

Planning Commission
CITY HALL COUNCIL CHAMBERS
AGENDA OF OCTOBER 8, 2024
7:00 PM

ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES

Regular meeting of September 10, 2024

CORRESPONDENCE

Administrative Approvals & Zoning Certificates

1. PPZ2024-0297 Red Door Renovations, LLC, 38784 Center Ridge Rd
Approval of a Zoning Certificate of Compliance for a motel.

Planning Project Updates

1. Zoning Code Diagnosis
2. Active Transportation Plan
3. Traffic Studies

OLD BUSINESS

NEW BUSINESS

1. Root Rd Street Vacation, PPN 07-00-021-111-001
Applicant: Wink Royalton, 5640 Broad Blvd, North Ridgeville, OH 44039. Applicant has petitioned the City vacate a portion of Root Rd adjacent to PPN 07-00-021-118-043.
2. St. Peter Catholic Church, 35777 Center Ridge Rd, PPN 07-00-021-117-078, -076
Applicant: Patrick Hyland, Perspectus, 1300 Euclid Ave, #910, Cleveland, OH 44114. Proposal consists of Parish Hall addition and site improvements. Property is zoned R-1 Residence District.

ADJOURNMENT

**NORTH RIDGEVILLE PLANNING COMMISSION
MINUTES OF REGULAR MEETING
TUESDAY, SEPTEMBER 10, 2024**

CALL TO ORDER:

Vice-Chairman Schumann called the Planning Commission meeting to order with the Pledge of Allegiance at 7:00 PM.

ROLL CALL:

Present were members Frank Toth, Vice-Chairman Paul Schumann, Council Liaison Bruce Abens and Chairman James Smolik.

Member Steve Ali was excused.

Also present were Assistant Law Director Toni Morgan, City Engineer Christina Eavenson, Planning and Development Director Kimberly Lieber and Deputy Clerk of Council Tina Wieber.

ELECTION OF OFFICER

Liaison to the Board of Zoning and Building Appeals

Chairman Smolik asked if there were any nominations for the Liaison to the Board of Zoning and Building Appeals.

Moved by Abens and seconded by Schumann to nominate Frank Toth to the position of Liaison to the Board of Zoning and Building Appeals.

A roll call vote was taken and the motion carried.

Yes – 4 No – 0

MINUTES:

Vice-Chairman Schumann asked if the members had a chance to review the minutes of the regular meeting on July 9, 2024. He asked if there were any corrections. Hearing none, the minutes were approved.

CORRESPONDENCE:

Administrative Approvals & Zoning Certificates

1. PPZ2024-0282 White Box Alterations, 35423 Center Ridge Rd
Administrative approval of Planning Commission application for exterior building alterations and site improvements for new business and office space.
2. PPZ2024-0292 Smokin City, LLC, 39257 Center Ridge Rd
Approval of a Certificate of Zoning Compliance for a smoke shop.

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Chairman Smolik asked Director Lieber if she would review the administrative approvals.

Director Lieber explained that there was one Administrative approval for a Planning Commission application and that was for the Pulp project that was in the former bank at the corner of Root Rd and Center Ridge Road. She stated that it was listed as White Box Alterations, but that was the property owner's sphere of work for Pulp and then Pulp came in later with their tenant work. She stated that there was a certificate of zoning compliance for Smokin City, LLC, down on the west end in a retail plaza near Elyria for a smoke shop.

3. Planning Updates

- o Zoning Code Diagnosis
- o Active Transportation Plan
- o Traffic Studies

Director Lieber stated that she wanted to provide a couple Planning updates. She mentioned that, as they were aware, they were underway with the zoning code update and subdivision regulation diagnosis phase of the zoning code review, and that it was coming along well. She said that a draft would be presented to the staff steering committee this month and then she anticipated during the October/November time frame they would be presenting the recommendations to Planning Commission and Council hopefully at a Planning Commission meeting or a joint work session, to ensure that everyone was in agreement with the code updates before they started writing the new text. She discussed the active transportation plan safe routes to school project was coming close to a conclusion on September 24th, which was Tuesday, at 6:00 p.m. at the NRAC Community room and they would be having the third and final public meeting for that project and the consultant would be making a presentation on the priority recommendations for new sidewalks, trails, multi-use paths and other code updates in support of connectivity in North Ridgeville. She stated that that would provide a basis for potential future grant applications for some of those projects. She said that previously she had mentioned that they had two traffic studies that were underway or complete, with one at Route 83, Avon Belden Rd and Bainbridge and then another at the Lorain Rd and Lear Nagel Rd intersection. She explained that they engaged Woolpert, an engineering firm, to evaluate traffic efficiency and safety in those areas as they were two areas of town with high levels of traffic and high levels of accidents. She mentioned that they were looking at ways and counter measures that they could reduce accidents and still promote traffic efficiency. She stated that the Route 83 and Bainbridge study was done and they were evaluating the recommendations and how to secure funding for some of those. She added that they would see a draft later this month for the Lorain Rd and Lear Nagle Rd and then they would be providing the draft to the public for their review and input into those counter measures.

OLD BUSINESS:

NEW BUSINESS:

Century Tavern, 33312 Center Ridge Rd, PPN 07-00-008-114-008

Owner: Thomas Kelly, 33256 Center Ridge Rd, North Ridgeville, OH 44039. Proposal consists of site improvements for the bar/tavern. Property is zoned B-3 Highway Commercial.

Application was read.

Chairman Smolik asked Director Lieber for findings of fact.

Director Lieber stated that the proposal consisted of site improvements for Century Tavern. She explained that the business was last in operation over five years ago and the current owner acquired the property in 2019 and had spent a lot of time and effort in restoring the building since then. She discussed that last year the City and owner had a conversation about vacating a portion of Pleasant Avenue which abutted Century Tavern to the west in order to allow for expansion of the parking lot. She said that they discussed at the time that if the land were vacated and turned into commercial parking, that it would need to follow the requirements of the zoning code. She mentioned that earlier this year, Council did vacate a portion of Pleasant Avenue adjacent to that site, which created an additional .14 acre of commercial property and that the current proposal was to reopen the tavern and to make improvements to include a parking lot and outdoor patio. She stated that there would be a paver patio fenced in on the east side of the building and the plan showed a potential future deck, as well as some accessibility improvements at the front entrance. She discussed that the property was zoned B-3 Highway Commercial District as were the parcels to the north and the east, however, the property to the west was zoned RS-2 General Residence District. She explained that bars and taverns were a conditional use in the B-3 District, so part of Planning Commission's approval should be for a conditional use permit for that use. She stated that the building was legal non-conforming and predated the zoning code by a lot as the building was built in the early 1800's and zoning in North Ridgeville might have been over 100 years away. She discussed that the new parking lot would be a great improvement to the site and would provide defined access and egress, which it was currently lacking, along with striped parking spaces and would provide 18 parking spaces, which would be required based upon the square footage, and included accessible parking, a new sidewalk along the frontage as shown and a new trash enclosure on the rear of the property. She stated that regarding the buffer strip, as the Commission was aware, anywhere a commercial property abutted a residential district, a buffer strip of a minimum of 10 foot of depth shall be provided, which was shown on the plan, just on the portion of the property that did abut that RS-2 district. She stated that the Planning Commission could determine the sufficiency of the landscape plantings to provide screenings in that area. She mentioned that the property owner of Century Tavern was also the property owner of that residential property. She added that they provided fence detail for the new fencing south of the patio and remarked that it was worth mentioning that the intent of the property owner was to consider and propose future rezoning of that vacant parcel to the west to further expand the commercial parking available for Century Tavern but it was not part of their consideration currently and that it would be under separate application but was something that they would expect to see at a future date.

City Engineer Eavenson stated that in the initial review of the proposed site plan, it wasn't clear where the existing property lines were that made up the proposed project site and that it appeared five parcels made up the proposed site but unfortunately that information wasn't on the preliminary plan, so she asked that during final review, that they include that information so that it could be reviewed if any lot splits or consolidations were warranted for the site. She explained that the proposed tavern site was also serviced by an existing sanitary lateral coming off of McKinley and ran along the rear of the property. She stated that the existing water main ran north to south along the vacated portion of Pleasant Avenue. She said that the applicant had been made aware that a water main easement shall be executed and recorded for the City to maintain rights over the water main and the existing tap location shall be reviewed during final engineering, to ensure that additional easements were not warranted. She added that because the site was considered a redevelopment area and encompassed about 4/10ths of an acre, they asked the applicant to address storm water by implementing a water quality measure. She stated that the applicant had also been made aware that the proposed parking lot area shall be a hardscape

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surface with curbing and be in compliance with the new parking chapter 1285. She stated that the applicant had adhered to the sidewalk requirement along Center Ridge Road and was proposing a four-foot-wide sidewalk along the entire frontage.

