

Planning Commission
CITY HALL COUNCIL CHAMBERS
AGENDA OF MARCH 11, 2025
7:00 PM

ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES

Regular meeting of January 14, 2025

CORRESPONDENCE

Administrative Approvals & Zoning Certificates

1. PPZ2025-0338 Little Ranger Rumble, 33135 Center Ridge Rd
Approval of a Certificate of Zoning Compliance for a commercial recreation; indoor toddler playground.

OLD BUSINESS

NEW BUSINESS

1. PPZ2025-0337: Victory Park, 7777 Victory Lane, PPN 07-00-003-102-106
Owner: PMJ Park Holdings, 7777 Victory Lane, North Ridgeville, OH 44039.
Proposal consists of new turf fields, lighting and other site improvements. Property zoned I-2 Light Industrial District.

ADJOURNMENT

NORTH RIDGEVILLE PLANNING COMMISSION
MINUTES OF REGULAR MEETING
TUESDAY, JANUARY 14, 2025

CALL TO ORDER:

Chairman Smolik called the Planning Commission meeting to order with the Pledge of Allegiance at 7:00 PM.

ROLL CALL:

Present were members Steve Ali, Frank Toth, Council Liaison Bruce Abens, Vice-Chairman Paul Schumann and Chairman James Smolik.

Also present were City Engineer Christina Eavenson, Planning and Development Director Kimberly Lieber and Deputy Clerk of Council Tina Wieber.

ELECTION OF OFFICERS

Member Smolik opened the floor for nominations for Chairperson.

Moved by Smolik and seconded by Ali to nominate James Smolik for the position of Chairperson.

Member Smolik asked if there were any other nominations for Chairperson. No further discussion was offered and nominations were declared closed.

Member Smolik opened the floor for nominations for Vice-Chairperson.

Moved by Paul Schumann and seconded by Smolik to nominate Paul Schumann for the position of Vice-Chairperson.

Member Smolik asked if there were any other nominations for Vice-Chairperson. No further discussion was offered and nominations were declared closed.

Member Smolik opened the floor for nominations for Secretary.

Moved by Smolik and seconded by Toth to nominate Tina Wieber for the position of Secretary.

Member Smolik asked if there were any other nominations for Secretary. No further discussion was offered and nominations were declared closed.

Member Smolik opened the floor for nominations for Liaison to the Board of Zoning and Building Appeals.

Moved by Toth and seconded by Ali to nominate Frank Toth for the position of Liaison to the Board of Zoning and Building Appeals.

Member Smolik asked if there were any other nominations for Liaison to the Board of Zoning and Building Appeals. No further discussion was offered and nominations were declared closed.

Member Smolik opened the floor for nominations for Alternate Liaison to the Board of Zoning and Building Appeals.

Moved by Smolik and seconded by Toth to nominate Steve Ali for the position of Alternate Liaison to the Board of Zoning and Building Appeals.

Member Smolik asked if there were any other nominations for Alternate Liaison to the Board of Zoning and Building Appeals. No further discussion was offered and nominations were declared closed.

Member Smolik opened the floor for nominations for Planning Commission appointment to Community Reinvestment Area Housing Council.

Moved by Smolik and seconded by Toth to nominate James Smolik for the position of Planning Commission appointee to Community Reinvestment Area Housing Council.

Member Smolik asked if there were any other nominations for Planning Commission appointment to Community Reinvestment Area Housing Council. No further discussion was offered and nominations were declared closed.

A roll call vote was taken to elect James Smolik to the position of Chairman, Paul Schumann to the position of Vice-Chairman, Tina Wieber to the position of Secretary, Frank Toth to the position of Liaison to the Board of Zoning and Building Appeals, Steve Ali to the position of Alternate Liaison to the Board of Zoning and Building Appeals and James Smolik to the position of Planning Commission appointee to Community Reinvestment Area Housing Council.

Yes – 5 No – 0

MINUTES:

Chairman Smolik asked if the members had a chance to review the minutes of the regular meeting on December 10, 2024. He asked if there were any corrections. Hearing none, the minutes were approved as submitted.

CORRESPONDENCE:

Administrative Approvals & Zoning Certificates

1. PPZ2024-0328 Modern Massage and Spa LLC, 35439 Center Ridge Rd

Administrative Approval of Registration Certificate and Certificate of Zoning Compliance for massage establishment.

Chairman Smolik asked Director Lieber if she would review the administrative approvals.

Director Lieber stated there was one Administrative Approval of a zoning certificates since the last meeting for Modern Massage and Spa which would be going into the building share with Pulp.

OLD BUSINESS:

NEW BUSINESS:

PPZ2024-0318 City Limits, 39462 Center Ridge Rd, PPN 07-00-046-101-006

Owner: Stephen Joseph, 36821 Sugar Ridge Rd, North Ridgeville, OH 44039. Proposal consists of site

improvements for restaurant and lounge. Property is zoned I-3 Heavy Industrial District. Note: Ordinance 2024-136, Rezoning to B-3 Highway Commercial District is pending approval by City Council.

Application was read.

Chairman Smolik asked Director Lieber for findings of fact.

Director Lieber stated Because council had approved the rezoning, even though it hadn't taken effect yet, she advised the Planning Commission to consider as if this property were rezoned for the purpose of their review and recommendation that evening. She explained that the applicant was proposing to open a restaurant and lounge in the existing building on the property and that additionally, the proposal included the construction of a new patio on the west side of the building. She discussed that restaurants were a permitted use in the district, while bars and Taverns were conditional uses in the B-3 Highway Commercial District, so she recommended that in addition to their approval of the development plan, that they issue a conditional use permit for the bar/tavern component since it appeared to be a significant portion of that particular business. She stated that the existing business building was non-conforming in that it did not meet the current front or side setback requirements although it had been there a long time. She mentioned that the parking lot area was formerly striped in a manner that did not meet code requirements, which had been updated recently and also failed to meet the required 10-foot yard setback from the right-of-way line in the front. She said that the submittal showed some changes to the south elevation of the building and in the staff review meeting with the applicant, it was indicated to the applicant that the elevations needed more detail as to materials and construction details, but to date, those changes had not been additionally provided at the time of her report or at the time of the meeting. She explained that the patio itself would involve the removal of two sets of existing stairs and some of the landscaped area outside the building and the construction of the patio would be about 6 feet above grade with an ADA ramp installed and new stairs. She said that the applicant was showing a small flower bed area that would separate the ADA ramp from the right-of-way area which would help to create some definition in the front of the building and there was a dumpster enclosure shown towards the rear of the property which was required by code and that the details had been provided. She said that one of the challenges of the current site was that the ingress and egress was not well defined and that even in the past there were parking spaces that actually encroached into the City's right-of-way along the front of the building, so the current project had the opportunity to address some of those previous problems. She stated that the parking was going to be reconfigured to provide the required set back from the right-of-way and that the proposed plan showed the use of paint striping to delineate one way in and one way out. She mentioned that the ingress would be on the west and the egress would be closer to the building on the east side. She stated that the parking spaces did meet the code requirements for size. She discussed that the plan did include ADA spaces and that based upon the proposed seating provided by the applicant, the parking would be adequate with a total of 50 spaces is shown in the plan, and that would satisfy the 39 required by the bar restaurants and then also the salon. She stated that she did recommend that the parking lot be patched, sealed and restriped as it wasn't in the best condition and could use a little bit of refurbishment before this restriping happened. She mentioned that some landscaping had been provided and that the applicant had proposed landscape planters both along the south face of the building and then also in that area to the west of the entrance drive where he was showing a raised bed around the ground sign and also that planter box along the ADA ramp. She said that the applicant provided some additional details since the staff review meeting about how the remainder of the site would be treated. She discussed that currently there were weeds and it was ill maintained along that west property line in that point in the back area and now they were showing some better notes about the treatment of those areas. She stated that they continued to require more detail on the elevations to include proposed colors, materials and construction detail of any exterior changes. She said that they had also talked in the staff review about making sure that any railing around the patio went all the way around so that there weren't any exposed edges where patrons could fall off and also that the City required a photometric plan but the light fixture information provided did not meet the code requirements

and still needed a photometric plan that showed illumination levels and what was submitted was a little vague on what kind of pole fixtures were going to be provided and whether or not they met code requirements, so that was still an outstanding issue as of the meeting. She added that there was also a letter that was submitted by the Ohio Turnpike and their request to provide a fence along the shared property line with the Turnpike.

City Engineer Eavenson stated that the prepared site plan did show parking striping in accordance with the new parking standards, including the drive aisle and parking stall sizes and that the drive aisle did appear to be traversable for emergency services, but that would be reviewed with the fire department during final plan review. She explained that since it was an area that they were not necessarily targeting to improve the active transportation plan for pedestrian activity, they did not specifically ask for a dedicated sidewalk, however, most of the entire tree lawn area in front of the property is asphalt. She stated that she would recommend that the applicant include that area of pavement to be resealed and adjusted for maintenance so that any pedestrian could traverse across the property safely. She added that because there is no major site renovation being done to the project, engineering did not ask for any stormwater management measures but they did ask the applicant to reduce the amount of hardscape surfaces and he had done that with additional landscape features that were shown on the site plan.

Chairman Smolik asked if there was a representative present for the application.

Stephen Joseph, 36821 Sugar Ridge Rd, North Ridgeville, OH 44039.

Geoffrey Smith, 124 Middle Ave, Suite 800, Elyria, OH 44035.

Mr. Joseph stated that they had restriped and took back the striped berm because it was encroaching towards the right-of-way, so they moved that back and added some planters and added the section that was going to be grass where the telephone pole was. He stated that there was tall grass from the railroad and that they were going to mow that down and then keep that as a maintained grassed area to at the edge of the parking lot. He discussed that regarding the back triangle, they were going to just leave stone in and put evergreens back across there or winter gems across the back parking lot there and then just maintain the weed free stone triangle out back. He discussed that he didn't want anyone back there because of the telephone poles from the railroad tracks. He commented that the one thing that he wanted to put a facade on the front of the building and stated that those were on architectural drawings.

Mr. Smith stated it was a tough property to deal with based on its configuration and that Steve had put a lot of time and effort into it. He mentioned that the facade was something that was a work in progress, but that the parking had been corrected according to what the City wanted in terms of the ingress and egress, and he certainly would pave the front of it. He remarked that he was a little surprised at the letter from the Turnpike, as he very rarely had seen where a neighbor came in and said that they wanted them to put up a fence to protect their property. He explained that there was probably close to a 15-foot embankment there with the Turnpike already and that they certainly would be able to put their own fence in if they wanted to. He stated that Mr. Joseph was going to try and clean the property up and see what he could do, but a requirement to install a fence as far as he was aware would only be required when a pool was put in the backyard to keep people out of the yard. He indicated that he was surprised by that fence request, and he didn't think that was something that the Commission should concern itself with.

Mr. Joseph stated that regarding the lighting, he was going to have to get another drawing or get an engineer to do the drawing on the lighting, but the lighting was all existing currently and that the whole property is only 1 1/4 acres and there were five LED lights around the building plus the sign that was out front of the parking lot. He mentioned that regarding the Turnpike, it was a six-story hill up there. He added that if

anyone had ever gone to the property, the building was only two stories, and the hill was three times the size of the building. He stated that there was a fence there that the Ohio Turnpike had and that it had barbed wire on it already, so that no one could cross into the Turnpike. He added that there was a four-foot ditch right after that fence that was a drainage ditch from the hill, and it went north over into Elyria.

Chairman Smolik asked if there were any member of the audience who wished to speak regarding the project.

No one came forward.

Chairman Smolik asked if the Commission had any comments or questions.

Mr. Schumann asked regarding the fence that was currently there, if it was a four-foot fence.

Mr. Joseph stated that it was.

Mr. Schumann asked if ran the length of the property.

Mr. Joseph stated that it did.

Mr. Schumann asked if there was barbed wire on top of it.

Mr. Joseph stated that there was, and he did not put that there himself.

Mr. Schumann asked if that was all the way down.

Mr. Joseph stated that it was from Center Ridge and across Center Ridge all the way to underneath the overpass.

Council Liaison Abens stated that pertaining to their lighting, the other suggestion he would have would be to make sure that the Ohio Turnpike reviewed the lighting plan as well. He mentioned that he knew from experience that they could be a hassle in that regard too, because they had gotten an easement that went 40 or 50 feet away from the Turnpike.

Member Ali stated that he was getting it cleaned up and that the property had been an eyesore. He mentioned that he was his neighbor and that it looked good what they were doing so far. He added that he thought the fence was probably a little bit overkill. He stated that he had no problem with the way it is.

Vice-Chairman Schumann stated that the Director brought up a couple other things and asked if he had any problem with the recommendation about patching and sealing the parking lot before he striped?

Mr. Joseph stated that he did not.

Vice-Chairman Schumann stated that he wanted to add that as a recommendation and commented that the Administration would like some more detail on the facade material wise, and that was for the elevation all the way around the building.

Director Lieber stated that the submittal was basically a kind of artistic representation of an idea, but it did not contain enough data to approve and then issue a permit by, so it might show the Commission the

direction that the applicant was going, but it didn't have materials, measurements, colors or any construction detail that they would normally require for any building changes. She added that she would treat it as a conceptual at that point rather than something that the Commission could act on.

Vice-Chairman Schumann asked if it would be appropriate for the Commission to have that be a recommendation that the details be given to the City to their satisfaction.

Director Lieber commented that if the Commission wanted to do that, that was certainly within their authority to delegate her review of building changes, so long as the Commission was happy with what they had seen in the package and the direction it was going. She stated that if they were not happy, to let her know because that would be what she would base her future approval on.

Mr. Smith stated that they were happy to do that to provide architectural drawing measurements more at the side that you know what the materials are, etcetera, whatever Kim would like.

Member Toth asked if there would be a sign package coming to them for the refurbishment of the main sign and commented that he also noticed that he was going to have directional signs there like Do not enter, Enter and asked if there was a requirement for a sign package to be coming through for approval.

Director Lieber stated that any new sign would require a permit. She explained that the code did allow for driveway signs where there were limited access drives like there being one way in or one way out, the code made an allowance for some additional signage that would otherwise not be permitted, so long as it didn't exceed a certain height. She said that they would need to see that, and it would need to be submitted for permit and would be reviewed at that time. She mentioned that the applicant hadn't indicated any signage other than the notes on the plan at that point intended, so they hadn't seen that yet.

