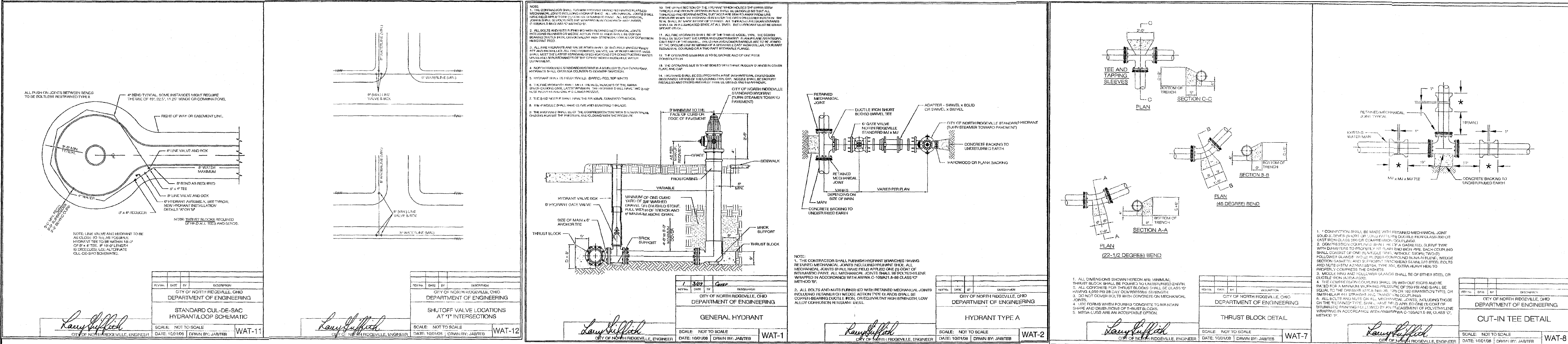


WATER DETAILS

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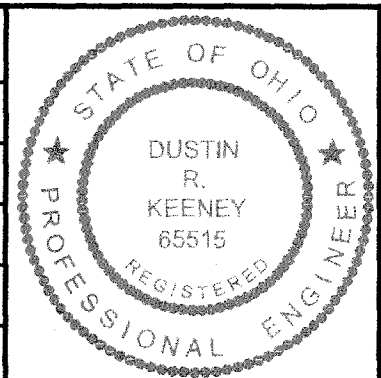
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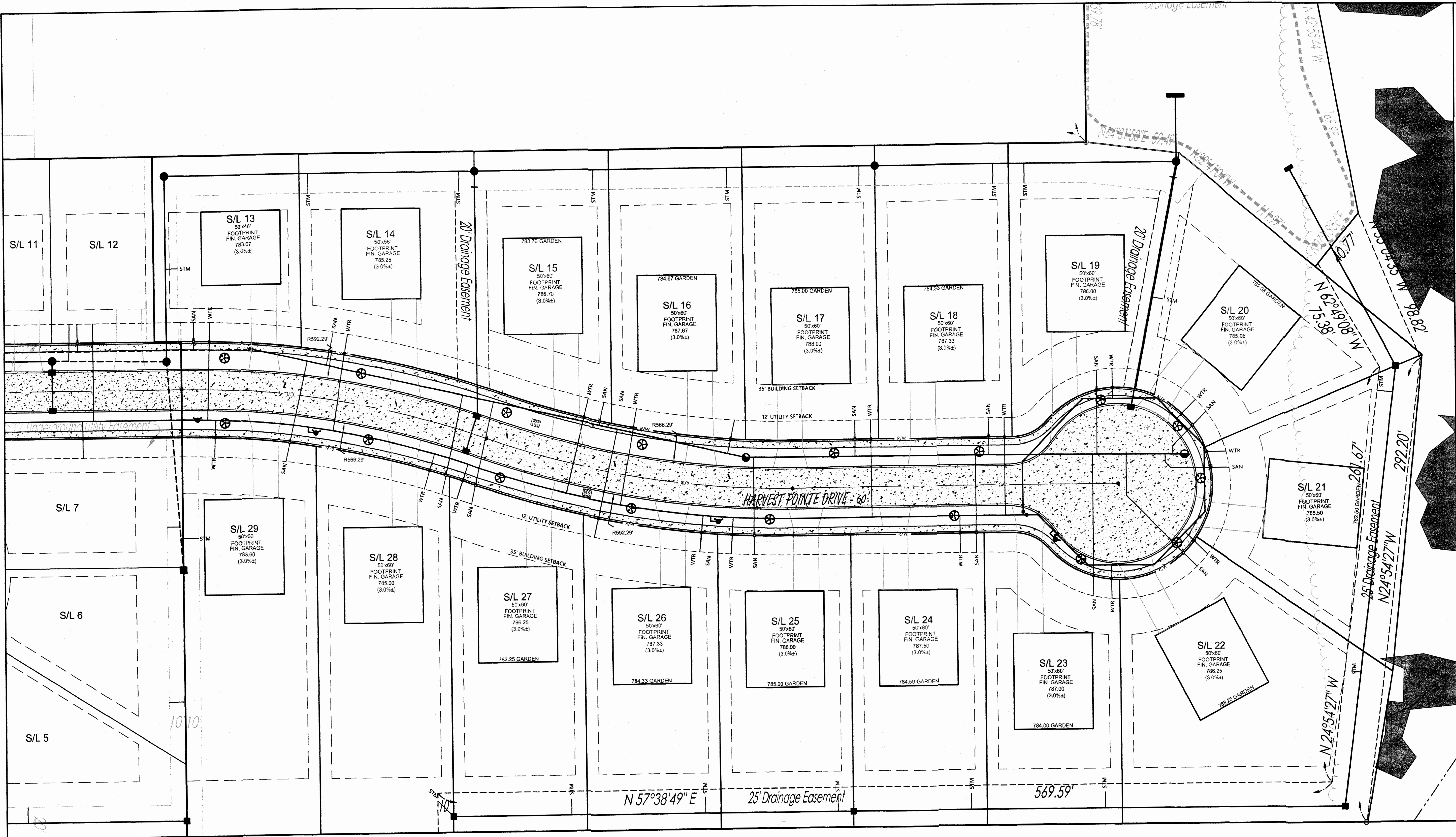
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REV. No.	DATE	BY	DESCRIPTION

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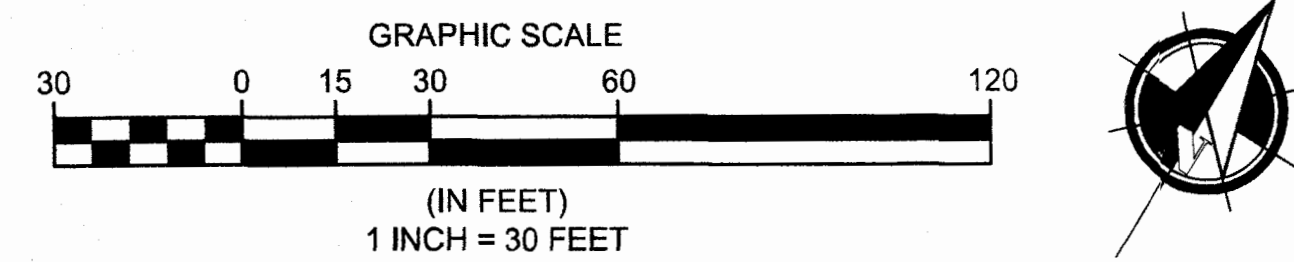
STATE OF OHIO

DUSTIN R. KEENEY

65515

REGISTERED PROFESSIONAL ENGINEER

DATE: 7/15/20
SCALE: HOR. 1"=30'
VERT. 1"=5'
FOLDER: DWG/Proj. Eng.
FILENAME: Utl. & Grading
TAB: T1-Street Tree Plan
DRAWN: DRW



HARVEST POINTE
SUBDIVISION PHASE 2

CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.

3480 CHARDON ROAD - SUITE D
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Engineering & Surveying

STREET TREE PLAN

CONTRACT No.
18175

SHEET
T1

OF
T1