Chairman Smolik asked if there was a representative for the application.

Thomas Kelly, 33256 Center Ridge Road, North Ridgeville, OH 44039.

Jeff Byers, 4304 Clague Road, North Olmsted, OH, 44070.

Mr. Kelly explained that he owned the auto body shop next to it, Caliber Collision for 40 years and that for many years Century Tavern was a real sore spot for him, and he didn't like the place, but his wife, before she passed away, always wanted to own it. He discussed that eventually once he added onto his building, he had to make a decision, and he bought it, and he has brought it back to life. He stated that he was really proud of what he had accomplished and wanted to do it for the City. He explained that he was always proud of North Ridgeville and really wanted the project to look good. He mentioned that he wasn't a developer but bought it and fell in love with it and saved it and was passing it on to his son-in-law.

Mr. Byers stated that his father-in-law had done a lot of work and he and his wife would be doing all of the leg work for Mr. Kelly and that she had a lot of experience in the service industry and he had a lot of experience being a grunt and together they wanted to make Century Tavern a very inclusive, welcoming bar compared to what it used to be. He mentioned that they would be offering adult beverages as well as non-alcoholic offerings and cocktails for people that didn't drink. He stated that they wanted it to be a place where people could gather with their friends and not to be turned into a punch palace getting into fights at two in the morning. He indicated that they wanted to be a part of the community.

Mr. Kelly stated that his love was the beams, the wood, the cherry, the bricks and stated that he was possessed by the place.

Mr. Byers stated that shown was the future plan and that they did want a deck and to have music and be the Whiskey Island of the west side. He added that they wanted to have bands, families, touch-a-truck events, a place to watch the games and really wanted to be a part of the community. Mr. Byers stated that they were looking to start fresh and create a good reputation for it.

Chairman Smolik asked if anyone from the general audience had any questions or comments for the project.

None were given.

Chairman Smolik asked regarding the deck area, if there would be enough parking to facilitate the needs for the tavern or if it would be more beneficial to have that as additional parking where that deck was proposed.

Mr. Kelly stated that currently they were going to keep it as parking because he owned the house next door. He said that he did have future plans to go further, but for now that was taken off and moved the patio to the side. He stated that there was a garage there that he wanted to remove and turn into parking.

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He commented that currently he didn't think that deck could go up, but it was a non-factor now because they weren't building it.

Chairman Smolik asked the Administration if there was enough parking to meet the needs for the development plan.

Director Lieber stated that as proposed, the optional future deck would drive additional parking but again they had discussed with the owner the potential pursuit of rezoning for the property next door and the expansion of parking, which would then more than account for all of the parking needed for that additional seating space.

Chairman Smolik stated that there was a comment regarding storm water quality and asked if since it was a renovation, was storm volume required for renovations.

City Engineer Eavenson explained that the code currently left it up to the Engineer if the property was over 15,000 square feet and what they typically had been doing was anything that was in a redevelopment situation that was less than an acre, they had been just asking for a water quality measure that would meet the current NPDES permit. She stated that that had been working out well because often they didn't have enough room to really do a full storm water management without a complete rehab burden.

Chairman Smolik stated that perhaps once they acquired that additional land, then that question could come back up.

City Engineer Evanson stated that they could revisit that.

Chairman Smolik stated that they saw some landscaping along the buffering and asked if there was anything proposed for that.

Mr. Byers stated that it was a mixture of Norway and Blue Spruce and there were a few Red Oaks but that basically it would be a raised bed that would be mulched. He explained that the evergreens didn't lose their foliage, so all year round it would be a buffer and would block headlights from the house, but again the owner of Century Tavern did own the house next door.

Vice-Chairman Schumann asked Director Lieber regarding the buffering, if she had a copy of the plan.

Director Lieber stated that it was on the site plan. She explained that looking at the note just to the left of the buffer strip, it actually broke it down.

Chairman Smolik asked if there were any other questions or comments.

None were given.

Motion made by Schumann and seconded by Toth to approve the conditional use permit for Century Tavern, 33312 Center Ridge Rd.

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A roll call vote was taken and the motion carried.

Yes – 4 No – 0

Motion made by Schumann and seconded by Toth to accept the development plan for Century Tavern, subject to the inclusion of lot lines and water easements in the plan and potential lot consolidations.

A roll call vote was taken and the motion carried.

Yes – 4 No – 0

Elmer Ave Street Vacation, PPN 07-00-045-109-007

Applicant: Cynthia Perry, 7313 Dyke Ave, North Ridgeville, OH 44039. Proposal consists of vacating a portion of Elmer Ave. Property is zoned R-1 Residence District.

Application was read.

Chairman Smolik asked Director Lieber to give her findings of fact.

Director Lieber stated that her only comment on the street vacation would be her request that the resulting lot be consolidated with the applicant's parcel so that it didn't remain a separate parcel in the future.

City Engineer Eavenson stated that engineering had requested utilities to be located through OUPS and found no utilities in the proposed Elmer Avenue vacation area. She stated that they also field visited the proposed vacation area and noted a small drainage swale was upon the site and as long as the parties agreed to maintain the existing drainage pattern, engineering had no objections to the vacation.

Cynthia Perry, 7313 Dyke Ave, North Ridgeville, OH 44039.

Mrs. Perry stated that she was requesting the paper street next to her home be vacated. She explained that for over 60 years, her grandfather, husband and herself had maintained the property. She discussed that they did have standing water, so they recently put in an irrigation system, had the ground leveled and had an entire new lawn put in, so that there were no water issues at all. She mentioned that they were looking to put up a privacy fence. She said that she submitted a petition, a scaled description of the paper street, as well as legal documents that she and her neighbor Tim Gibbons had given that were signed and were an understanding that they would each be granted 50 percent of the street upon vacation, requesting that all parcels be unified having the residential and the paper street be one parcel, which they would be willing to do and then also submit a final survey of the combined property.

Chairman Smolik asked if there was anyone from the audience that wished to speak on the matter.

Jessica Kordos, 7344 Dyke Ave, North Ridgeville, OH 44039.

Ms. Kordos stated that she was her neighbor right across the street on Elmer Avenue and they had a similar problem with it. She discussed that in looking at the photo, her house was technically

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encroaching that street. She stated that they had an addition put on prior to her purchasing the home and it was authorized by the City of North Ridgeville but upon looking at her roof line she was encroaching that street. She stated that she seconded her motion to separate the property between the property owners.

Chairman Smolik asked if there were any other questions or comments from the public.

None were given.

Chairman Smolik asked if there were any questions or comments from the Commission.

None were given.

Motion made by Schumann and seconded by Toth to recommend vacating a portion of Elmer Avenue subject to lot consolidation and the applicants agreeing to maintain the existing drainage on the property.

A roll call vote was taken and the motion carried.

Yes – 4 No – 0

Chairman Smolik asked if there were any further business to come before the Commission.

None was given.

ADJOURNMENT:

Chairman Smolik adjourned the meeting at 7:26 PM.

James Smolik
Chairman

Tina Wieber
Deputy Clerk of Council

Tuesday, October 8, 2024
Date Approved

Street Vacations, Narrowing and Name Changes

PETITION AND APPLICANT GUIDE



INITIATION

Street vacations, street narrowing and name changes may be initiated by a written petition of a property owner of a lot in the immediate vicinity of the street to be vacated, narrowed or renamed.

PETITION REQUIREMENTS

Any property owner requesting a street to be vacated, narrowed or renamed shall file the following with the Clerk of Council along with the required \$162.00 fee:

- (a) This petition for the renaming, vacating or narrowing of the street
- (b) An accurate legal description of the street, together with a plat drawn to a scale of one-inch equals 100 feet
- (c) A list of owners, and their addresses, of the property abutting upon the part of the street proposed to be vacated, narrowed or renamed
- (d) Written consent from such abutting property owners, and, if no written consent is obtained, a statement included with the petition to that effect

Any petition complete with required exhibits shall be forwarded to the Law Director to be prepared in ordinance form for introduction to Council.