Member Toth asked regarding the fence that was currently there, if that was his fence on his property or was that Turnpike property that they had fenced off.

Mr. Joseph stated that it was the Turnpike's and that the Turnpike fenced that off because it went all the way from the underpass and with the Turnpike underpass, it went all the way to the corner and all the way straight down the Turnpike.

Member Toth remarked that they had effectively fenced their property off from him.

Mr. Joseph stated that was correct.

Member Toth stated that in looking at where he was placing the outdoor deck it appeared to him that he was going to go right across a man door on the side of the building. He commented that on the demolition plan it showed he was removing the two staircases and then was building a deck, and he believed it was 57 feet from the front of the building towards the rear, it looked to him like it was going to be very close to that glass entry area.

Mr. Joseph stated that there was going to be room between there and that it was not going up against that glass but would be 3 feet away.

Member Toth asked if he would cover up the one door then on the west side of the building.

Mr. Joseph stated that no, that door was going to get raised and it would be on top. He stated that he was

going to raise it up above, so that there would be two entrances from the patio into the building. He explained that there was going to be the main entrance and then that would be another, like an emergency door, but he was going to raise it. He stated that it was there now but he was going to raise it up to the height of the deck.

Member Toth asked if he was going to put a railing all the way around that deck.

Mr. Joseph stated that he thought the engineer plan had it on there. He stated that it showed the railing on one side but that it did go all the way around.

Director Lieber stated that if that was the intent, it wasn't represented very clearly.

Member Toth stated that there was a dock in the back that had what appeared to be like a residential type garage door, a pull down door that was a 16 footer and asked if he was going to use that as his loading dock.

Mr. Joseph stated that he was not and that there was no access in the back.

Member Toth asked how he was going to take deliveries at that location

Mr. Joseph stated that it would be off the loading dock off the east side of the building.

Member Toth asked if there is a dock there already, a truck dock in between his building and the embankment of the Turnpike.

Mr. Joseph stated that was correct that it was existing and that there was also an emergency escape, and it had a staircase and railings on it already.

Member Toth remarked that in the notes he stated that the beauty salon was going to continue utilizing the rear of the building there.

Mr. Joseph stated that was correct.

Member Toth asked if there would be an entrance into City Limits from that glass area.

Mr. Joseph stated there would not.

Member Toth asked if that would be specifically for the rear of the building business, whatever that may be at that time.

Mr. Joseph stated that was correct.

Chairman Smolik stated that he liked the fact that they were trying to redevelop that parcel, but he thought that the plan needed a little bit more polishing. He explained that there were a couple of things that he was uncomfortable with, and the main thing was the entrance to the parcel because there was a utility pole and a fire hydrant probably within 5 feet of that. He stated that he wanted to see possibly the drive entryway shifted to the west because he could see cars clipping that. He stated that there was a relatively large utility pole that couldn't be moved and looked to be a transmission line.

Mr. Joseph stated that he was going to put a flower bed there so it would be a little protected.

Chairman Smolik stated that it was still in the turning radius entering and that it was too close and that it would be beneficial for the patrons and everyone if it got shifted away from the utility pole.

Mr. Joseph asked how many feet.

Chairman Smolik commented that that would be up to his engineer of record because they would have to do their due diligence and design. He stated that based on the level that the plans were at, he was uncomfortable with it at that point in time and the Administration had some issues that they wanted addressed as well and it was just a matter of collecting some more information as well. He stated that overall, it was a great plan, but he didn't think they were there yet. He stated that they needed the photometric plan, and the front elevation all needed to be worked out also.

Mr. Smith stated that if the Commission wished to table it to the next meeting, they were welcome to do that to redo the plans a little bit.

Mr. Joseph asked if the issues were the photo and the façade and the turning radius on the plan.

Chairman Smolik stated that his issues were with the entryway and sliding it over to the west and if they could get the emergency vehicle turning radius shown on the lot as well.

Mr. Smith stated that he thought that she said that the emergency vehicles were not an issue getting in and out.

City Engineer Eavenson mentioned that she said it would be reviewed.

Member Toth asked if they could get some more definition on that sign area where he stated he was going to build up a flower bed to protect the fire hydrant and the transmission pole.

Mr. Joseph stated that the fire hydrant stuck out further than the telephone pole, so it was out in the right of way by Center Ridge Road and it only sat about two feet off of Center Ridge and the pole sat about six feet off of Center Ridge.

Mr. Smith stated that they would do what they could with it and figure it out.

Vice-Chairman Schumann stated that they need detail on the rail and to make sure that it was in the plan and better detail on the materials for the facade and all the materials on the outside of the building.

Mr. Joseph stated that it was an all-brick building. He stated that what he was going to do was add stucco to the brick just to break it up because it was a brick building.

Vice-Chairman stated that he would want to have the materials that he was actually going to be using on the plan.

Council Liaison Abens stated that the Ohio Turnpike was requesting that fence and asked if they had to adhere to that request?

Director Lieber stated that they did not.

Moved by Schumann and seconded by Ali to table the application until the next meeting.

A roll call vote was taken and the motion carried.

Yes – 5 No – 0

PPZ2024-0327 South Central Park Playground, 7565 Avon Belden Rd, PPN 07-00-022-101-054

Applicant: Jeff Snider, Snider Recreation, 10139 Royalton Rd, Suite K, North Royalton, OH 44133. Proposal consists of playground removal and new playground installation. Property is zoned R-1 Residential District.

Application was read.

Chairman Smolik asked Director Lieber for findings of fact.

Director Lieber stated that she would give the presentation over to the Parks and Rec Director but wanted to mention that the application was coming before the Commission because of the mandatory referral provision in the charter that any public improvements must be reviewed and approved by Planning Commission.

Chairman Smolik asked if there was a representative present for the application.

Kevin Fougrousse, 29940 Westminster Dr. North Olmsted, OH 44070.

Jeff Snider, 7668 N Linden Lane, Parma, OH 44130.

Mr. Fougrousse stated that they were there to present the new playground in South Central Park. He explained that they sent out RFQs back in October for design build and worked with GPD Group as the Art League architect and received 5 proposals back at that time. He stated that recommendations by the City and GPD Group were to award the project to Snyder Recreation. He discussed that the playground was replacing the current structure that had been there since 1997. He stated that the new playground was going to be located in the same location as the existing playground and would be for ages 5 through 12. He added that the North Ridge of Rotary was also donating \$15,000 to the project and that they would actually be purchasing the zip line that was shown on the north end of that project. He said that they had multiple walkways already adhered to the project for ADA accessibility coming from Schultz Lane off of Bainbridge Road and also off the main parking lot off of Avon Belden Rd. He mentioned that there was ample shade for the playground that will be installed as it was umbrellaed by hundreds and hundreds of trees out in the park system.

Chairman Smolik commented that he didn't see anybody in the audience and closed the general public session. He asked if any of the Commission members had any questions or comments regarding the project.

Vice-Chairman Schumann asked what their timeline was.

Mr. Fougrousse stated that once they received approval from Planning Commission, they already had the contract approved so they would start moving forward with it and Snider Recreation would hopefully break ground barring any setbacks in February, so we can have this open in spring.

Council Liaison Abens asked regarding what looked like the spider web, was that going to be rope.

Mr. Snider stated that it was a nylon rope with steel inserts.

Council Liaison Abens asked if it needed to be changed periodically.

Mr. Snider stated that there might be some wear on it where they might have to do replacements to certain pieces, but it was actually steel threaded with nylon around the steel. He said that unless somebody went out with their hacksaw or something they were not going to be cutting through it.

Council Liaison Abens asked if the potential for a kid to hang himself was very minimal.

Mr. Snider stated that it was designed not to be able to loop and get around. He stated that it was designed with enough tension that it couldn't.

Mr. Toth stated that he went through the application and he wanted to take a look at the what his past performance had looked like, so he took the liberty to call some of the past performance references that were given as part of their package and he called up those references and asked them three questions and that he wanted to share with the Commission members and Mr. Snider the responses that he received. He stated that the first question he asked of those individuals were "Did Snider do what they said they were going to do and did they do it in the time they estimated it would take?" and the responses to that question he received were "Yes, very patient, overperformed, very pleased, numerous projects, great communication, always on time, absolutely great communication above and beyond, experienced crew, a multi-generational operation." He stated that the second question he asked was "Were they responsive to concerns which arose during the project and were they flexible and creative with their solutions to concerns and or any unanticipated challenges encountered?" He stated that the response he received to that one was that one city director told him that their playground was located on a quarry and that they were not aware of this, and that Mr. Snider hit bedrock 36 inches down. They stated that he did not charge them any additional money, he did not bemoan the situation but simply got to work and handled the situation. He stated that another response he got was "Yes, they were very easy to get a hold of and responded in usually less than a day and that he provided numerous workarounds to problems if there was some type of delay in getting a part or some type of material." He said that another response was, "Never any issues with them, three projects, 0 change orders and also a recommendation on the zip line has proven to be the most popular item in their playground. And everybody loved that." He stated that that particular director stated there was a problem with theirs and Snider was able to basically remanufacture part of the zip line so that it functioned to their satisfaction and to the community's enjoyment. He said that the final question he asked them was, in their opinion, did their community realize maximum return on its investment by employing Snider Recreation and the responses were "Oh my God, yes, it's a destination playground, I have absolutely nothing but positive feedback with their projects, the zip line is a real crowd pleaser, absolutely far and above other vendors we have used for similar projects, three quotes apples to apples, absolutely hands down the best." He stated that he was really looking forward to seeing what he would put together for our City.

Chairman Smolik asked regarding the swing location, it sort of seemed a little bizarre to him because usually they were on the perimeter and obviously the zip line was a popular feature, but he thought that kids would be running through the swings when kids were on them. He asked if any thought had been given to moving that to one of the perimeters.

Mr. Snider stated that originally, they kind of had the zip line separate. He stated that the 3D was probably not representing it quite right, but the zip line was going to be a little bit further back with space in between them.

Mr. Fougousse stated that was correct and that it was going to be a little bit further back from the swings

and would not be right on top of them. He commented that unfortunately the rendering was not really showing that, but there was an ample amount of space for that to go through.

Chairman Smolik stated that he concurred with all those comments in regard to Snider Recreation and that he had professionally known him for a long time and had done multiple projects with him and had no issues.

Council Liaison Abens asked what type of base was going to be in the playground.

Mr. Fougrousse stated that it would be wood fibers.

Moved by Schumann and seconded by Ali to approve the application.

A roll call vote was taken and the motion carried.

Yes – 5 No – 0

ADJOURNMENT:

Chairman Smolik adjourned the meeting at 7:46 PM.

James Smolik
Chairman

Tina Wieber
Deputy Clerk of Council

Tuesday, February 11, 2025
Date Approved

Planning Commission Application

RECEIVED

FEB 21 2025



SUBMITTAL INSTRUCTIONS AND PROCEDURES

Plan reviews will be carried out according to the processes described in the City's Zoning Code.

- **Pre-Application.** Prior to making application, applicants are recommended to contact the city to discuss their development project. City staff will outline the review process and provide a checklist of required submittals.
- **Application Submittal.** Following the pre-application meeting, the applicant shall submit this completed application, fee and ten (10) sets of all required exhibits. All submissions shall be made in hard copy to the Building Division. Plans shall be collated, folded and easily legible.
- **Staff Review.** The applicant shall attend a staff review meeting and may be required to submit additional information and/or revised plans based on staff input.
- **Variances.** Where zoning variances are sought by the applicant, review by the Board of Zoning and Building Appeals will be necessary prior to consideration by the Planning Commission, requiring a separate application.
- **Decision or Referral.** Following staff review, complete submittals for Administrative Review projects may be considered for approval. For Council Review projects, complete submittals shall be referred to the next available Planning Commission meeting, which are held the second Tuesday of each month.

PROJECT INFORMATION

7777 VICTORY LANE

#0700003102106

Location address

Parcel number(s)

Project type: ☐ Commercial/Industrial/Multi-Fam ☐ Prelim Major Subdivision ☐ Final Major Subdivision ☐ Lot Split

Project elements: ☐ New Construction ☐ Building Addition/Alteration ☒ Site Improvements ☐ Plat

CONVERT 1- GRASS SOCCER FIELD TO TURF; INSTALL 1-ADDITIONAL TURF SOCCER FIELD

Project description

APPLICANT/AGENT INFORMATION

PMJ PARKHOLDINGS

Name/Company

7777 VICTORY LANE NORTH RIDGEVILLE OH 44039

Applicant address

440-477-3311

JBORKEY@VICTORYPARKOHIO.COM

Applicant phone

Applicant email

PROPERTY OWNER INFORMATION

CITY OF NORTH RIDGEVILLE

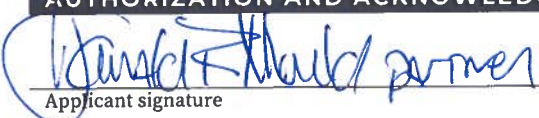
Name/Company

Property owner address

Property owner phone

Property owner email

AUTHORIZATION AND ACKNOWLEDGEMENT


Applicant signature

Property owner signature

I hereby authorize the City of North Ridgeville, including Planning Commission members, to view the premises and consent to their entry onto the property for the purpose of observing site conditions related to review of my application.

OFFICE	PPZ No.	Planning Fee Paid	ACTION
	PP22025-0337	\$150.00 ✓ #27249	

Planning Review

March 3, 2025

Project: Victory Park Turf Fields
Location: 7777 Victory Lane
PPNs: 07-00-003-102-105, 07-00-003-102-106
District: I-2 Light Industrial District

Project Summary:

Victory Park is owned by the City of North Ridgeville but operated by PMJ Park Holdings, LLC, a private entity. The property is zoned I-2 Light Industrial; however, the agreement between the city and operator establishes the permitted use as a sports park facility, including ballfields, parking, lighting, fencing and all of the other amenities in support of a sports park. The agreement also provides that prior to the installation of any changes, the city will review and approve any such installation in compliance with the codified ordinances including review by city boards, commissions and/or Council.

The proposal consists of the installation of two turf fields, lighting and site improvements at Victory Park. The new fields are identified as Turf 3 and Turf 4 on the site plans provided. Turf 1 and Turf 2, existing to the west of the new fields, were installed in the last several years without going through the required Planning Commission review or permitting processes.

The new fields are shown located in the northernmost area of the site with the existing turf fields to the west and the lake to the east. An existing asphalt access drive between the fields will be reduced in length and reconfigured to terminate in a cul-de-sac.

Twelve new pole lights are proposed. Ten surrounding the new fields are 80 feet high and two are 70 feet high. Pole height, fixture type and illumination levels all exceed code requirements; however, due to the nature of the development, Planning Commission has authority to grant approval of the lighting plan without the need for variances:

Because of their unique requirements for providing greater night-time visibility, their need to ensure public safety, and their limited hours of operation, stadiums (which include ball diamonds, playing fields, and tennis courts), amphitheaters, and similar uses are exempted from the exterior lighting standards as specified above. A lighting plan for these uses shall be established at the time that the request for exterior lighting is made and shall be subject to Planning Commission approval. 1285.08(e)(3)

Recommendations:

- Provide grading plan (1243.05(b)). New fields encroach 10 feet into “Ex. 25’ Side Setback.” Proposed Turf 3 is located in close proximity to lake. Will east end of fields be graded? Is tree clearing involved? How will erosion be prevented. Light fixtures also shown in close proximity to lake.
- Field surface shown 415 feet (E/W) by 540 feet (N/S). Width of PPN ending -106 is approximately 425 feet wide. Can field size be slightly reduced to better fit into space, allowing for room between east

and west fields for emergency access and sufficiently setback from lake to alleviate grading and erosion concerns?

- Provide detail on any proposed fencing or netting. Barrier netting indicated in purchase proposal and contract document, but no fencing locations shown on site plan and no construction spec provided.
- Provide access drive of sufficient width to accommodate emergency vehicles between Turf 2 and Turf 4.
- Provide truck turn exhibit and demonstrate turnaround is sufficiently sized to accommodate emergency vehicles.
- Is spectator viewing provided?
- Provide specifications and cut sheets for exterior lighting fixtures (1285.08(b)(2)).
- Provide photometric plan showing light contributions from all sources on the site and show footcandle readings five feet beyond property lines (1285.08(b)(3)).
- P11 and P12 appear to be new poles. Provide photometrics.
- Provide setback of proposed light poles from north and east property lines.
- What hours will lights be terminated?
- Do lights include speakers? There was reference in provided documents regarding “dynamic scene control including controls with music.”

Planning Commission Comment Sheet



PROJECT INFORMATION

Convert grass soccer field into turf/install additional turf field

Proposed project

7777 Victory Lane

Location

March 11, 2025

Meeting date

07-00-003-102-106

Parcel number

February 27, 2025

Comments due

RECOMMENDATIONS

With regards to the emergency access road, below are the requirements per the Ohio Fire Code Rule 5 Fire Service Features:

(2) 503.2 Specifications. Fire apparatus access roads shall be installed and arranged in accordance with paragraphs (C)(2)(a)(503.2.1) to (C)(2)(h)(503.2.8) of this rule.

(a) 503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with paragraph (C)(6)(503.6) of this rule, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).

(b) 503.2.2 Authority. The fire code official shall have the authority to require or permit modifications to the required access widths where they are inadequate for fire or rescue operations or where necessary to meet the public safety objectives of the jurisdiction.

(c) 503.2.3 Surface. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.

(d) 503.2.4 Turning radius. The required turning radius of a fire apparatus access road shall be determined by the fire code official.

(e) 503.2.5 Dead ends. Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus.

Please contact me with all questions and or concerns.

Asst. Chief Mike Uhnak
North Ridgeville Fire Department
(440) 653-6362

SUBMITTED BY

Mike Uhnak

Administrative officer signature

Assistant Fire Chief

Title

Planning Commission Bylaws Article V Section 2 – Administrative Review. All applications including those plans and maps submitted to the Commission shall be referred to Administrative Officers. Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Secretary not later than ten (10) calendar days after receipt. Administrative Officers who have not acted within the allotted time shall be deemed to have concurred with plans as submitted.

Planning Commission Comment Sheet



PROJECT INFORMATION

Convert grass soccer field into turf/install additional turf field

Proposed project

7777 Victory Lane

Location

March 11, 2025

Meeting date

07-00-003-102-106

Parcel number

February 27, 2025

Comments due

RECOMMENDATIONS

Type comments here. Attach additional sheets as necessary.

Please provide Engineered stamped drawings for light poles.

SUBMITTED BY

Guy M. Fursdon

Administrative officer signature

Chief Building Official

Title

Planning Commission Bylaws Article V Section 2 – Administrative Review. All applications including those plans and maps submitted to the Commission shall be referred to Administrative Officers. Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Secretary not later than ten (10) calendar days after receipt. Administrative Officers who have not acted within the allotted time shall be deemed to have concurred with plans as submitted.

RECEIPT NUMBER

00030617



City of North Ridgeville
7307 Avon Belden Road
North Ridgeville, OH 44039
(440) 490-2081

Paid By
BRAMHALL ENGINEERING & SURVEYING C
801 MOORE RD
Avon, OH 44011

02/21/2025

Type	Record	Category	Description	Amount
PZE Process	PPZ2025-0337	Standard Item	General Application	\$ 150.00

7777 VICTORY LN
0700003102094

Total	\$ 150.00
Cash	
Check	\$ 150.00
Check #	27249
Credit	
Transferred	
Tendered	\$ 150.00
Change	\$ 0.00
To Overpayment	\$ 0.00



BRAMHALL
ENGINEERING &
SURVEYING COMPANY

801 Moore Road • Avon, OH 44011
(440) 934-7878
(440) 934-7879 Fax

LETTER OF TRANSMITTAL

DATE <u>2-21-2025</u>	JOB NO. <u>256287</u>
ATTENTION <u>Kim Lieber</u>	
RE: <u>Victory Park</u>	
RECEIVED	
FEB 21 2025	

TO North Bridgville Planning Commission
7307 Avon Belden Road
North Bridgville, OH 44039

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via _____ the following items:

☒ Improvement Plans ☐ As-Built Plans ☐ Site & Grading Plan ☐ Foundation Check ☐ Final Grade

☒ Specifications ☐ Record Plat/Boundary Survey ☐ _____

COPIES	DATE	NO.	DESCRIPTION
<u>10</u>		<u>4</u>	<u>Preliminary Civil Plans</u>
<u>1</u>			<u>Fence Specifications</u>
<u>1</u>			<u>Field Turf Specifications</u>
<u>1</u>			<u>Lighting Details and Specs</u>
<u>1</u>			<u>Geotech Report</u>
<u>1</u>			<u>Planning Commission Application</u>

THESE ARE TRANSMITTED as checked below:

- | | | |
|--|---|---|
| ☐ For approval | ☐ Approved as submitted | ☐ Resubmit _____ copies for approval |
| ☒ For your use | ☐ Approved as noted | ☐ Submit _____ copies for distribution |
| ☐ As requested | ☐ Reviewed as submitted | ☐ Reviewed as noted |
| ☐ For review and comment | ☐ _____ | |
| ☐ FOR BIDS DUE _____ | ☐ PRINTS RETURNED AFTER LOAN TO US | |

REMARKS _____

COPY TO file

SIGNED: Thankyou,
Diana P. Appell

If enclosures are not as noted, kindly notify us at once.

VICTORY SPORTS PARK NORTH RIDGEVILLE, OH



Multi-Sport Field Layout Plan 3

Date: January 28, 2025

Scale: 1" = 60'

Total SF = 231,000SF

**FIELD
OF
PLAY**

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FIELD OF PLAY

FOP 52 oz Fibrillated - All Colors

Specifications

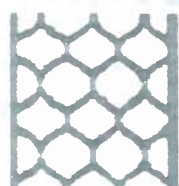
Physical Characteristics

English

1. Yarn	Parallel Fibrillated PE / Slit Film Mono Blend
2. Pile Weight	52 oz./Sq.Yd.
3. Primary Backing Weight	7 oz./Sq.Yd.
4. Secondary Backing Weight	20 oz./Sq.Yd.
5. Foam Backing Weight	N/A
6. Total Weight	79 oz./Sq.Yd.
7. Yarn Denier	10,000 Denier PE
8. Yarn Melting Point	248 F
9. Pile Height	1 3/4" or 2"
10. Tufting Gauge	1/2"
11. Primary Backing 1	18 Pic Polybac
12. Primary Backing 2	13 Pic Polybac
13. Primary Backing 3	5 Pic Actionbac
14. Yarn Breaking Strength	20 lbs
15. Elongation	18%
16. Flammability Pill Test	Pass
17. Water Permeability	> 60 inches/hr
18. Secondary Backing	Polyurethane
19. Widths	12' or 15'
20. Perforation	Yes

These are typical specifications, weight may vary slightly due to manufacturing tolerances.

www.myfieldofplay.com

FB ULTRA HD YARN RANGE**TOP OF THE RANGE SOLUTION FOR HIGH INTENSITY USE FOR CONTACT SPORTS****MatteX****NORMAL****EXPANDED****Fibre pattern: Honeycomb**

- FB Ultra HD 11000 – 110 μm
- FB Ultra HD 8800 – 110 μm
- FB Ultra HD 5500 – 105 μm

Exceptional durable yarns with soft touch up to 140,000 lisport cycles

Honeycomb fib pattern created via “shark knives”

Fibrillated yarn designed for heavy work, specifically contact sports. The fibrillation pattern allows the perfect split to create exceptionally strong and durable fibres.

Application : Contact Sports, Tennis, Multipurpose, Padel,

NO. 7

MN Slide™**MN Slide Pro-X 12000/6 SG/BG****MatteX**

ED

FEB 21 2024

TECHNICAL DATA SHEET

Version 5 Date 29/09/2023

Dimensional Properties	Unit	Mean	Minimum	Maximum
Yarn Count *	Dtex	12000	11400	12600
Count Filament *	Dtex	2000	1900	2100
Thickness Filament *	µm	325	315	335
Width Filament *	nm	1.3	1.2	1.4

Mechanical Properties	Unit	Mean	Minimum	Maximum
Tensile Strength (N) *	N	85	75	95
Elongation At Break *	%	175	145	205
Shrinkage *	% at 90 °C	8	6	10

Specific Properties	Unit	Mean		Minimum		Maximum	
		Twist	Wraps	Twist	Wraps	Twist	Wraps
Twist / Wraps *	t/m	30 Z	45	25 Z	40	35 Z	50
Spin Finish Level *	%						0.15

Recommendations & Info	Unit	Mean	Minimum	Maximum
Spool Length Differences	%	Even Length		3
Coating Temperature	°C	70	65	75
The appearance of the final turf carpet may change when it reaches temperatures beyond 80°C				
Dye Lots / Batch Number	Different dyelots should never be mixed during processing			

Warranty	Solar Activity	Category	2	
		K-Langley	Watt / m²	Years
		000 - 120	000 - 160	10
		121 - 150	161 - 200	8
		151 - 180	201 - 240	7
		181 - up	241 - up	6
		Colour change	3/4 (6000 hrs WOM exposure)	

* The appointed values are measured following the MatteX Yarns standard test procedures (available on request) and based on an average of 10 spools. The specified values should be used for reference only.



Filip Van Laeken
R&D Manager



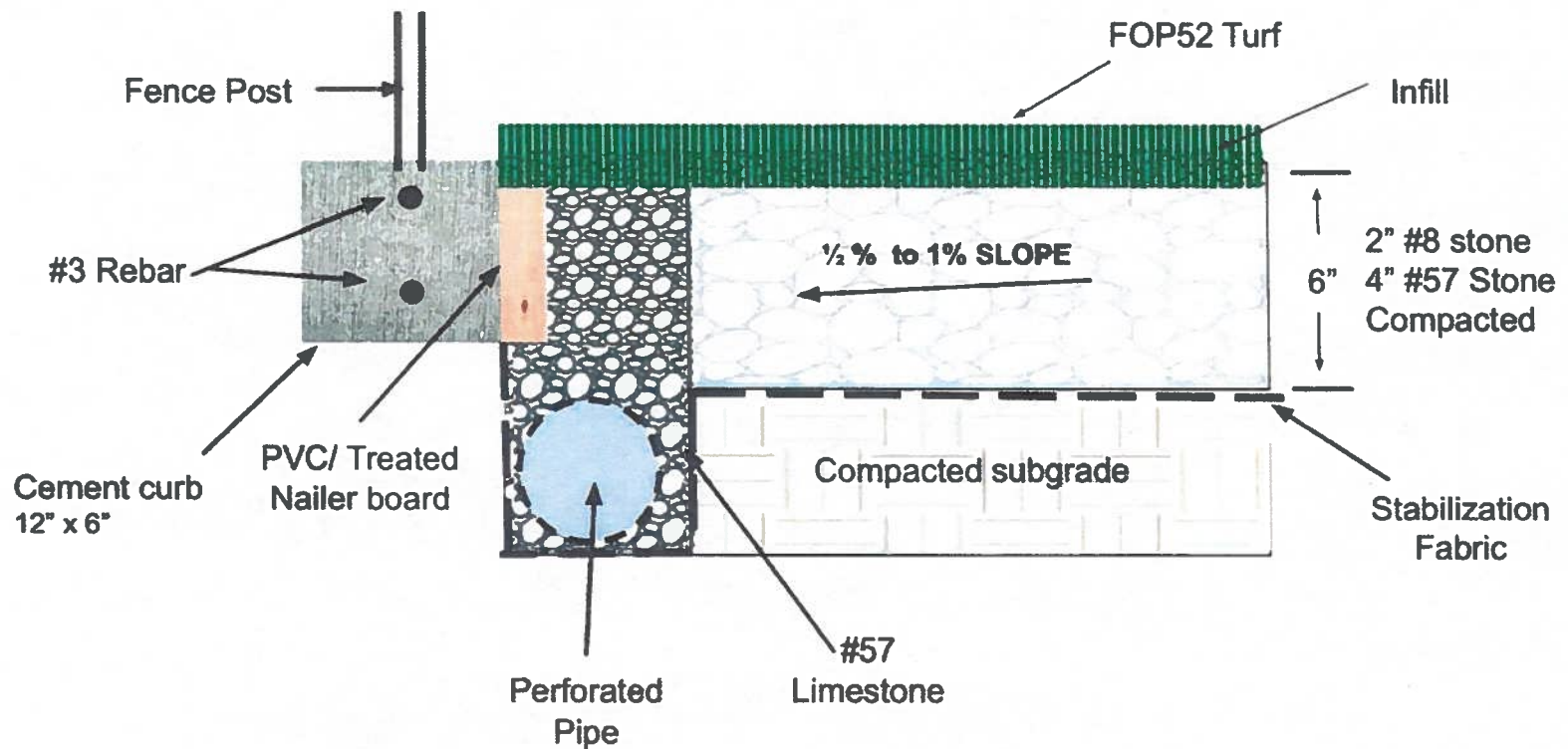
www.myfieldofplay.com

Steven Smetana
440-479-8639

13875 Hall Rd
Chardon, OH 44024

Specializing in turf installation since 2005

PERIMETER DETAIL TURF/CURB/NATURAL GRASS



Not to scale (measurements are nominal not actual)

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High Performance (HP)

STORM SEWER PIPE

HP STORM

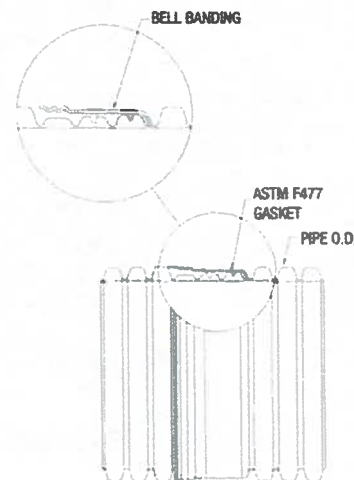
APPLICATIONS: HP Storm is a high-performance polypropylene pipe for gravity-flow storm drainage applications.