CONSIDERATION BY PLANNING COMMISSION

Any ordinance proposing a renaming, vacation or narrowing shall first be submitted to the Planning Commission for approval, disapproval or suggestions, and the Planning Commission shall be allowed not less than thirty days for consideration and report.

PUBLIC HEARING

Council shall hold a public hearing before the adoption of the proposed ordinance. In order that opportunity shall be afforded to any person interested to be heard, at least thirty days' notice of any ordinance and of the required public hearing shall be provided in a local newspaper.

ACTION BY COUNCIL

Council may adopt the proposed ordinance by vote of a majority of Council members, provided that the proposed ordinance received approval by the Planning Commission. If the proposed ordinance was disapproved by the Planning Commission, it can only be adopted if it receives the vote of two-thirds of all members of Council.

PETITION REQUEST

<u>Boat Rd</u> Street name	<u>0.2354 of an acre</u> Describe portion/extent if not entire street
☒ Street Vacation	☐ Street Narrowing
☐ Name Change: _____	

PROPERTY OWNER INFORMATION

<u>Wink Bayalton</u> Name(s)	
<u>5640 Broad Blvd N. Ridgeville OH 44039</u> Property owner address	
<u>440 309 5871</u> Property owner phone	<u>winkelectric69@gmail.com</u> Property owner email

PETITION AUTHORIZATION

<u>[Signature]</u> Property owner signature	<u>8/14/24</u> Date
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Staff Meeting Bulletin

Meeting Date: September 24, 2024

Project: Vacate a portion of Root Rd adjacent to PPN 0700021118043, North Ridgeville, OH 44039

Applicant: Wink Royalton, 5640 Broad Blvd, North Ridgeville, OH 44039

Zoning: B-3 Highway Commercial District

In Attendance: Kevin Corcoran, Mayor
Kim Lieber, Planning & Development Director
Christina Eavenson, City Engineer
Toni Morgan, Assistant Law Director
Guy Fursdon, Chief Building Official
John Reese, Fire Chief
Mike Uhnak, Assistant Fire Chief
Kathy Winkel, Owner

Project Introduction

- Kim explained when that when the applicant purchased the property there was discussion with the city regarding the land next to it and potential future use of that area. The owner was not aware it was city property, resulting from the road realignment as part of the Center Ridge Rd widening project. ODOT and the city had not gone through the process of vacating former ROWs and dedicating the newly aligned ROWs. She stated that there were several situations like that around town where the road was now located elsewhere and the original road had not been vacated, so they continued to have these chunks of land and in many cases, they aren't big enough to do anything with nor does the city have any plans to use them.

Staff Comments

- Kim stated that her concern was to protect utilities in the area.
- Christina asked what they intended to do with that piece of property in that area. Kathy stated that they didn't have any specific intention yet but that they thought it would be nice to have to be able to look at options down the road. Christina discussed that she had some concern because there was a water line and there was a large sanitary sewer. She added that she didn't know if that was reflected as she just got an as-built drawing from Fechko, but she thought it might be a little bit different than the original plan. She explained that there was a section of trunk line nearby and that she would have concerns with any kind improvement that they would want to make in that area. She stated that she would want to ensure that they had accessibility there. Kathy stated that they weren't looking to build a building and that there wasn't enough room for a building. Christina stated that she would want to limit any parking to the north side because there were so many utilities in the southern part of the vacation. She stated that there was also a guardrail for the bridge over there and some other amenities as well as the gas line and utility poles.
- Mayor asked if they needed a utility easement.
- Christina stated that they could go about it several ways. She stated that they could maintain the property and just offer an easement over it. She stated that her concern was south of the driveway but that it could be outside of the vacation area. Kim pointed out the aerial version of the vacation plat which shows the area south of the drive is not included. Christina mentioned that she would just want to confirm that there was plenty of maintenance space to get into the sanitary trunk line there.
- Guy stated they could have an easement to access wherever the City needed on it and then let them own the property.

- Kim asked what kind of use restrictions would there be for the area with the potential future water line easement. She commented that they could use the ground if they wanted to do play structures or things like that but asked if they could they do parking or no parking. Christina stated that if they were to put parking in that area and there was a water line issue and they needed to get into it, the problem would then be who would repair the parking lot and typically it would be the owner. She stated that there would be no vertical, no light foundations or bollards or posts within that area. Kathy asked if that was just where the water line was, and Christina stated that was correct.
- Toni asked if Christina was recommending vacation of the total area or just a certain portion and Christina stated that she wanted to confirm the sanitary sewer was well outside of that southern limit and she would need time to review that.
- Christina stated that she did have some draft language on the water line easement that she could give them that they had used previously. Kim asked if that needed to be a separate piece of legislation to accept the easement. Christina stated that she thought they did it in conjunction with and was just a condition of the approval and then the easement would need to be recorded. She explained that the city did not receive any record drawings with the water line for the Center Ridge Road widening.
- Kim explained that a condition of approval would be placing an easement on the water line that would limit it to green space or parking, but no vertical and then if the City needed to get in there for any reason, the maintenance would fall back on the property owner to repair and then she would verify that the vacated area as shown did not interfere with access to the sanitary sewer and if it did, then that boundary line might be adjusted a little bit.
- Chief Reese stated that it was a brand-new water line there, which was a positive.
- Kathy asked if she needed to go back to Bramhall and Christina explained that an exhibit would be nice to supplement the language of the easement, but she could give them an example of what was done previously.
- Kim stated that Christina would take a look at that sewer location and then send Kathy an example of an easement to pass along to Bramhall.
- Mayor stated that they would talk to Brian O'Grady to see if they could identify the location of the water line.

Next Steps

- The applicant will provide updated plans prior to the Planning Commission meeting on October 8, 2024.

**Root Road Vacation
August 2024**

**Legal Description
0.2354 of an acre**

Situated in the City of North Ridgeville, County of Lorain, State of Ohio, and known as being part of Original Ridgeville Township Lot Number 21 and further known as a portion of Root Road, being further described as follows:

Commencing at a MAG nail set at the intersection of the Centerline of Root Road (width varies) with the centerline of Center Ridge Road (State Route 113) (U.S. Route 20) (width varies);

Thence, along the centerline of Center Ridge Road, along the arc of a curve which deflects to the right, 119.20 feet to a point, said curve having a radius of 3149.72 feet, a delta angle of $02^{\circ} 10' 06''$, a tangent of 59.61 feet and a chord of 119.19 feet which bears South $67^{\circ} 45' 25''$ West;

Thence, leaving said centerline, South $21^{\circ} 09' 32''$ East, a distance of 49.50 feet to the southerly right of way of Center Ridge Road, said point being 0.23 feet southerly and 0.10 feet westerly of an iron pin with cap stamped "FECKO" found and being the **True Place of Beginning** of land herein described;

Course 1: Thence, leaving said southerly right of way, **along the arc of a curve which deflects to the left, 37.77 feet** to an iron pin set, said curve having a radius of 3199.22 feet, a delta angle of $00^{\circ} 40' 35''$, a tangent of 18.88 feet and a chord of 37.77 feet which bears North $68^{\circ} 30' 11''$ East;

Course 2: Thence, **along the arc of a curve which deflects to the right, 37.94 feet** to an iron pin set, said curve having a radius of 21.00 feet, a delta angle of $103^{\circ} 31' 15''$, a tangent of 26.65 feet and a chord of 32.99 feet which bears South $60^{\circ} 04' 29''$ East;

Course 3: Thence **South $08^{\circ} 18' 52''$ East, a distance of 15.16 feet** to an iron pin set;

Course 4: Thence, **along the arc of a curve which deflects to the right, 157.45 feet** to an iron pin set, said curve having a radius of 457.67 feet, a delta angle of $19^{\circ} 42' 39''$, a tangent of 79.51 feet and a chord of 156.67 feet which bears South $01^{\circ} 32' 28''$ West;

**Root Road Vacation
August 2024**

**Legal Description
0.2354 of an acre**

Course 5: Thence **South 82° 43' 56" West, a distance of 48.22 feet** to an iron pin set in the westerly right of way of Root Road;

Thence, along the westerly right of way of Root Road the following two courses;

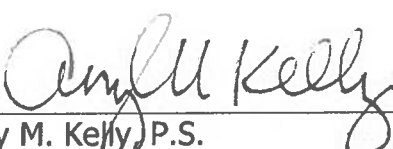
Course 6: Thence **North 00° 08' 21" West, a distance of 171.00 feet** to a point;

Course 7: Thence **North 55° 16' 18" West, a distance of 16.38 feet** to the **True Place of Beginning**.