CHARACTERISTICS

PRODUCT	DESCRIPTION	DIAMETER	CONNECTIONS	SPECIFICATIONS/ PERFORMANCE
HP STORM	Annular corrugations with smooth interior surface. Pipe is bell-and-spigot with the bell being reinforced with a polymer wrap.	12"-60" (300-1500 mm) Dual Wall	Bell-and-spigot with a rubber gasket meeting ASTM F477.	12"-60" (300-1500 mm) meets or exceeds ASTM F2881 and AASHTO M330.

HP STORM

DIAMETER	LENGTH	PRODUCT CODE
12" (300 mm)	20' (6.1 m)	1265 0020 IBPL
15" (375 mm)	20' (6.1 m)	1565 0020 IBPL
18" (450 mm)	20' (6.1 m)	1865 0020 IBPL
24" (600 mm)	20' (6.1 m)	2465 0020 IBPL
30" (750 mm)	20' (6.1 m)	3065 0020 IBPL
36" (900 mm)	20' (6.1 m)	3665 0020 IBPL
42" (1050 mm)	20' (6.1 m)	4265 0020 IBPL
48" (1200 mm)	20' (6.1 m)	4865 0020 IBPL
60" (1500 mm)	20' (6.1 m)	6065 0020 IBPL



**HP STORM
DUAL WALL**

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HP STORM 12"- 60" PIPE SPECIFICATION

Scope

This specification describes 12- through 60-inch (300 to 1500 mm) HP Storm pipe for use in gravity-flow storm drainage applications.

Pipe Requirements

HP Storm pipe shall have a smooth interior and annular exterior corrugations.

- 12- through 60-inch (300 to 1500 mm) pipe shall meet ASTM F2881 or AASHTO M330
- Manning's "n" value for use in design shall be 0.012

Joint Performance

Pipe shall be joined using a bell & spigot joint meeting the requirements of ASTM F2881 or AASHTO M330. The joint shall be watertight according to the requirements of ASTM D3212. Gaskets shall meet the requirements of ASTM F477. Gasket shall be installed by the pipe manufacturer and covered with a removable, protective wrap to ensure the gasket is free from debris. A joint lubricant available from the manufacturer shall be used on the gasket and bell during assembly. 12- through 60-inch (300 to 1500 mm) diameters shall have an exterior bell wrap installed by the manufacturer.

Fittings

Fittings shall conform to ASTM F2881 or AASHTO M330. Bell and spigot connections shall utilize a welded or integral bell and valley or inline gaskets meeting the watertight joint performance requirements of ASTM D3212.

Field Pipe and Joint Performance

To assure watertightness, field performance verification may be accomplished by testing in accordance with ASTM F1417 or ASTM F2487. Appropriate safety precautions must be used when field-testing any pipe material. Contact the manufacturer for recommended leakage rates.

Material Properties

Polypropylene compound for pipe and fitting production shall be impact modified copolymer meeting the material requirements of ASTM F2881, Section 5 and AASHTO M330, Section 6.1.

Installation

Installation shall be in accordance with ASTM D2321 and ADS recommended installation guidelines, with the exception that minimum cover in traffic areas for 12- through 48-inch (300 to 1200 mm) diameters shall be one foot (0.3 m) and for 60-inch (1500 mm) diameter the minimum cover shall be 2 ft. (0.6 m) in single run applications. Backfill for minimum cover situations shall consist of Class 1 (compacted), Class 2 (minimum 90% SPD), or Class 3 (minimum 95%) material. Maximum fill heights depend on embedment material and compaction level; please refer to Technical Note 2.04. Contact your local ADS representative or visit our website at

www.adspipe.com for a copy of the latest installation guidelines.

Build America, Buy America (BABA)

HP Storm pipe (per AASHTO), manufactured in accordance with ASTM F2881 or AASHTO M330, complies with the requirements in the Build America, Buy America (BABA) Act.

Pipe Dimensions

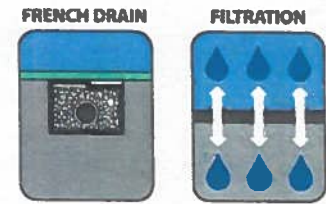
Nominal Pipe I.D. in (mm)	12 (300)	15 (375)	18 (450)	24 (600)	30 (750)	36 (900)	42 (1050)	48 (1200)	60 (1500)
Average Pipe I.D. in (mm)	12.2 (310)	15.1 (384)	16.2 (462)	24.1 (612)	30.2 (767)	36.0 (914)	42.0 (1067)	47.9 (1217)	59.9 (1521)
Average Pipe O.D. in (mm)	14.5 (368)	17.7 (450)	21.4 (544)	28.0 (711)	35.5 (902)	41.5 (1054)	47.4 (1204)	54.1 (1374)	67.1 (1704)
Minimum Pipe Stiffness * (@ 5% Deflection #/in./in. (kN/m ²))	75 (517)	60 (414)	58 (386)	50 (345)	48 (317)	40 (276)	35 (241)	35 (241)	30 (207)

*Minimum pipe stiffness values listed; contact a representative for average values.



US 90NW

Nonwoven Geotextiles



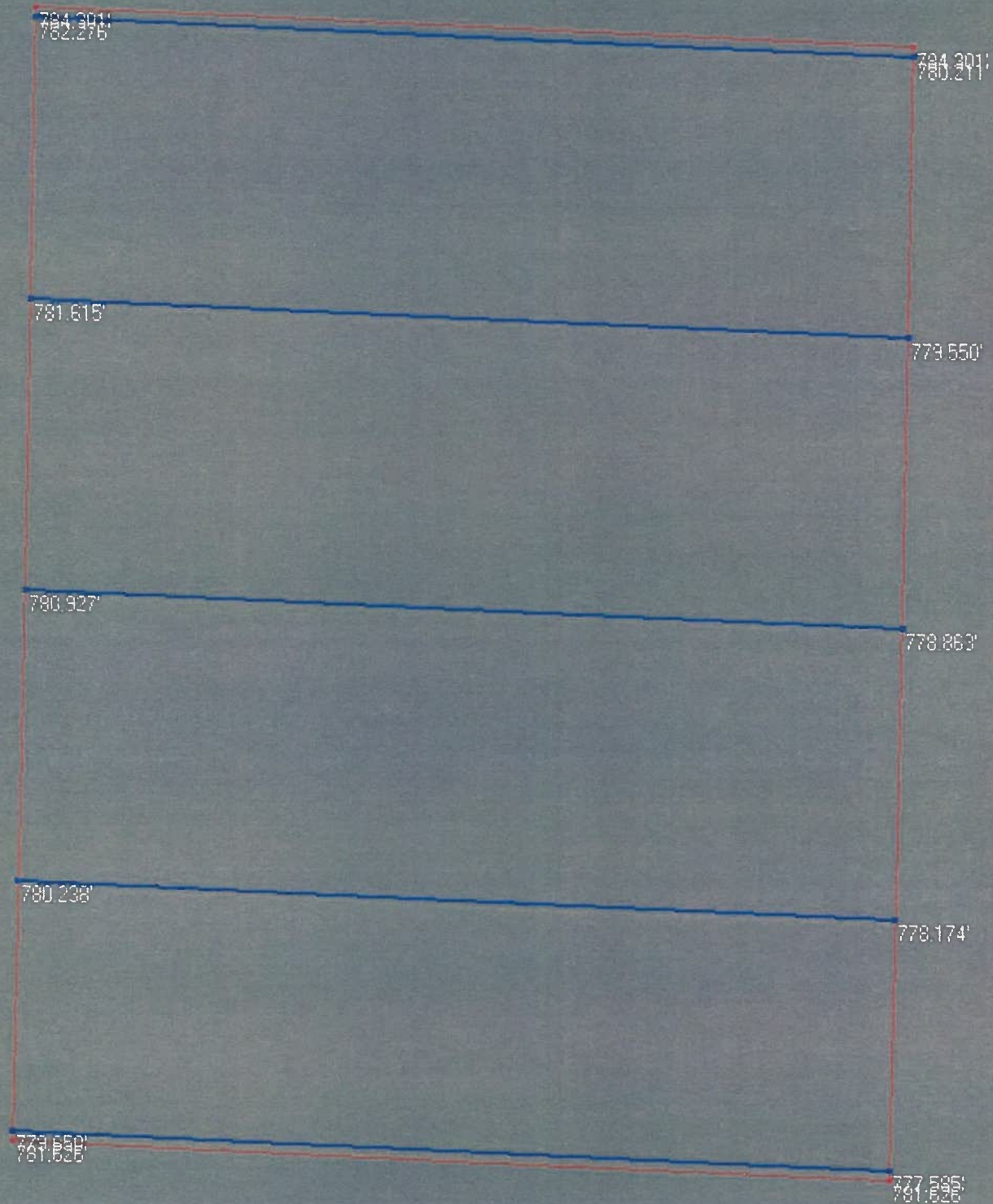
NTPEP APPROVED - GTX-2019-01-293. US 90NW is a nonwoven needlepunched geotextile made of 100% polypropylene staple filaments. US 90NW resists ultraviolet deterioration, rotting, biological degradation, naturally encountered basics and acids. Polypropylene is stable within a pH range of 2 to 13. US 90NW meets the following M.A.R.V. values except where noted:

PROPERTY	TEST METHOD	ENGLISH	METRIC
Weight Typical	<u>ASTM D-5261</u>	3.5 oz/y ²	118.65 g/m ²
Grab Tensile Strength	<u>ASTM D-4632</u>	90 lbs	401 N
Elongation @ Break	<u>ASTM D-4632</u>	50 %	50 %
Mullen Burst ⁽³⁾	<u>ASTM D-3786</u>	185 psi	1,275 kPa
Pin Puncture ⁽³⁾	<u>ASTM D-4833</u>	55 lbs	245 N
CBR Puncture	<u>ASTM D-6241</u>	265 lbs	1,179 N
Trapezoidal Tear	<u>ASTM D-4533</u>	40 lbs	178 N
Apparent Opening Size ^(1,2)	<u>ASTM D-4751</u>	50 US Sieve	0.297 mm
Permittivity ⁽¹⁾	<u>ASTM D-4491</u>	2 Sec ⁻¹	2 Sec ⁻¹
Water Flow Rate ⁽¹⁾	<u>ASTM D-4491</u>	150 g/min/f ²	6,112 L/min/m ²
UV Resistance @ 500 Hours	<u>ASTM D-4355</u>	70 %	70 %

(1) At the time of manufacturing, Handling, storage, and shipping may change these properties.

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Drainage Plan
w/ Elevations

RECEIVED
FEB 7 1 0025



GeoSport Lighting Systems, LLC

**MATERIALS ONLY PROPOSAL FOR:
Victory Sports Park**

GeoSport Lighting Systems, LLC, (herein called GeoSport), will provide all materials as described below.

> Proposal Includes:

- 184 Fixtures for Field Lighting
 - GeoSport CLIR2 - Standard Visor
- 26 RGBW Colored Lights
 - GeoSport RGBW - Standard Visor
- 2 70'MH Concrete Encased Direct Embedded Steel Sports Lighting Poles
- 10 80'MH Concrete Encased Direct Embedded Steel Sports Lighting Poles
 - OH Engineered Stamped foundation design to be provided upon award of project
- Pre-wired plug and play crossarms down to remote fuse distribution panel.
- Remote fuse distribution panel inclusive of individual fixture fusing, additional 75kA surge protection and disconnect per pole.
- 10 Year Manufacturers' Warranty
- Wireless DMX Controls with 10 years of service
- 27" Touchscreen Monitor for easy user-friendly control
- Dynamic Scene Control including controls with music (Music tracks provided by owners)
- Freight to job site.

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High Performance LED System CLIR RGBW



ENERGY EFFICIENT



INSTANT ON/OFF



ADVANCED CONTROL OPTIONS



LOW COST OF OWNERSHIP

Elevate the fan experience with GeoSport Lighting's state-of-the-art RGBW LED luminaire. This unique fixture offers capabilities to use full-spectrum color flooding and custom stadium effects. The possibilities for entertainment are endless; from community events, sports games, halftime shows, and post-game celebrations, our color enhancements with music synchronization capabilities make for an unforgettable and immersive experience. We offer pre-programmed effects, or you can work with GSL design engineers to create custom effects and scenes specific to your venue. We provide a touchscreen stadium software package to ensure effortless operation. Venues that have an existing DMX system will become a fully integrated extension of the GeoSport Lighting system.

FEATURES

HOUSING: Aluminum Powder Coated

VISOR: Standard/Extended

FIXTURE WEIGHT: 32 lbs

CRI: >70Ra

INPUT VOLTAGE: 180v-240v

THD: <15%

SURGE PROTECTION: 10kA Current Surge*

*Additional 75 kA protection in remote enclosure

L70 TESTED: >100,000 hours

SYSTEM WATTS: 600W

CCT: RGB

POWER FACTOR: 0.90

OPERATING TEMP: -20°C to +50°C

DRIVER: Remote

EPA: 14

IP RATING: IP66 / IP68



Advantage!

geosportlighting.com | 1-877-730-4762

GEOSPORT
LIGHTING
A TENCATE COMPANY

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Description	Qty	
Barrier Netting Pole System 30' AGL + 10.5' Embedment, 10.75" Diameter Steel Poles 24" Boring and backfilled with 0.98 C/Y of 2500 psi concrete Poles set on 50' o/c. (2) 650' runs Black STRYK finish on steel poles Includes touch up paint and freight for poles.	28	
RS3 Stainless Steel Break Away Snap Clips for Vertical and Top 2 Horizontal Cable Lines	1,205	
Engineered stamped drawings with Ohio PE Seal	1	
1-3/4" SQUARE #36 NYLON BASEBALL NETTING, BLACK (2) 30' H x 550' L	1	
Freight: Netting	1	
Engineered Netting System		

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SECTION 11 48 00 - BACKSTOP/ BARRIER NETTING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 specification sections apply to this section.

1.2 SUMMARY

- A. This section includes the following:
 - 1. Netting and cable support system for stadium backstop.
 - 2. Poles and foundations for stadium backstop
- B. Related sections include the following:
 - 1. Division 03 Section "Cast-in-Place Concrete".

1.3 SUBMITTALS

- A. Product Data: Submit manufacturer's product data.
- B. Identify samples with label on the back, designating number, name of manufacturer, name of product, etc.
- C. Shop Drawings: Show fabrication and installation of backstop netting assembly. Include plans, sections, component details, and attachments to other Work.
 - 1. Include structural analysis data signed and sealed by a qualified professional engineer in the State of Ohio responsible for their preparation. Design analysis shall clearly show all loads that will be delivered to the support poles.
 - 2. Product/design data for the limit connection element described in Paragraph 2.02, B., 5.
 - 3. Submit shop drawings in accordance with Section 01 33 00.
- D. Design Delegated Submittals
 - 1. Submit a letter of certification prepared by a Professional Structural Engineer (registered in the State of Ohio) certifying the following.
 - a. The aforementioned Engineer is fully experienced in the design of backstop netting and cable support system.
 - b. All shop drawings (including all supports, connections and components) shall be prepared under the direction of the aforementioned engineer, in compliance with

FEB 21 2024

the Contract Document requirements and applicable building codes. His seal and signature shall appear on all shop drawings. The aforementioned shop drawings shall include sufficient information to enable the Architect to confirm that design loads, support points and tie backs are in compliance with the Architect's design criteria.

This certification letter must be received by the Architect and Owner prior to the submission of the Shop Drawings for the backstop and cable support system and shall bear the seal and signature of the aforementioned engineer.

2. Indicate unit locations, unit identification marks, fabrication details, reinforcement, connection details, pertinent dimensions, design loads, support points and tie backs.
3. The design shall be in accordance with the aesthetic design intent of the project with the Architect having final authority in reference to aesthetic matters.
4. All design calculations (which shall bear the seal and signature of the aforementioned engineer), indicating compliance with the requirements of the design criteria and appropriate codes shall be provided to the Architect concurrent with the submission of shop drawings. The Architect will not approve shop drawings for fabrication without receiving design calculations.
5. The aforementioned engineer shall submit a letter to the Architect stating that the fabrication and installation of the backstop netting and cable support system has been performed in accordance with his design. This letter shall be signed and sealed by the aforementioned engineer as part of "Project Closeout".

E. Qualifications for Fabricator and Erector

1. The fabricator shall have a minimum of 5 years experience in the fabrication of backstop netting and cable support systems and shall have successfully fabricated a minimum of 5 projects similar to this project.
2. The erector shall have a minimum of 5 years experience in the erection of backstop netting and cable support systems and shall have erected a minimum of 5 projects similar to this project.

F. Maintenance Data

1. Submit manufacturer's recommendations for a maintenance program and schedule, including reference to specific component to be maintained.

1.4 PERFORMANCE REQUIREMENTS

- A. Backstop Netting and Cable Support System: Backstop netting support system shall be capable of supporting installed netting in accordance with the layout and code criteria indicated on the Drawings. A minimum safety factor of 4 shall be applied to all stress calculations.
- B. Delegated Design: Design backstop netting, cable support system, poles, supporting foundations and all connections, including comprehensive engineering analysis by a qualified Professional Engineer, using performance requirements and design criteria indicated.
- C. Design Criteria

11 48 00 - 2 of 8

20140378

Issue No. 5

E0616

FEB 21 2024

1. Conform to local and state codes.
2. Structural Criteria
 - a. Design to withstand the component wind loads shown on the drawing SG.1.
3. Geotechnical Criteria: Geotechnical Investigation Report shall be provided by the owner at a later date.
4. Limitations on Use of Deadmen: Location of deadmen shall be such that they do not restrict pedestrian circulation. Location shall be subject to review and approval of the Architect. Deadmen are not permitted to be used for poles behind bleachers.

1.5 DELEGATED DESIGN – BACKSTOP/BARRIER NETTING SYSTEM

- A. Professional Engineer Qualifications: A professional structural engineer registered in the State of Ohio and who is experienced in providing engineering services of the kind indicated. Engineering services are defined as those performed for installations of cable suspension systems that are similar to those indicated for this Project in material, design, and extent.
- B. Backstop Netting system Installer Qualifications: an experienced installer who has completed backstop netting systems similar in material, design, and extent to that indicated for this Project and whose work has resulted in backstop netting installations with a record of successful in-service performance.
 1. **Installer's Responsibilities:** Installation of backstop netting assembly, including the following:
 - a. **Foundations**
 - b. Poles
 - c. Cabling
 - d. Fittings
 - e. Netting
 - f. Welding
- C. Welding: Qualify procedures and personnel according to AWS D1.1, "Structural Welding Code--Steel," and AWS D1.3, "Structural Welding Code--Sheet Steel."
- D. Coordination: Backstop Netting Contractor shall coordinate the installation of their work with all related subcontractors.
 1. Provide layout framing indicating bottom cabling eyebolt locations with anchorage details and forces.
 2. Coordinate pole foundation locations and interface with components provided by other trades.

FEB 21 2024

- E. Preinstallation Conference: Conduct conference at project site to comply with requirements in Division 01 Section "Project Management and Coordination". Attendees should include Contractor, backstop netting manufacturer and installer, Contractor's Engineer and Architect.

1.6 WARRANTY

- A. General Warranty: Special warranties specified in this Article shall not deprive Owner of other rights Owner may have under other provisions of the Contract Documents and shall be in addition to, and run concurrent with, other warranties made by Contractor under requirements of the Contract Documents.
- B. Special Warranties:
1. Component: Written warranties, executed by manufacturer of each piece of component specified agreeing to repair or replace components that fail in materials or workmanship within specified warranty period.
 2. Backstop Netting: Installed netting shall prevent passage of batted and/or thrown ball. If netting fails to prevent passage of ball, installer shall adjust netting as necessary to achieve design intent.
 3. Warranty Period: Two years from date of Substantial Completion.
 4. Correct defects in material and workmanship which may appear during the correction period by repairing, to the Owner's satisfaction, or replacing with new materials.

1.7 DELIVERY, STORAGE AND HANDLING

- A. Package separately and apply label to contents. Include templates, hardware and installation instructions.
- B. Store and protect work against injury at the shop, in transit to the job and until erected in place, inspection and accepted.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Basis of Design:

11 48 00 - 4 of 8

20140378

Issue No. 5

E0616

FEB 21 2024

1. Burbank Sports Net
 - a. Backstop Netting: Model Number: BSN100
- B. Other Acceptable Manufacturers: Subject to compliance with requirements, equivalent products manufactured

2.2 MATERIALS

- A. Backstop Netting: 1-3/4 inch square mesh #36 Nylon netting that complies with the following:
 1. Yarn Type: 100% first grade nylon of Dupont type 840-136-0.3ZR70; knotted nylon, black.
 2. Weight: 0.03 lbs/ sq ft treated weight
 3. Minimum Tensile Strength: 300 pounds.
 4. Edge Treatment: Hemmed with a 5/16 inch three strand twisted polyethylene rope spliced to the edge.
 5. Weather Treatment: Weather resistant and UV stabilized.
 6. Cord: Provide net manufacturer's standard cord or ties for lacing netting to supports.
- B. Backstop Netting Cabling and Connections: Provide the following materials and accessories:
 1. Cables: All cables to be galvanized IWRC 7 x 19 class or 6 x 19 class. All cables to comply with ASTM A 603. End termination allowed:
 - a. Swaged wire rope socket
 - b. Mechanical splice sleeve
 - c. Forged wire clips and thimbles
 2. Terminations must handle design loads.
 3. Cable sizes: As required by Contractor's engineered design:
 - a. Fittings: Other cable fittings shall be sized to match the load carrying capacity of the cable or design load where the fitting is used.
 - b. Turnbuckles, clips and thimbles should be galvanized.
 - c. Type F, or type S, Grade A, standard weight (Schedule 40), unless another grade and weight are required by structural loads.
 4. Steel Plates, Shapes and Bars: ASTM A 36/a 36M.
 5. Fittings: Steel castings, galvanized in accordance with ASTM A 148.
 6. Miscellaneous Connection Plates: ASTM A 36 steel, galvanized in accordance with ASTM A 153.
 7. Miscellaneous Hardware and Accessories: Provide corrosion resistant steel turn buckles, clamps, thimbles and cable hooks for complete installation.

FEB 21 2024

- C. Poles: Steel and Iron: Provide steel and iron in the form indicated, complying with the following requirements:
1. Steel Pipe: ASTM A 53; finish, type and weight class as follows:
 - a. Stryk Anti Corrosion Black Painted.
- CI. Foundations: Delegated design.
- CII. Grout and Anchoring Cement: Erosion- Resistant Anchoring Cement: Factory-packaged, nonshrink, nonstaining, hydraulic-controlled expansion cement formulation for mixing with water at project site to create pourable anchoring, patching and grouting compound. Provide formulation that is resistant to erosion from water exposure without needing protection by a sealer or waterproof coating and that is recommended by manufacturer for exterior use.
- CIII. The products indicated herein establish minimum requirements; actual requirements shall be established by the Contractor's professional registered Structural Engineer.

2.3 FABRICATION

A. Netting and Cable Support System

1. General: Fabricate to comply with requirements indicated for design, dimensions, member sizes and spacing, details, finish and anchorage, but not less than that required to support structural loads.
2. Fabricate steel members in accordance with the latest applicable requirements of the American Institute of Steel Construction.
3. Assemble in the shop to greatest extent possible to minimize field splicing and assembly. Disassemble units only as necessary for slipping and handling limitations. Clearly mark units for reassembly and coordinated installation. Use connections that maintain structural value of joined pieces.
4. Welded Connections: Fabricate for connecting members in shop by welding. Cope components at perpendicular and skew connections to provide close fit, or use fittings designed for this purpose. Weld connections continuously to comply with the following:
 - a. Use materials and methods that minimize distortion and develop strength and corrosion resistance of base metals.
 - b. Obtain fusion without undercut or overlap.
 - c. Remove flux immediately.
 - d. At exposed connections, finish exposed surfaces smooth and blended so no roughness shows after finishing and welded surface matches contours of adjoining surfaces.
5. Interconnect members in shop by butt-welding or welding with internal connectors, at fabricator's option, unless otherwise indicated.

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Issue No. 5

E0616

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- a. At tee and cross intersections, cope ends of intersecting members to fit contour of pipe to which end is joined, and weld all around.
 - b. Weld joint shall match Type 1 as defined by NAAMM AMP521, "Pipe Railing Systems Manual".
6. Shear and punch metals cleanly and accurately. Remove burrs from exposed cut edges.
 7. Ease exposed edges to a radius of approximately 1/32 inch (1 mm), unless otherwise indicated. Form bent-metal corners to smallest radius possible without causing grain separation or otherwise impairing the work.
 8. Cut, reinforce, drill and tap components, as indicated, to receive finish hardware, screws, and similar items.
 9. Provide weep holes or another means to drain entrapped water in hollow sections of members that are exposed to exterior or to moisture from condensation or other sources.
 10. Fabricate joints that will be exposed to weather in a watertight manner.
 11. Field Conditions: Verify measurements in field as required for fabricated work to fit job conditions. Before starting work, examine adjoining conditions on which work of this Section is dependent for workmanship and fit.
 12. Construction: Fabricate work to provide continuity of lines and design, with parts in contact having hairline joints. Make joints as strong and as rigid as adjoining sections. Locate exposed joints where least conspicuous.
 13. Connections and Accessories: Provide connections and accessories adequate to withstand stresses and strains to which they will be normally subjected.
- a. Welds: AWS D1.1; type required for materials being welded.
 - b. Fastenings: Flush countersunk screws or bolts unobtrusively located, consistent with design of structure, theftproof where exposed. Do not expose fastenings on face surface of finish surfaces. Do not deform, distort or discolor face surfaces by attachment or concealed fastenings.
- 1) Stability: Fabricate and install with fastenings to withstand all actions imposed by use.
 - 2) Corrosion Resistance: Fastenings shall be noncorrosive and resistant to oxidation or other corrosive action, of the same composition completely through their cross sections.
 - 3) Color: Secure work with fastenings of same color and finish as the components they secure, where they are exposed to view.

2.4 FINISHING – BACKSTOP NETTING SYSTEM

- A. Galvanized Items: Hot-dip galvanize exterior steel posts and panels to comply with ASTM A 123. Hot-dip galvanize hardware to comply with ASTM A 153/A 153M.
- B. Fill vent and drain holes that will be exposed in finished work, unless indicated to remain as weep holes, by plugging with zinc solder and filing off smooth.
- C.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. General: Install backstop netting and cable system in accordance with the requirements of the Contractor's registered Professional Engineer.
- B. Install in accordance with manufacturer's recommendations and approved shop drawings.
 - 1. Backstop net and cable support system:
 - a. The entire fabrication and installation shall be done by a single contractor who will have undivided responsibility for the performance of all component parts.
 - b. Install cables according to the practices recommended by the wire Rope Technical Board.
 - c. Install net so net pattern is horizontal and vertical.
 - d. Install net to cables by lacing the perimeter of the net to the cable (every other mesh) using treated twine with a tensile strength equal to or greater than the net.
 - e. Cables shall be free of all kinks and bends. Care shall be taken not to injure or damage cables during installation.