Containing within said bounds **0.2354 of an acre** of land, be the same more or less, but subject to all legal highways and easements of record as surveyed by Amy M. Kelly, P.S. 8469 for Bramhall Engineering & Surveying Company in May, 2024.

The basis of bearings is the Ohio State Plane, North Zone NAD83(2011) Grid North.

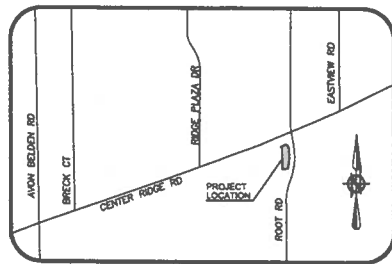
Iron pins set are 5/8-inch x 30 inches with yellow with cap stamped "BRAMHALL ENG. & SURV".


Amy M. Kelly, P.S.
Registered Ohio Surveyor No. 8469


8/12/2024
Date

ROOT ROAD VACATION EXHIBIT

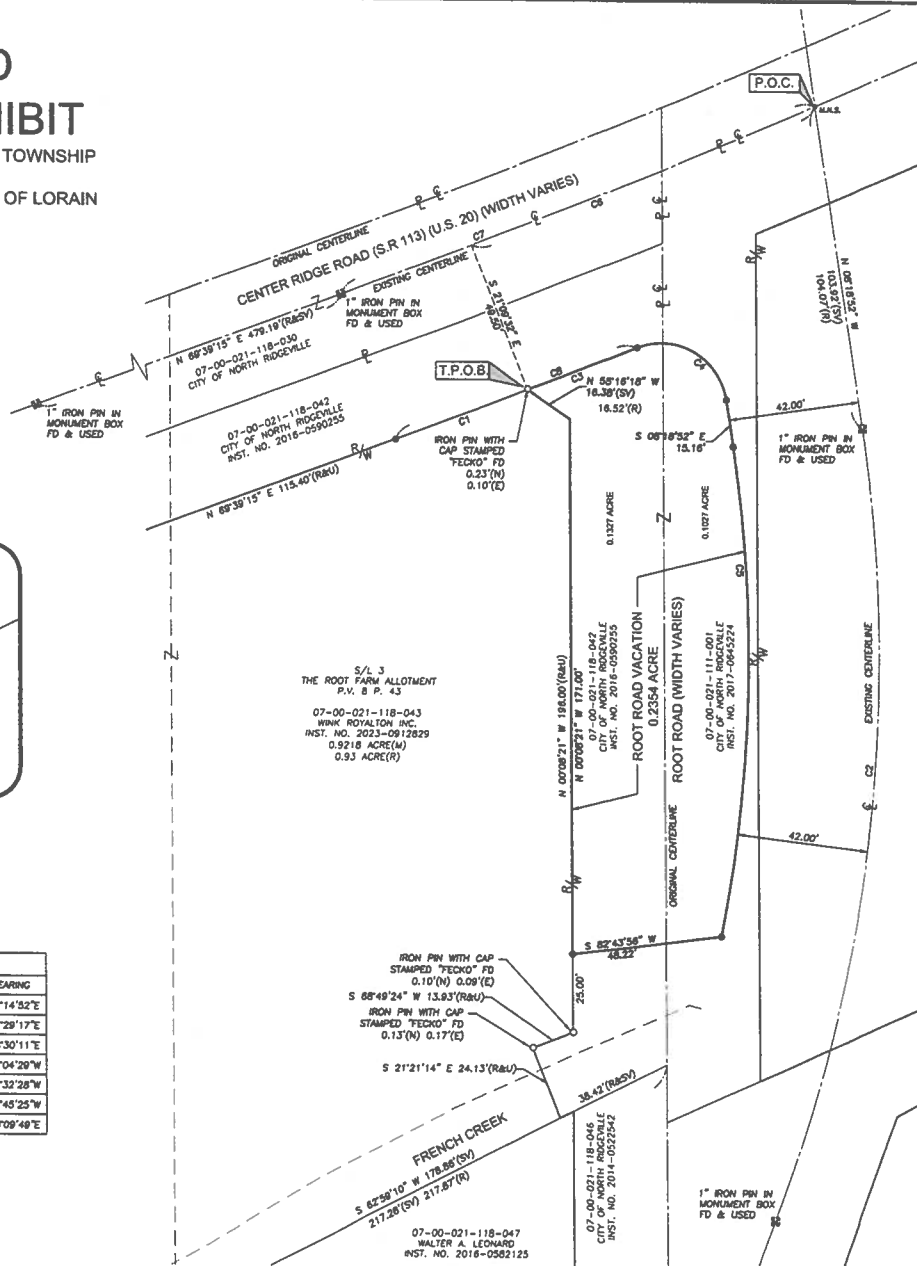
BEING PART OF ORIGINAL RIDGEVILLE TOWNSHIP
LOT NUMBER 21
CITY OF NORTH RIDGEVILLE, COUNTY OF LORAIN
STATE OF OHIO



LOCATION MAP
-NOT TO SCALE-

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	BEARING
C1	3199.22' (R&L)	43.40' (R&L)	00°48'47"	22.70'	43.40'	N89°14'32"E
C2	499.67' (R&L)	258.17' (R&L)	29°38'18"	132.04'	255.32'	N06°29'17"E
C3	3199.22'	37.77'	00°40'35"	18.88'	37.77'	N68°30'11"E
C4	21.00'	37.94'	103°31'15"	25.66'	32.99'	N80°04'29"W
C5	457.87'	157.45'	19°42'39"	79.51'	156.67'	S01°32'28"W
C6	3148.72'	119.20'	02°10'08"	59.61'	119.19'	S87°45'25"W
C7	3148.72'	163.90' (R&SV)	02°58'53"	81.97'	163.88'	N68°09'49"E

DATE	BY	DESCRIPTION
05/05/22	AMK	FINAL TO CITY



LEGEND

- 5/8" x 30" IRON REBAR WITH CAP STAMPED "BRAMHALL ENG. & SURV." SET
- MAG NAIL SET
- IRON PIN/PIPE FOUND AS INDICATED
- MONUMENT BOX FOUND
- PROPERTY LINE
- R/W RIGHT OF WAY
- CENTERLINE
- FD FOUND
- INST. INSTRUMENT
- (M) MEASURED INFORMATION
- NO. NUMBER
- P.O.C. POINT OF COMMENCEMENT
- (R) RECORD
- (SV) SURVEYED INFORMATION
- T.P.O.B. TRUE PLACE OF BEGINNING
- (U) USED INFORMATION
- (N) NORTH
- (S) SOUTH
- (E) EAST
- (W) WEST

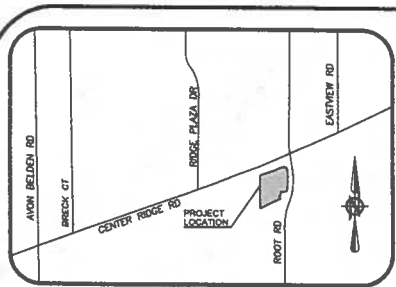


GRAPHIC SCALE
0 20 40
(IN FEET)
SCALE: 1" = 20'

NOTES:

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- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY NOT REFLECT ALL EASEMENTS ON SUBJECT PARCELS. A SEARCH OF EASEMENTS WAS NOT CONDUCTED BY BRAMHALL ENGINEERING & SURVEYING COMPANY.
- PERTINENT RECORDS ARE AS SHOWN HEREON AND INCLUDE LORAIN COUNTY TAX MAPS AND SURVEY RECORDS AND LOR-20-22.13 RIGHT OF WAY PLANS.
- ALL UTILITIES WITHIN VACATION AREA TO REMAIN.

DRAWN BY: MAM	BRAMHALL ENGINEERING AND SURVEYING COMPANY 801 MOORE ROAD AVON, OHIO 44011 (440) 934 - 7878 (440) 934 - 7879 FAX	SHEET 1 OF 1
CHECKED BY: AMK		JOB NO. 24-6166



LOCATION MAP
NOT TO SCALE.