3.2 INSPECTION

- A. Examine the conditions under which backstop netting and cable system are to be installed and advise the Construction Manager of any conditions detrimental to the proper and timely completion of the work. Work shall not proceed until unsatisfactory conditions have been corrected in a manner acceptable to the Installer.

END OF SECTION 11 48 00

11 48 00 - 8 of 8

20140378

Issue No. 5

E0616

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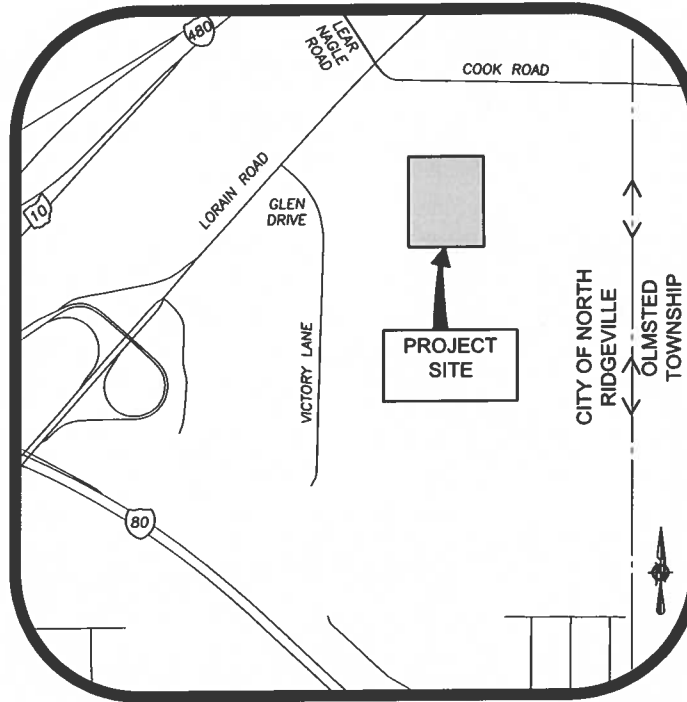
Steve Smetana
Field Of Play
(440) 479-8639

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FEB 21 2025

IMPROVEMENT PLANS
FOR
MULTI-SPORTS FIELDS AT VICTORY PARK
7777 VICTORY LANE
CITY OF NORTH RIDGEVILLE,
COUNTY OF LORAIN,
STATE OF OHIO

APPROVAL ON BEHALF OF THE CITY OF NORTH RIDGEVILLE

CITY ENGINEER - CHRISTINA EAVENSON, P.E. DATE



LOCATION MAP
NOT TO SCALE

INDEX OF SHEETS

TITLE SHEET.....	1
OVERVIEW PLAN.....	2
ENLARGED PLAN.....	3
MISCELLANEOUS DETAILS AND PHOTOMETRIC PLAN.....	4

PLANS PREPARED BY

AARON P. APPELL, P.E.
REGISTERED OHIO ENGINEER NO. E-75683 DATE

PRELIMINARY PLANS FOR PLANNING COMMISSION

UNDERGROUND UTILITIES
Contact Two Working Days
Before You Dig

OHIO811, 8-1-1, or 1-800-367-2764
(non-members must be called directly)

EXISTING UNDERGROUND UTILITIES NOTE:

THE SIZE & LOCATION, BOTH HORIZONTAL AND VERTICAL, OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL. HOWEVER, BRAMHALL ENGINEERING AND SURVEYING COMPANY DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

DATE	BY	DESCRIPTION
02-21-2025	APA	ISSUE TO CITY FOR REVIEW

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CHECKED BY:
APA

BRAMHALL
ENGINEERING AND SURVEYING COMPANY
801 MOORE ROAD AVON, OHIO 44011
(440) 934 - 7878 (440) 934 - 7879 FAX

PREPARED FOR:
VICTORY PARK OHIO
7777 VICTORY LANE
NORTH RIDGEVILLE, OHIO 44039

MULTI-SPORT FIELDS AT VICTORY PARK
TITLE SHEET
CITY OF NORTH RIDGEVILLE, COUNTY OF LORAIN, STATE OF OHIO

SHEET
1 OF 4
JOB NO.
25-6287



GRAPHIC SCALE
0 40 80 160
(IN FEET)
SCALE: 1" = 80'

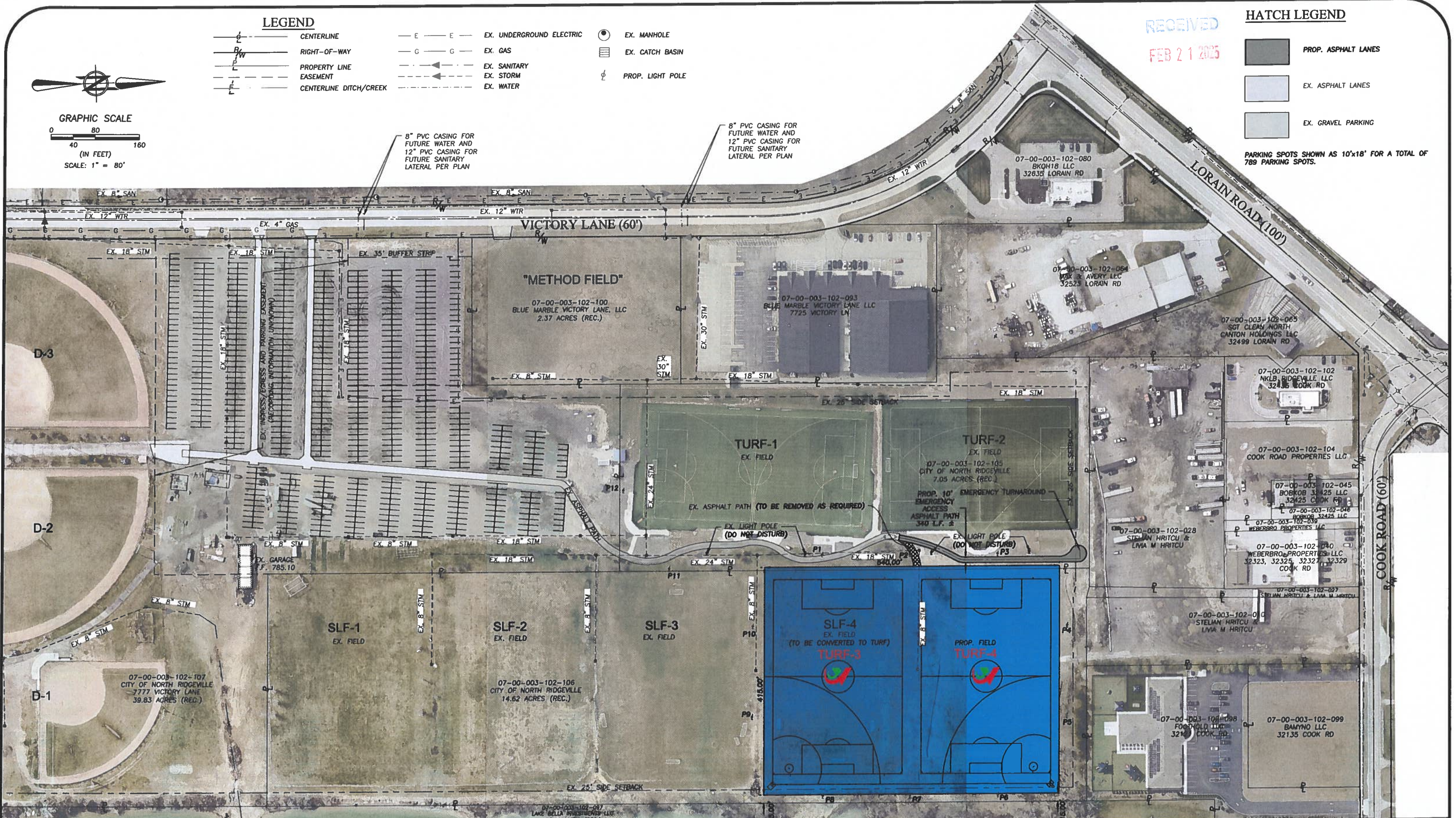
LEGEND

- | | | | | | |
|--|------------------------|--|--------------------------|--|------------------|
| | CENTERLINE | | EX. UNDERGROUND ELECTRIC | | EX. MANHOLE |
| | RIGHT-OF-WAY | | EX. GAS | | EX. CATCH BASIN |
| | PROPERTY LINE | | EX. SANITARY | | PROP. LIGHT POLE |
| | EASEMENT | | EX. STORM | | |
| | CENTERLINE DITCH/CREEK | | EX. WATER | | |

HATCH LEGEND

- | | |
|--|---------------------|
| | PROP. ASPHALT LANES |
| | EX. ASPHALT LANES |
| | EX. GRAVEL PARKING |

PARKING SPOTS SHOWN AS 10'x18' FOR A TOTAL OF 789 PARKING SPOTS.



DATE	BY	DESCRIPTION
01-21-2023	APA	ISSUE TO CITY FOR REVIEW

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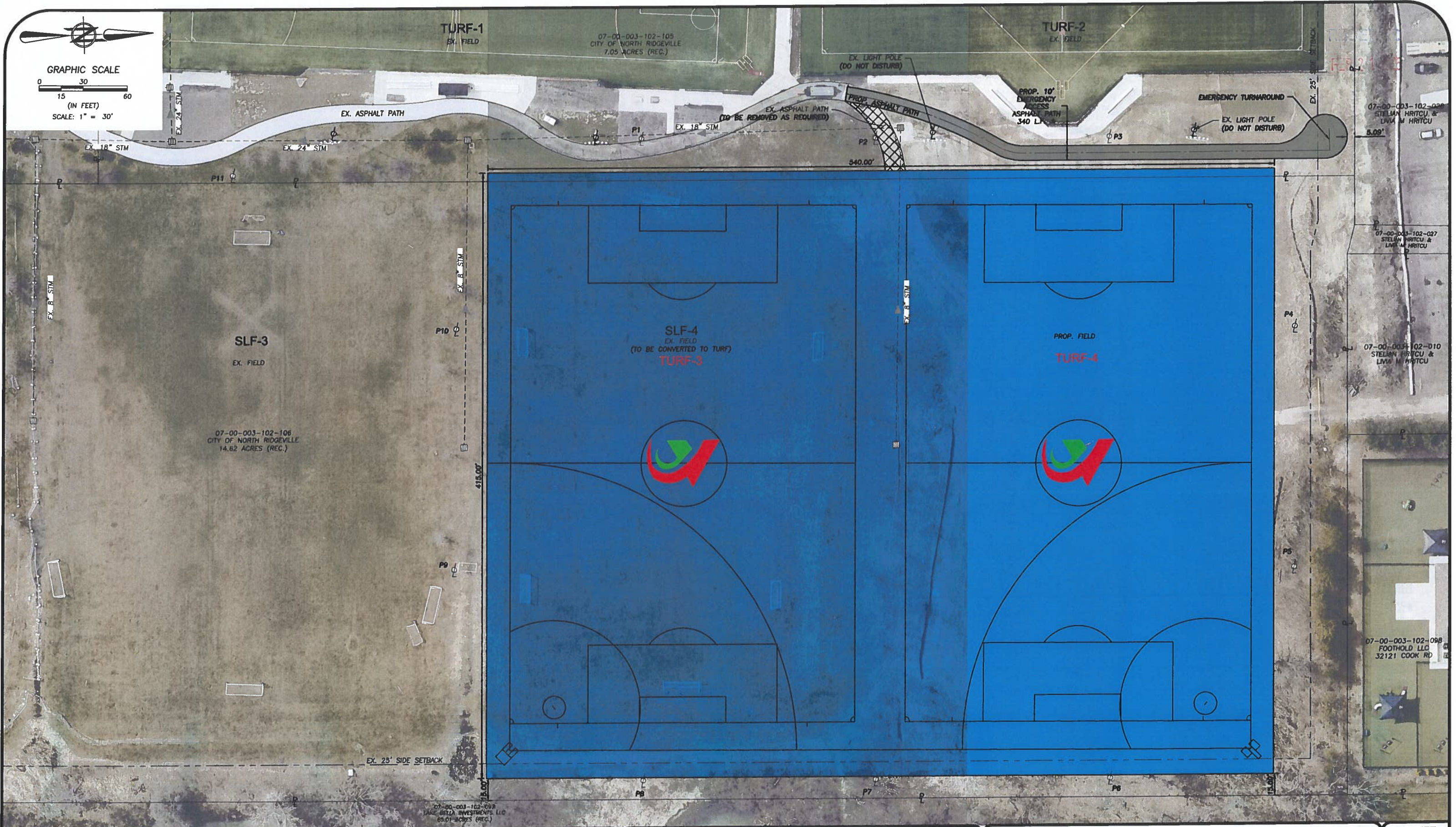
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APA

BRAMHALL
ENGINEERING AND SURVEYING COMPANY
801 MOORE ROAD AVON, OHIO 44011
(440) 934 - 7878 (440) 934 - 7879 FAX

PREPARED FOR:
VICTORY PARK OHIO
7777 VICTORY LANE
NORTH RIDGEVILLE, OHIO 44039

MULTI-SPORT FIELDS AT VICTORY PARK
OVERALL CONCEPT PLAN
CITY OF NORTH RIDGEVILLE, COUNTY OF LORAIN, STATE OF OHIO

SHEET
2 OF 4
JOB NO.
25-6287



DATE	BY	DESCRIPTION
02-21-2025	APA	ISSUE TO CITY FOR REVIEW

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PREPARED FOR:
VICTORY PARK OHIO
7777 VICTORY LANE
NORTH RIDGEVILLE, OHIO 44039

MULTI-SPORT FIELDS AT VICTORY PARK
OVERALL CONCEPT PLAN
CITY OF NORTH RIDGEVILLE, COUNTY OF LORAIN, STATE OF OHIO

SHEET
3 OF 4
JOB NO.
25-6287

CONSTRUCTION NOTES:

1. SEE DETAILED LIGHTING SPECIFICATIONS BY GEO SPORT LIGHTING.
2. SEE FENCE SPECIFICATIONS BY OTHERS.
3. ELECTRICAL FEED AND DETAILS BY OTHERS.
4. EXISTING AS-BUILT UTILITIES, EXISTING GRADING AND PROPOSED GRADING PLAN TO BE PROVIDED WITH ISSUE FOR CONSTRUCTION SET.
5. EXISTING FLYASH CAP SHALL NOT BE DISTURBED OR PENETRATED. WHEN TRENCHING CONDUITS REQUIRES IMPACTING THE CAP THE CONTRACTOR SHALL FOLLOW THE GUIDANCE AND REQUIREMENTS OF THE GEOTECHNICAL REPORT BY ECS, MIDWEST LLC APRIL 2023 OR LATEST VERSION. DRAINAGE PATTERNS SHALL GENERALLY BE MAINTAINED.
6. DETAILED SWPPP TO BE PROVIDED AS PART OF ISSUE FOR CONSTRUCTION SET.



DASHED LINE = FIXTURES TURNED OFF

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Pole	x-loc	y-loc	height	Narrow	Medlum	Wide	RGBW60	Total	kw
P1	-165	215	80ft	1	13	4		14-4	14.4
P10	-295	85	80ft		16	4		16-4	16.0
P11	-450	200	70ft		5	3		4-4	6.4
P12	-535	340	70ft		2	6		4-4	6.4
P2	0	215	80ft		16	2		14-4	14.4
P3	165	215	80ft	1	14	3		14-4	14.4
P4	295	85	80ft		13	3		16	12.8
P5	295	-85	80ft		13	3		16	12.8
P6	165	-215	80ft	1	10	3		14	11.2
P7	0	-215	80ft		12	2		14	11.2
P8	-165	-215	80ft	1	10	3		14	11.2
P9	-295	-85	80ft		16	4		16-4	16.0
other							26	26	14.1
Total				4	140	40	26	210	161.2

P1-P8 & P11 - 2 RGBW MOUNTED 50' ABG

P9 & P10 - 4 RGBW MOUNTED 50' ABG

RGBW60
GeoSport RGBW 630W
Light Loss Factor = 0.950
Watts per luminaire = 542
Number luminaires used = 26
kw these luminaires = 14.1

Narrow
GeoSport Clir-2 SV 800W
Light Loss Factor = 0.950
Watts per luminaire = 773
Number luminaires used = 4
kw these luminaires = 3.1

Wide
GeoSport Clir-2 SV 800W
Light Loss Factor = 0.950
Watts per luminaire = 773
Number luminaires used = 40
kw these luminaires = 31.8

Medlum
GeoSport Clir-2 SV 800W
Light Loss Factor = 0.950
Watts per luminaire = 801
Number luminaires used = 140
kw these luminaires = 112.2

550' x 400' Multi Purpose Field
266 points at 2' x 3', sp 30ft by 30ft
HORIZONTAL FOOTCANDLES
Average 53
Maximum 57
Minimum 48
AvgMin 110
MaxMin 119
Coef Var 0.04
UnifGrad 119



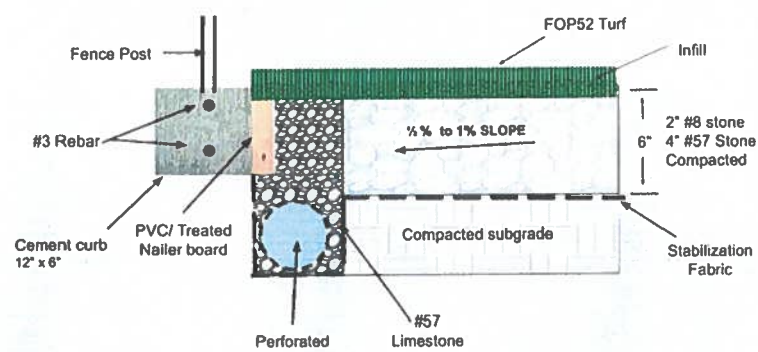
VICTORY SPORTS PARK, NORTH RIDGEVILLE, OH

Revision 3 02/06/25 Drawing 1 of 2 877-883-5968
WWW.GEOSPORTLIGHTING.COM

EQUIPMENT LAYOUT

POLE LOCATIONS

PERIMETER DETAIL TURF/CURB/NATURAL GRASS



Not to scale (measurements are nominal not actual)

DATE: 02-21-2025 BY: APA DESCRIPTION: ISSUE TO CITY FOR REVIEW

DRAWN BY: CAT

CHECKED BY: APA

BRAMHALL
ENGINEERING AND SURVEYING COMPANY
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(440) 934 - 7878 (440) 934 - 7879 FAX

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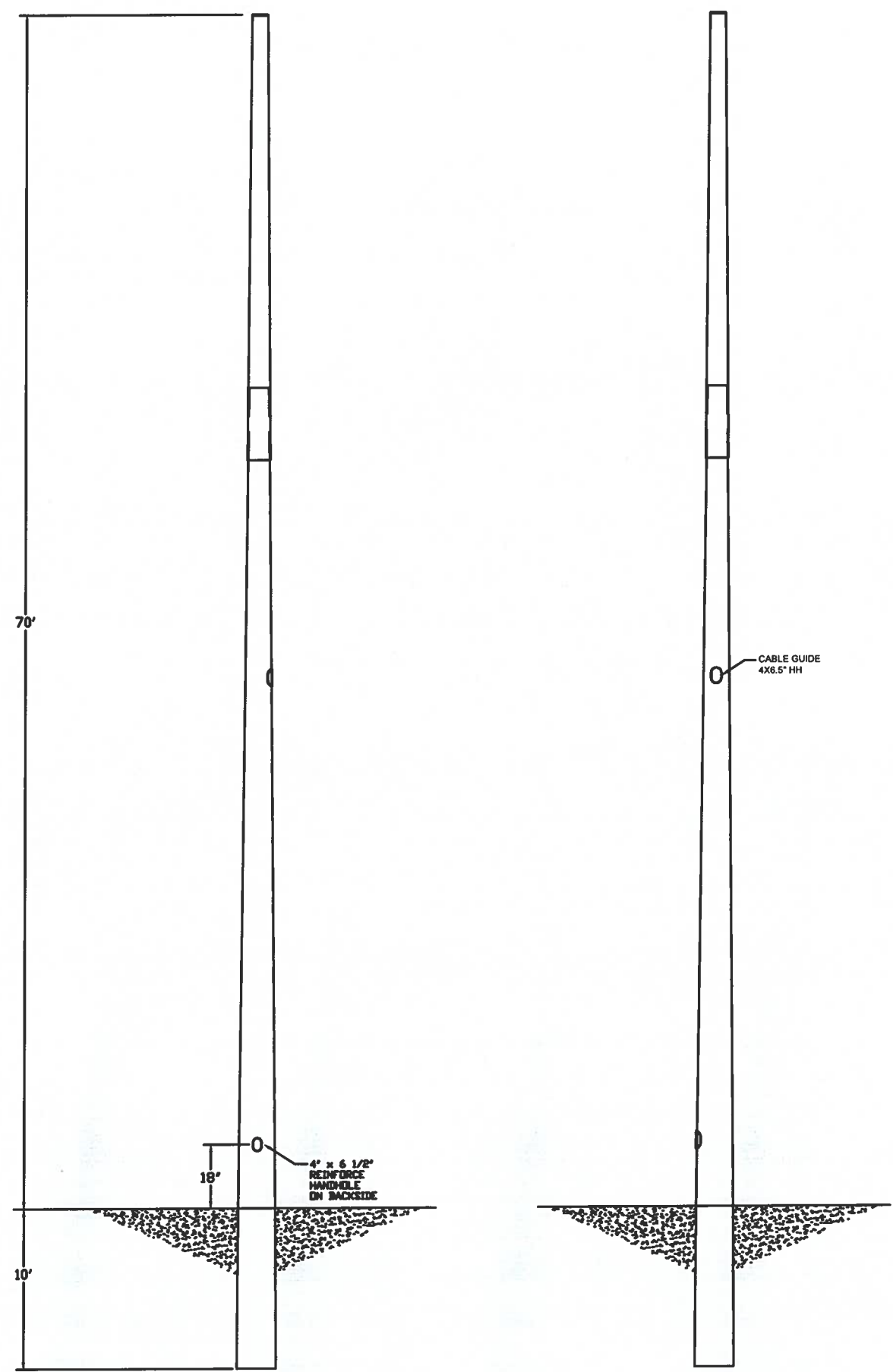
VICTORY PARK OHIO
7777 VICTORY LANE
NORTH RIDGEVILLE, OHIO 44039

MULTI-SPORT FIELDS AT VICTORY PARK
MISCELLANEOUS DETAILS
CITY OF NORTH RIDGEVILLE, COUNTY OF LORAIN, STATE OF OHIO

SHEET

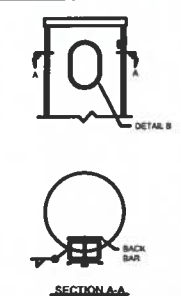
4 OF 4

JOB NO.
25-6287

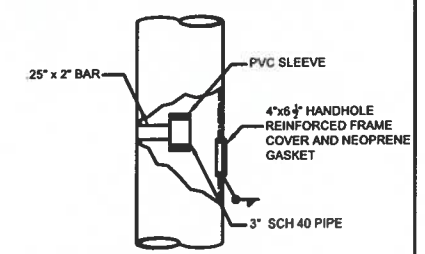


FRONT VIEW

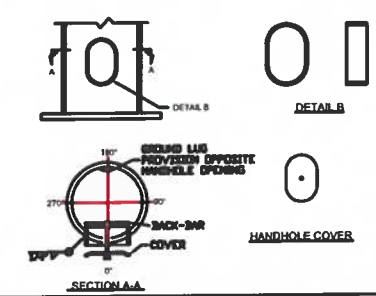
SIDE VIEW



3 X 5\"/>



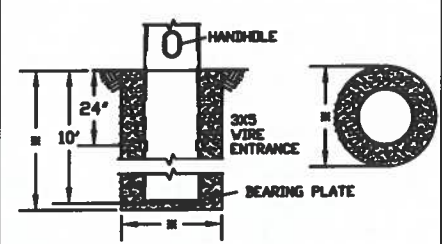
CABLE GUIDE



4 X 6 1/2\"/>

	BASE OD (in)	TOP OD (in)	WALL THC	LENGHT (ft)	WEIGHT (lbs)
TOP	9.27	5.17	.188	29.23	430
BOTTOM	16	8.58	.188	53	1340

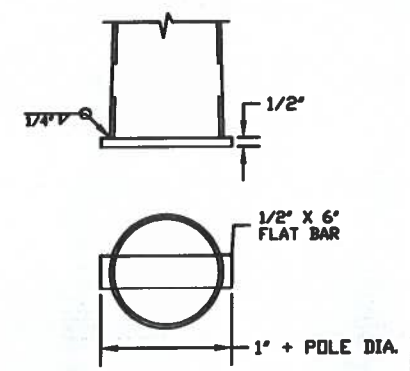
POLE DIMENSION



■ DIMENSIONS TO BE DETERMINED BY ENGINEER.

NOTE:
EXTERIOR TOP COATED WITH COAL
TAR MASTIC FOR EMBEDMENT
DEPTH PLUS 6\"/>

FOUNDATION



BEARING PLATE

COMPONENT	SPECIFICATION
POLE TOP	ASTM A572 GR. 65
POLE BOTTOM	ASTM A572 GR. 65
MISC. STEEL	ASTM A36

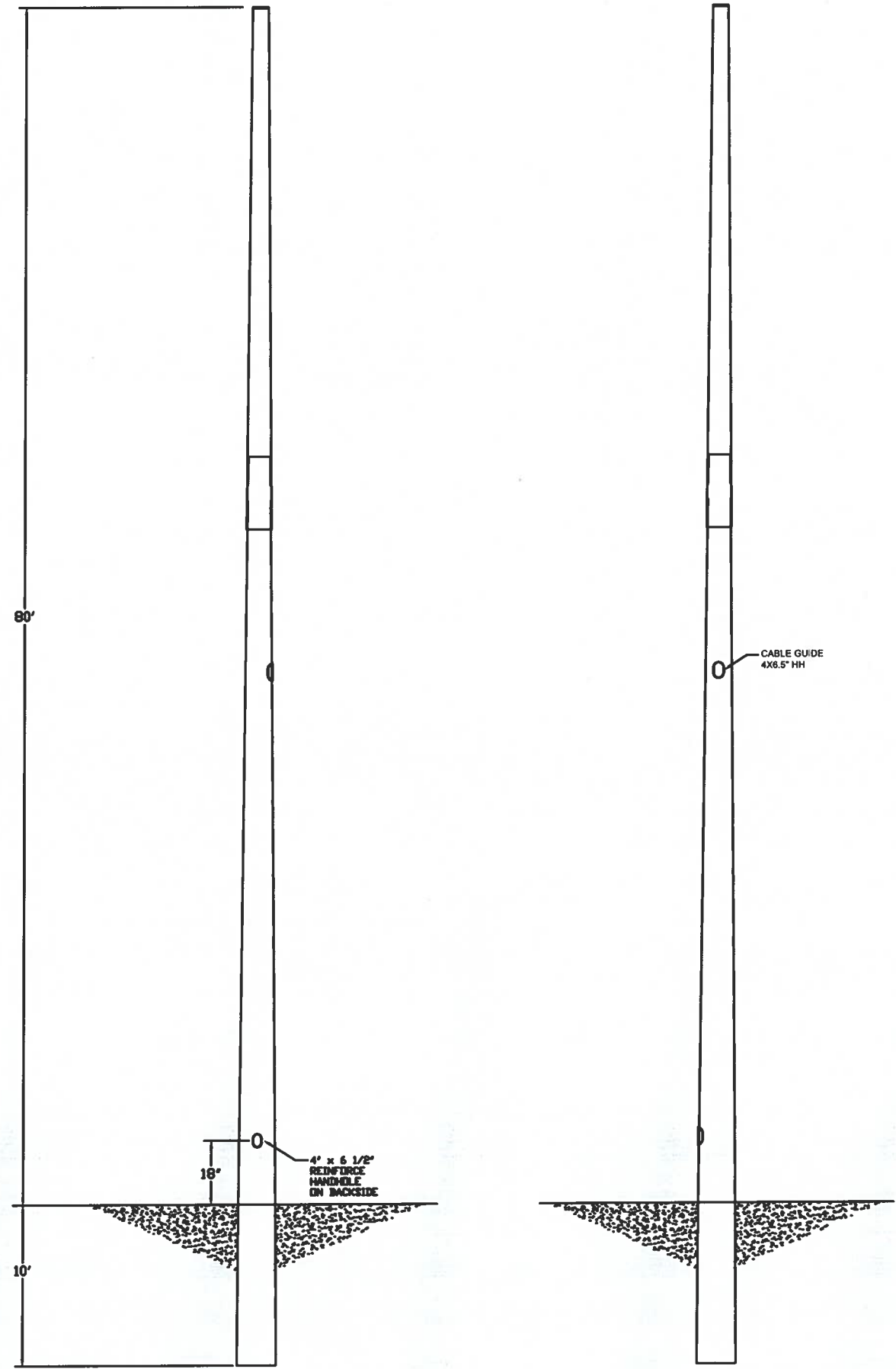
GENERAL NOTES:
1. ALL HARDWARE TO BE GALVANIZED TO ASTM A153.
2. POLE ASSEMBLY TO BE GALVANIZED TO ASTM A123.
3. ALL WELDING TO CONFORM TO AWS D1.1 MOST RECENT EDITION.
4. DESIGN INCORPORATE GUST FACTOR PER REF CODE.
5. REFER TO GENERAL INSTALLATION INSTRUCTIONS PRIOR TO ASSEMBLY.