- LEGEND**
- 5/8" x 30" IRON REBAR WITH CAP STAMPED "BRAMHALL ENG. & SURV." SET
 - * M.A.L. MAG NAIL SET
 - IRON PIN/PIPE FOUND AS INDICATED
 - MONUMENT BOX FOUND
 - P- PROPERTY LINE
 - R/W- RIGHT OF WAY
 - C- CENTERLINE
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CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	BEARING
C1	3199.22'	43.40' (R&U)	00°48'47"	22.70'	43.40'	N89°14'32"E
C2	499.87'	256.17' (R&U)	29°36'18"	132.04'	255.32'	N08°29'17"E
C3	3199.22'	37.77'	00°40'35"	18.88'	37.77'	N88°30'11"E
C4	21.00'	37.94'	103°31'15"	26.65'	32.99'	S80°04'29"E
C5	457.87'	157.45'	18°42'39"	79.51'	156.67'	S01°32'28"W
C6	3149.72'	119.20'	02°10'06"	59.61'	119.19'	S87°45'25"W
C7	3149.72'	163.90' (R&SV)	02°58'53"	81.97'	163.88'	N88°09'49"E
C8	3199.22'	83.17'	01°29'22"	41.50'	83.17'	N88°54'34"E

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS THE RESULT OF AN ON-THE-GROUND SURVEY THAT HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION AND THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH CHAPTER 4733-37 (STANDARDS FOR BOUNDARY SURVEYS) OF THE OHIO ADMINISTRATIVE CODE.

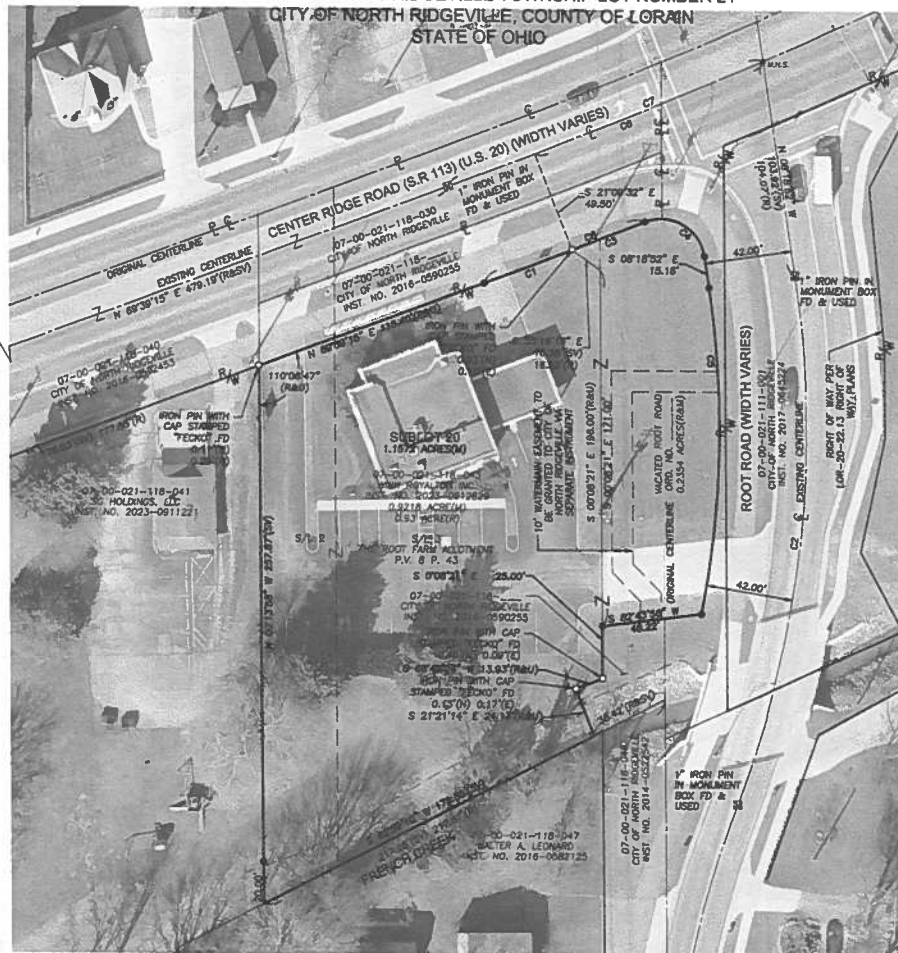
AMY M. KELLY, P.S.
REGISTERED OHIO SURVEYOR NO. 8469



DATE	BY	REVISION

ROOT FARM ALLOTMENT NO. 2 BEING A RE-SUBDIVISION OF ALL OF SUBLOT 3 AND A PORTION OF SUBLOT 2 IN ROOT FARM ALLOTMENT AS RECORDED IN VOLUME 8, PAGE 43 OF THE LORAIN COUNTY PLAT RECORDS AND A PORTION OF VACATED ROOT ROAD AND FURTHER KNOWN AS PART OF ORIGINAL RIDGEVILLE TOWNSHIP LOT NUMBER 21

CITY OF NORTH RIDGEVILLE, COUNTY OF LORAIN
STATE OF OHIO



NOTES:

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GRAPHIC SCALE
0 30 60
15
(IN FEET)
SCALE: 1" = 30'

DRAWN BY:
MAM
CHECKED BY:
AMK

OWNER'S CERTIFICATE

SITUATED IN THE CITY OF NORTH RIDGEVILLE, COUNTY OF LORAIN, STATE OF OHIO AND KNOWN AS BEING A RE-SUBDIVISION OF ALL OF SUBLOT 3 AND A PORTION OF SUBLOT 2 IN ROOT FARM ALLOTMENT AS RECORDED IN VOLUME 8, PAGE 43 OF THE LORAIN COUNTY PLAT RECORDS AND A PORTION OF VACATED ROOT ROAD AND FURTHER KNOWN AS PART OF ORIGINAL RIDGEVILLE TOWNSHIP LOT NUMBER 21, CONTAINING 1.1572 ACRES OF LAND, BUT SUBJECT TO ALL LEGAL HIGHWAYS AND EASEMENTS OF RECORD

THE UNDERSIGNED HEREBY CERTIFIES THAT THE ATTACHED PLAT REPRESENTS "ROOT FARM ALLOTMENT NO. 2" BEING SUBLOT 20 INCLUSIVE, AND DEDICATES TO PUBLIC USE, THE PROPOSED RIGHT-OF-WAY SHOWN HEREON, AND DOES HEREBY ACKNOWLEDGE THIS PLAT OF SALE.

THE UNDERSIGNED FURTHER AGREES THAT ANY USE OF IMPROVEMENTS MADE ON THIS LAND SHALL BE IN CONFORMITY WITH ALL EXISTING PLATING, ZONING, HEALTH OF OTHER LAWFUL RULES OR REGULATIONS INCLUDING THE APPLICABLE OFF-STREET LOADING AND PARKING REQUIREMENTS OF THE CITY OF NORTH RIDGEVILLE FOR THE BENEFIT OF HIMSELF (THEMSELVES) AND ALL OTHER SUBSEQUENT PARTIES TAKING TITLE FROM, UNDER OR THROUGH THE UNDERSIGNED.

THE DIMENSIONS SHOWN ON THE PLAT ARE IN FEE AND DECIMAL PARTS THEREOF.

WINK ROTALTON, INC.

BY: _____

TITLE: _____

NOTARIAL SEAL

STATE OF OHIO
COUNTY OF _____
ON THIS _____ DAY OF _____, 20____, BEFORE ME PERSONALLY APPEAR _____, THE ABOVE SIGNED OFFICER OF WINK ROTALTON, INC., WHO ACKNOWLEDGED THE SIGNING OF THIS PLAT TO BE THEIR FREE ACT AND DEED FOR THE PURPOSES HEREON MENTIONED.

WITNESS MY HAND AND SEAL THE DAY AND YEAR FIRST ABOVE WRITTEN.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

CITY ENGINEER

APPROVED THIS _____ DAY OF _____, 20____

CITY ENGINEER - CHRISTINA SAVENSON, P.E. _____ DATE _____

PLANNING COMMISSION

WE HEREBY APPROVE AND ACCEPT THIS PLAT ACCORDING TO THE SUBDIVISION REGULATIONS FOR THE CITY OF NORTH RIDGEVILLE, OHIO THIS _____ DAY OF _____, 20____

SECRETARY (OR RESPONSIBLE OFFICIAL) CITY PLANNING COMMISSION _____ DATE _____

CITY COUNCIL

THIS IS TO CERTIFY THAT THIS PLAT OF "ROOT FARM ALLOTMENT NO. 2" IS HEREBY APPROVED AND THE RIGHT-OF-WAY AS SHOWN HEREON IS ACCEPTED BY ORDINANCE NO. _____

THIS _____ DAY OF _____, 20____

BY: _____
CLERK OF COUNCIL-NICHOLAS CERANI _____ DATE _____

BY: _____
COUNCIL PRESIDENT-JASON JACOBS _____ DATE _____

LAW DIRECTOR'S CERTIFICATION

APPROVED THIS _____ DAY OF _____, 20____

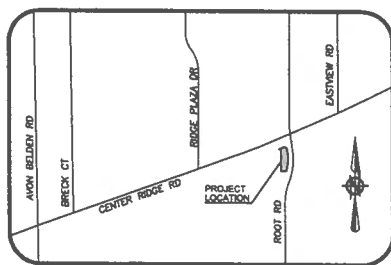
CITY OF NORTH RIDGEVILLE LAW DIRECTOR-BRIAN MORRISY _____ DATE _____

BRAMHALL
ENGINEERING AND SURVEYING COMPANY
801 MOORE ROAD AVON, OHIO 44011
(440) 934 - 7878 (440) 934 - 7879 FAX

SHEET
1 of 1
JOB NO.
24-6166

ROOT ROAD VACATION EXHIBIT

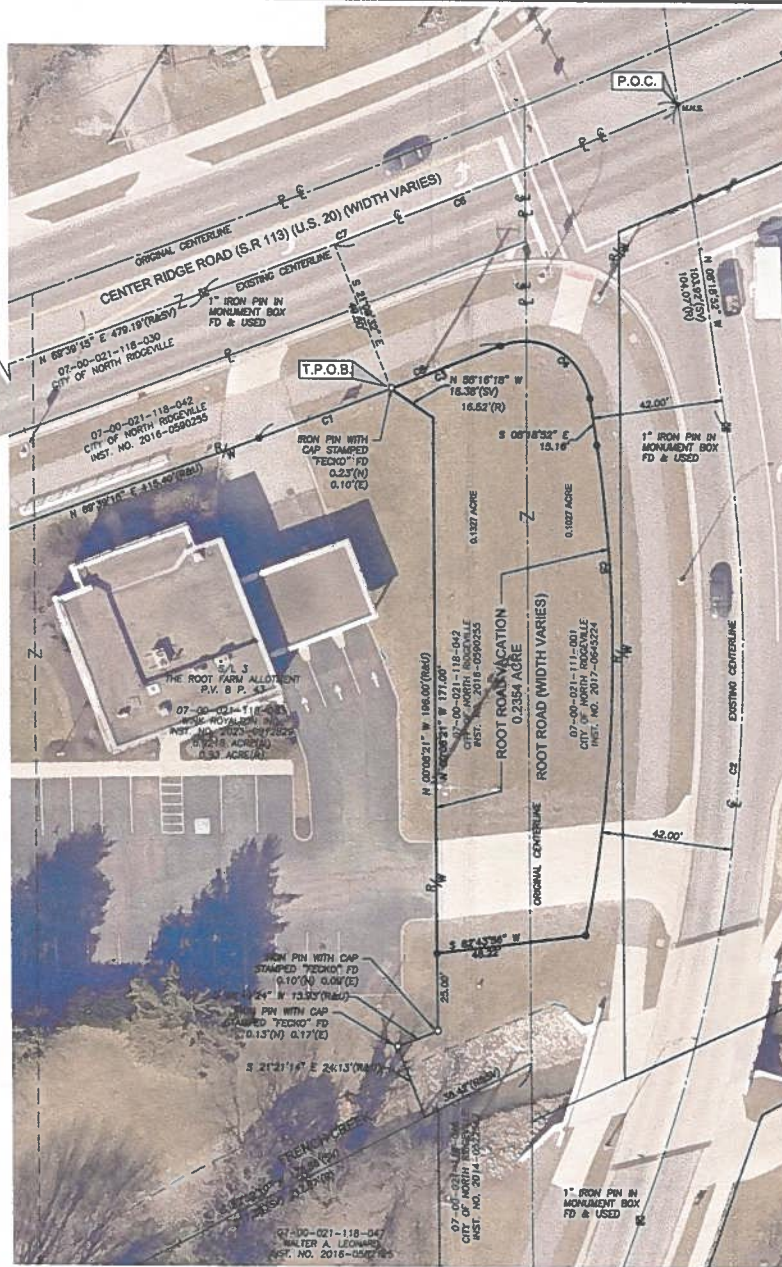
BEING PART OF ORIGINAL RIDGEVILLE TOWNSHIP
LOT NUMBER 21
CITY OF NORTH RIDGEVILLE, COUNTY OF LORAIN
STATE OF OHIO



LOCATION MAP
-NOT TO SCALE-

CURVE TABLE						
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C7	3148.72'	183.90' (R&S)	02°58'33"	81.87'	183.88'	N68°09'49"E

DATE	BY	REVISION
09-25-2024	AMK	ISSUED TO CITY



- LEGEND
- 3/8" x 30" IRON REBAR WITH CAP STAMPED "BRAMHALL ENG. & SURV." SET
 - * MAG NAIL SET
 - IRON PIN/PIPE FOUND AS INDICATED
 - MONUMENT BOX FOUND
 - P PROPERTY LINE
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- NOTES:
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DRAWN BY:
MAM

CHECKED BY:
AMK

BRAMHALL
ENGINEERING AND SURVEYING COMPANY
801 MOORE ROAD AVON, OHIO 44011
(440) 934 - 7878 (440) 934 - 7879 FAX

SHEET
1 of 1

JOB NO.
24-6166

DATE:	<u>August 19, 2024</u>	1 ST READING:	<u>August 19, 2024</u>
INTRODUCED BY:	<u>Mayor Corcoran</u>	2 ND READING:	<u></u>
REFERRED BY:	<u></u>	3 RD READING:	<u></u>
		ADOPTED:	<u></u>
		EFFECTIVE:	<u></u>

Referred to Planning Commission on 09-10-2024

ORDINANCE NO. 2024-94

AN ORDINANCE VACATING A PORTION OF ROOT ROAD.

WHEREAS, the City of North Ridgeville (the City) may have rights and/or entitlements to Root Road to the extent that it is a public right-of-way; and

WHEREAS, the City has received a petition from Wink Royalton requesting the vacation of a portion of Root Road (width varies) as described in the petition and attached exhibits; and

WHEREAS, the vacation of said portion of Root Road is being requested to obtain ownership; and

WHEREAS, the right-of-way will be vacated and deeded to Wink Royalton as a separate parcel or attached to the adjacent parcels where they abut; and

WHEREAS, the vacation will not result in any adverse impacts to traffic patterns, local access or operations, or the City's street system; and

WHEREAS, pursuant to a properly published notice, a public hearing was held before City Council on _____, at which time Council provided the opportunity to hear from the public regarding the proposed vacation.

NOW THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF NORTH RIDGEVILLE, LORAIN COUNTY, OHIO, THAT:

SECTION 1. Approximately 0.2354 acres of Root Road land, as shown on Exhibits A and B attached hereto and incorporated herein, shall be vacated and closed as a public right-of-way.

SECTION 2. In this instance, there are no abutting property owners.

SECTION 3. Identified abutting property owners shall receive appropriate notification and opportunity to be heard both at Planning Commission and at City Council. Council notification and Planning Commission notification shall follow customary notification requirements for like matters.

SECTION 4. The City Engineer is hereby authorized to prepare and submit any requested data to effect this transfer to the County Recorder, Engineer, or Auditor if requested. The Clerk of Council is hereby directed to file a certified copy of this Ordinance, once passed, for recording in the official records of the County Recorder pursuant to O.R.C. Section 723.04.