FINISH:	WIND SPEED:	DESIGN CRITERIA:
☒ GALVANIZED	☐ 80 MPH ☐ 110 MPH	☐ AASHTO LTS 3 ☐ IBC
☐ PAINTED	☐ 90 MPH ☐ 120 MPH	☐ AASHTO LTS 6 ☐ DSA
☐ PAINTED & GALV	☐ 100 MPH ☐ ___ MPH	☐ ASCE 7-10 ☐ UBC

MATERIAL SPECIFICATIONS

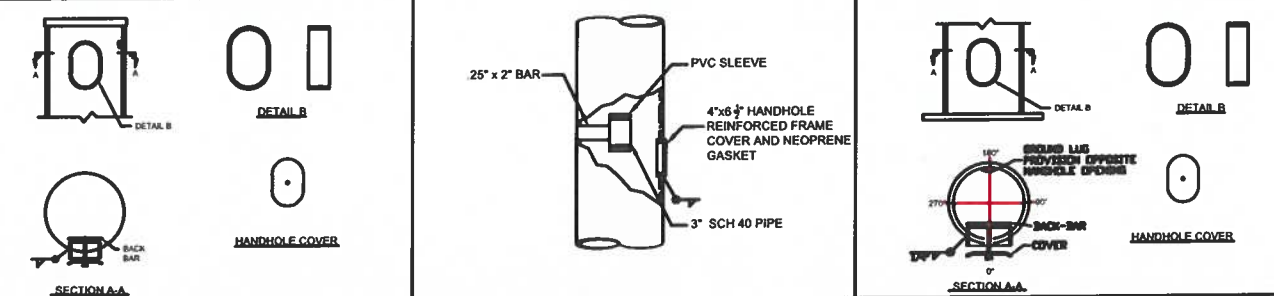
DATE:	REV.:	CHECKED BY:	SCALE: NTS
DRAWING NUMBER: MSP70M2EM	DRAWN BY: DR	QUOTE NUMBER:	

MAKERS SALES AND MARKETING
1400 WESTPARK WAY
EULESS, TEXAS
(817) 834-5538



FRONT VIEW

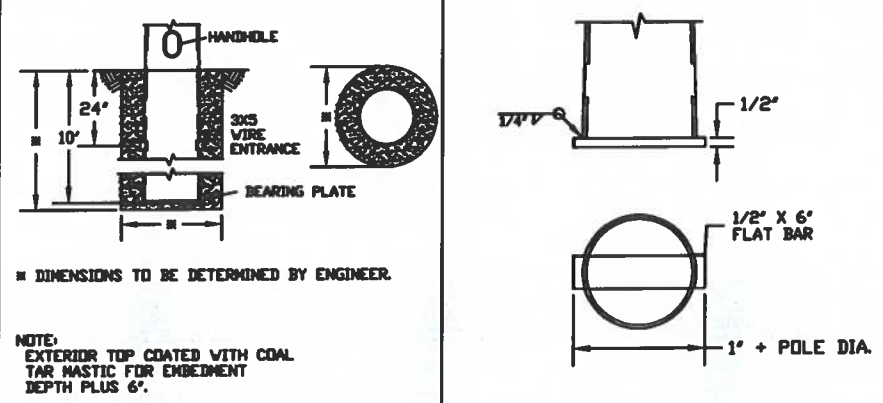
SIDE VIEW



3 X 5" REINFORCE HANDHOLE CABLE GUIDE 4 X 6 1/2" REINFORCE HANDHOLE

	BASE OD (in)	TOP OD (in)	WALL THC	LENGHT (ft)	WEIGHT (lbs)
TOP	12.32	6.77	.188	39.61	775
BOTTOM	19	11.58	.188	53	1672

POLE DIMENSION



FOUNDATION BEARING PLATE

COMPONENT	SPECIFICATION
POLE TOP	ASTM A572 GR. 65
POLE BOTTOM	ASTM A572 GR. 65
MISC. STEEL	ASTM A36

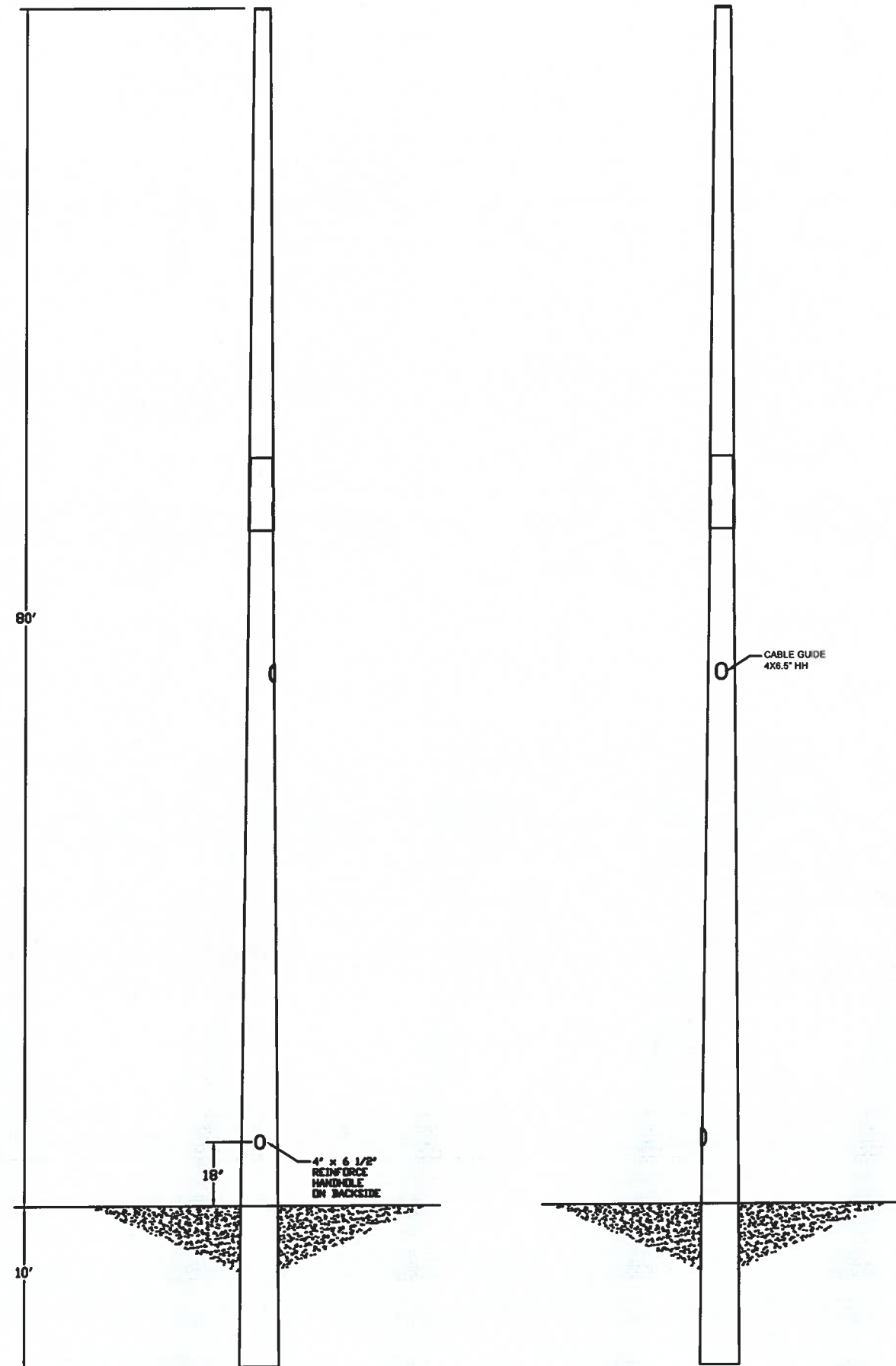
GENERAL NOTES:
1. ALL HARDWARE TO BE GALVANIZED TO ASTM A153.
2. POLE ASSEMBLY TO BE GALVANIZED TO ASTM A123.
3. ALL WELDING TO CONFORM TO AWS D1.1 MOST RECENT EDITION.
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5. REFER TO GENERAL INSTALLATION INSTRUCTIONS PRIOR TO ASSEMBLY.

FINISH: WIND SPEED: DESIGN CRITERIA:
☒ GALVANIZED ☐ 80 MPH ☐ 110 MPH ☐ ASHTO LTS 3 ☐ IBC
☐ PAINTED ☐ 90 MPH ☐ 120 MPH ☒ ASHTO LTS 6 ☐ DSA
☐ PAINTED & GALV ☐ 100 MPH ☐ MPH ☐ ASCE 7-10 ☐ UBC

MATERIAL SPECIFICATIONS

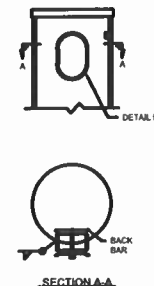
DATE:	REV.:	CHECKED BY:	SCALE: NTS
DRAWING NUMBER: MSP80M3EM	DRAWN BY: DR	QUOTE NUMBER:	

 1400 WESTPARK WAY
EULESS, TEXAS
(817) 834-5538

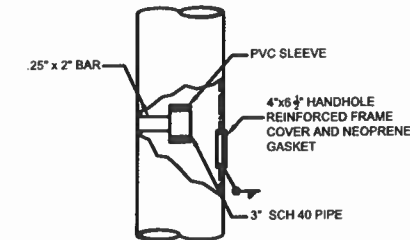


FRONT VIEW

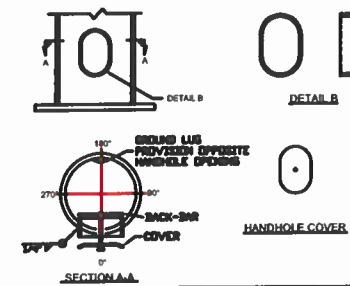
SIDE VIEW



3 X 5\"/>



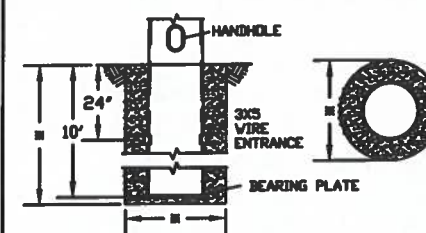
CABLE GUIDE



4 X 6 1/2\"/>

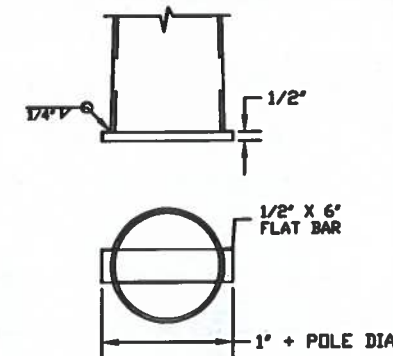
	BASE OD (in)	TOP OD (in)	WALL THC	LENGHT (ft)	WEIGHT (lbs)
TOP	13.34	7.77	.188	39.73	861
BOTTOM	20	12.58	.188	53	1783

POLE DIMENSION



■ DIMENSIONS TO BE DETERMINED BY ENGINEER.

NOTE:
EXTERIOR TOP COATED WITH COAL
TAR MASTIC FOR EMBEDMENT
DEPTH PLUS 6\"/>



COMPONENT	SPECIFICATION
POLE TOP	ASTM A572 GR. 65
POLE BOTTOM	ASTM A572 GR. 65
MISC. STEEL	ASTM A36

GENERAL NOTES:

1. ALL HARDWARE TO BE GALVANIZED TO ASTM A153.
2. POLE ASSEMBLY TO BE GALVANIZED TO ASTM A123.
3. ALL WELDING TO CONFORM TO AWS D1.1 MOST RECENT EDITION.
4. DESIGN INCORPORATE GUST FACTOR PER REF CODE.
5. REFER TO GENERAL INSTALLATION INSTRUCTIONS PRIOR TO ASSEMBLY.

FINISH:	WIND SPEED:	DESIGN CRITERIA:
☒ GALVANIZED	☐ 80 MPH ☐ 110 MPH	☐ AASHTO LTS 3 ☐ IBC
☐ PAINTED	☐ 90 MPH ☐ 120 MPH	☐ AASHTO LTS 6 ☐ DSA
☐ PAINTED & GALV	☐ 100 MPH ☐ NPH	☐ ASCE 7-10 ☐ UBC

FOUNDATION

BEARING PLATE

MATERIAL SPECIFICATIONS

DATE:	REV.:	CHECKED BY:	SCALE: NTS
DRAWING NUMBER: MSP80M4EM	DRAWN BY: DR	QUOTE NUMBER:	

MAKERS SALES AND MARKETING
1400 WESTPARK WAY
EULESS, TEXAS
(817) 834-5538