SECTION 5. When the vacation is complete, each abutting property owner may record the owner's additional land with Lorain County. The County may require a certified copy of the vacation ordinance and a drawing of metes and bounds survey and legal description of the vacation area accreted to each owner. The metes and bounds drawing, the legal description, and any recording fees are the responsibility of each abutting property owner.

SECTION 6. It is found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were conducted in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in such formal action were in meetings open to the public in accordance with all legal requirements, including Section 121.22 of the Ohio Revised Code.

SECTION 7. This Ordinance shall take effect and be in full force from and after the earliest period allowed by law.

PASSED:

Jason R. Jacobs
PRESIDENT OF COUNCIL

ATTEST :

Nicholas Ciofani
CLERK OF COUNCIL

Kevin Corcoran
MAYOR

Planning Commission Application



SUBMITTAL INSTRUCTIONS AND PROCEDURES

- Plan reviews will be carried out according to the processes described in the City's Zoning Code.
- **Pre-Application.** Prior to making application, applicants are recommended to contact the city to discuss their development project. City staff will outline the review process and provide a checklist of required submittals.
 - **Application Submittal.** Following the pre-application meeting, the applicant shall submit this completed application, fee and ten (10) sets of all required exhibits. All submissions shall be made in hard copy to the Building Department. Plans shall be collated, folded and easily legible.
 - **Staff Review.** The applicant shall attend a staff review meeting and may be required to submit additional information and/or revised plans based on staff input.
 - **Variances.** Where zoning variances are sought by the applicant, review by the Board of Zoning and Building Appeals will be necessary prior to consideration by the Planning Commission, requiring a separate application.
 - **Decision or Referral.** Following staff review, complete submittals for Administrative Review projects may be considered for approval. For Council Review projects, complete submittals shall be referred to the next available Planning Commission meeting, which are held the second Tuesday of each month.

PROJECT INFORMATION

35777 Center Ridge Road North Ridgeville, Ohio 44039

Location address

070002111-7078 and -7076 (consolidation in process)

Parcel number

R-1

Current zoning

Parish Hall Addition

Proposed project

APPLICANT/AGENT INFORMATION

Patrick Hyland, Senior Project Director, Perspectus

Name/Company

1300 Euclid Avenue #910 Cleveland, Ohio 44114

Applicant address

440-785-2415

Applicant phone

phyland@perspectus.com

Applicant email

PROPERTY OWNER INFORMATION

Saint Peter Catholic Church / Rev. Robert Franco, Pastor

Name/Company

3577 Center Ridge Road North Ridgeville, Ohio

Property owner address

440-327-2201

Property owner phone

franco@stpetermr.org

Property owner email

AUTHORIZATION AND ACKNOWLEDGEMENT

Patrick Hyland
Applicant signature

Robert J. Franco
Property owner signature

I hereby authorize the City of North Ridgeville, including Planning Commission members, to view the premises and consent to their entry onto the property for the purpose of observing site conditions related to review of my application.

OFFICE	PPZ No. PPZ 2024-0298	Date Received SEP 13 2024	ACTION
	Planning Fee Paid 150.00	Engineering Fee Paid 2560	

Planning Review

September 30, 2024

Project: St. Peter Parish Hall
Location: 35777 Center Ridge Road
PPNs: 07-00-021-117-078, -076
District: R-1 Residence District

Project Summary:

The project site is on the south side of Center Ridge Road just east of Avon Belden Road. The subject properties are all zoned R-1 Residence District, as are the adjacent parcels on the south side of Center Ridge Road. Adjacent property on the north side of Center Ridge Road is zoned B-3 Highway Commercial District.

The proposal consists of the demolition of the existing rectory, barn and trailer on the St. Peter campus and the construction of a new parish hall which will be connected to the west of the existing church. Churches and other semi-public uses are permitted in the R-1 Residence District.

The architecture of the parish hall will complement the church. The new building will be constructed of red brick masonry and cast stone with a combination of flat roofs and asphalt shingled sloped roofs. The proposed parish hall will be used for church activities and events and will not be rentable to the general public.

Buildings in the R-1 District must be set back 50 feet from the ROW. In this case, the existing church, rectory and school buildings all encroach into the required front setback as a result of the Center Ridge Road widening project. The addition sits slightly in front of the existing church façade, which is not perfectly parallel to the roadway. The addition will be set back 24'6", closer than the church, which is set back 30'7" not including the projection of the stairs and accessible ramp. A front setback variance is therefore required. While the strict height limit of the district does not apply to churches, the building peak is 28 feet above finished grade which is within the 35-foot height limit regardless.

The parking lot will be redesigned for improved traffic flow and safety. Accessible parking spaces will be located closest to the entrance to the parish hall, which will provide an accessible route into the church. A walk has also been added from the multi-use path along Center Ridge Road to the front of the parish hall to improve pedestrian accessibility. The westernmost curb cut will be reconfigured for improved geometry and in order to accommodate right-out and left-out turn lanes. The other two curb cuts will remain and be designated as one-way, exit-only. A truck turn exhibit was provided to show the route of a fire truck through the site.

A total of 228 parking spaces are provided. According to the applicant's calculations, total parking demand for the site is 299 spaces. The applicant requests Planning Commission to consider that the buildings on the site share parking and that not all buildings are occupied simultaneously or at

maximum capacity. Planning Commission may determine the sufficiency of the proposed parking for the various buildings and uses on the site.

The proposed lighting plan includes new building mounted light fixtures primarily focused on pedestrian areas at building entrances. Lighting levels and fixtures are code compliant. Dumpster enclosures are provided as required. They will be 6 feet high in white vinyl.

The rear of the property including a portion of parking lot is within the 100-year floodplain. New stormwater management basins have been provided, which are within this area. A grass filter strip has been added along the edge of pavement along the ditch to filter any salts, oils or gases that may drain off the parking lot.

A landscape plan has not been provided to date. The applicant has indicated that a landscaping plan will be submitted at a later time through a separate contract. The Planning Commission should make the administrative review and approval of the landscape plan a condition of its approval.

Recommendations:

- Allow for shared parking between campus buildings to meet required parking count.
- Condition any approval of the development plan on the applicant obtaining a variance for front building setback from the BZBA and the future submission and administrative approval of a landscape plan.

Planning Commission Comment Sheet



PROJECT INFORMATION

St. Peter Parish Hall Addition

Proposed project

35777 Center Ridge Rd

Location

October 8, 2024

Meeting date

07-00-021-117-078, -076

Parcel number

September 26, 2024

Comments due

RECOMMENDATIONS

Type comments here. Attach additional sheets as necessary.

No comments at this time.

SUBMITTED BY

Guy M. Fursdon

Administrative officer signature

Chief Building Official

Title

Planning Commission Bylaws Article V Section 2 – Administrative Review. All applications including those plans and maps submitted to the Commission shall be referred to Administrative Officers. Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Secretary not later than ten (10) calendar days after receipt. Administrative Officers who have not acted within the allotted time shall be deemed to have concurred with plans as submitted.

Planning Commission Comment Sheet



PROJECT INFORMATION

St. Peter Parish Hall Addition

Proposed project

35777 Center Ridge Rd

Location

October 8, 2024

Meeting date

07-00-021-117-078, -076

Parcel number

September 26, 2024

Comments due

RECOMMENDATIONS

Please contact Asst. Chief Mike Uhnak of the North Ridgeville Fire Department to discuss the following code requirements of the Ohio Fire Code and Ch. 16 Fire Prevention of the Codified Ordinance of North Ridgeville.

North Ridgeville Fire Department

Fire Prevention

(440)653-6362

- 1- OFC Rule 5 Fire Service Features-
Section 506: Fire Department Lock Box.
Section 503: Fire Access Roads.
Section 507: Fire Protection Water Supply
- 2- OFC Rule 33 Fire Safety During Construction
- 3- NFPA 241 Standards for Safeguarding Construction Operations.
- 4- Chapter 16 Fire Prevention NR Ordinance.
1640.01: Fire Hydrants

Respectfully

Asst. Chief Mike Uhnak

muhnak@nridgeville.org

(440)653-6362

SUBMITTED BY

Mike Uhnak

Administrative officer signature

Assistant Fire Chief

Title

Planning Commission Bylaws Article V Section 2 – Administrative Review. All applications including those plans and maps submitted to the Commission shall be referred to Administrative Officers. Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Secretary not later than ten (10) calendar days after receipt. Administrative Officers who have not acted within the allotted time shall be deemed to have concurred with plans as submitted.

Staff Meeting Bulletin

Meeting Date: September 24, 2024

Project: Parish Hall addition and site improvements at St. Peter's Parish Hall, 35777, Center Ridge Rd, North Ridgeville, OH 44039

Applicant: Patrick Hyland, Perspectus, 1300 Euclid Ave, #910, Cleveland, OH 44114

Zoning: R-1 Residential District

In Attendance: Kevin Corcoran, Mayor
Kim Lieber, Planning & Development Director
Christina Eavenson, City Engineer
Toni Morgan, Assistant Law Director
Guy Fursdon, Chief Building Official
John Reese, Fire Chief
Mike Uhnak, Assistant Fire Chief
Father Robert Franco, St. Peter's Church
Patrick Hyland, Perspectus
Maura Flaherty, Perspectus
John Lallish, Osborne Engineering

Project Introduction

- Patrick stated that the addition was to the existing 1920's St. Peter Church and that the site where they were building it would be on the rectory site, which would be demolished. The addition is 8,000 square feet, and the main function would be an event center. The event space was designed to handle a maximum of 200 people and would be subdividable into two 100 seat pads depending on their needs. He explained that that kind of space was absent on campus and stated that they had a gym and a few small conference rooms, but the space would allow them to do their fish fries and community meals. He added that they wouldn't be renting it out and there would not be weddings and would be used only for parish activities. He discussed that there would be full-service kitchen, restrooms and that the addition would have an elevator. He explained that everyone parked behind the church as there wasn't any parking out front, so most people entered from the south. He said that there were some parking spaces to the north where people could get in, which was where the one accessible ramp was. He mentioned that the elevator would connect the basement of the church, the sanctuary of the church and the addition, which would improve accessibility. There would be a covered drop off at the addition entrance. He stated that the addition would be brick block, bearing wall construction, steel with brick detailing similar to the church. He explained that since the maintenance building has been completed, the church demolished the barn building. The existing education trailer would be removed from the site. He added that they were not redoing the whole parking lot, but they were just resealing it. He mentioned that to help with circulation, they were proposing widening the western curb cut because it was a tough lefthand turn and there was no turning lane to get out and traffic tended to stack up. He stated that with the restriping of the parking lot in an east/west direction, there would be easier flow through the site and indicated that the existing curb cuts would be exit only. He discussed that regarding stormwater, they were proposing at the rear of the gym, between the gym and the creek putting a bioswale there to capture the water that sheets off and directs toward the creek.

Staff Comments

- Mike asked if they would be doing after funeral luncheons there. Pat stated that they would do things like that but not wedding receptions or anything like that.

- Christina asked if the parking would be ADA accessible and Pat stated that was correct with eased curbs to get in and out of the building.
- Kim commented that they talked about parking and how the code wanted them to add up demand for every building as if they were going to be used at the same time, but they discussed that that didn't seem appropriate because they would not be having all of the buildings in use at the same time. She stated that for the parking count she thought they would need to have calculated 300 spaces or so. Pat stated that if everything was in use at mass capacity it would be 299 spaces. Kim stated that they had 228 or 229. She explained that Planning Commission would be asked for approval for shared parking or to alter to required parking count because of not having all buildings in use at the same time. Pat stated that he played out the different scenarios of a typical school day and a Sunday and in none of those scenarios, even on Christmas Eve, did they need the 229 spaces.
- Chief Reese asked about the fire separation of the building and sprinklers. Pat stated that the addition would be fully sprinkler and there would be a fire barrier between the existing and the addition. He explained that they included a fire access diagram all around the building as well as the truck turn. He stated that they included the hydrant the Fire Department asked for.
- Mike asked if the riser room was in the front. Pat stated it would be in that corner. Mike asked if the FDC would be obstructed. Pat stated that they would keep it clear. He stated that the FDC was more on that east façade, but they could flop those rooms back if he wanted to get the FDC closer to the corner on the west façade. Mike commented that that would be great. He stated they would make him put signage up and the FDC wouldn't be on the front of the building and the hydrant was over there as well. He remarked that it would be ideal if they could get it on that side.
- Kim stated that she didn't see a landscaping plan. Pat stated that they didn't have a landscape plan, but they had areas where they wanted to plant grass and areas that would be landscaped, but they didn't have a landscape plan. Kim stated that if the landscape plan was not part of that package, they would have to submit later for approval and would be a condition of approval, the resubmittal of a landscape plan. Pat stated he understood.
- Kim said that with the road widening every single building on the site would be nonconforming in terms of front setback but the addition was not a new building but was an addition to, and it did move it closer to the road than the existing building and increased the nonconforming condition. They would need to file for a variance for that but could still go to Planning Commission first.
- Kim asked if they could clarify regarding the photometric if that was all new lighting or if any of it was existing. Pat stated that there was some existing pole lighting along the creek that illuminated the parking lots, and they were keeping those. He discussed that the photometric plans that she saw were building mounted lighting that would illuminate egress and entry points. Kim explained that all of their calculations were higher than what the code allowed. She explained that the allowed max average was 5-foot candle for pedestrian entrances and max any point was 12.5. Pat said they could lower lighting levels for compliance.
- Christina asked if they had any concerns with maintaining a section of the existing sanitary lateral and asked how old that section was. John stated that he didn't think they had records on the age of it but it was something that they could look into. Christina mentioned that they should consider during their construction maybe CCTV, just to ensure the integrity was ok before they connected a new line to it. She asked regarding their stormwater, the main detention area, what was the drainage into that. John stated that they were trying to utilize that green space behind that area to use that for stormwater retention and for that pond, it would be serving all of the downspout and collection area for all of the building there and there was some storm drainage that would tie into that pond and would continue with an outlet structure, have an outlet pipe there. He stated that there was a comment about the curb line along the back but currently there was no curb, so they figured why block off that water that was already sheet flowing into the creek over a larger area and kind of pick it up with a catch basin and have it point discharge but why not keep it as that existing condition where it did just sheet flow over the whole area. Christina asked if the whole parking lot sheeted that way. John stated that everything went to the south. She asked if there was any greenspace. John

pointed to the green spaces on the drawing. Christina asked if they were already limited on the drive aisle on the south as far as width and asked if they had looked at the new parking code. Pat stated that the parking spaces were all 24-foot-wide aisle and that was why there was a weird angle because they couldn't fit anymore there because of the aisle width. Christina asked if there was any chance that they could add some more green space on that south side and the reason she was asking was because if it did indeed sheet flow all the way to the south, just to capture some of the salts to prevent them from going into the creek. John stated that they would take a look at that.

- Kim asked if the sign would be relocated. Father Franco stated that there had already been an application to the City to move that sign in front of the school.
- Kim discussed that they had a sidewalk that came out to the multi-use path there and asked if they were providing any other connectivity or if they would find it desirable to provide any connectivity in from that area. She stated that it might be nice for people to have that access other than walking or biking with vehicles via the driveway. Father Franco stated that they would consider that.
- Mike asked about the Knox box location, he mentioned that there was one at the school, but they would probably have them put another one in. Pat asked if he wanted it at the main entry. Mike stated somewhere in the back.
- Father Franco stated that there were five or six parcels, and they were combining them into two parcels. He explained that one would have all the property and the other would be the cemetery and future cemetery expansion, but other than that there would be one parcel.

Next Steps

- The applicant will provide updated plans prior to the Planning Commission member packets going out by September 30, 2024.

PERSPECTUS

September 30, 2024

Kim Lieber, AICP
Director of Planning & Economic Development
City of North Ridgeville
7307 Avon Belden Road
North Ridgeville, Ohio 44039

Subject: Saint Peter Catholic Church – Parish Hall Addition – Planning Commission Submission Updates

Dear Ms. Lieber:

Per our discussions at our planning commission work session on September 24 and our follow-up correspondence, please note that we have updated drawings and information.

We have included the following updated documents:

- Building-mounted light fixture cut sheet (Brownlee 7075 LED)
- Photometric site plan utilizing the Brownlee 7075 LED identified in the cut sheet
- PC-0: Revised architectural site plan with various dimensions along the Parish Hall Addition's northern edge in relation to the right-of-way and adjacent buildings (Gymnasium and Church), as well as a new sidewalk from the existing sidewalk along Center Ridge Road to the north façade.
- C-100: Existing Conditions and Demolition Plan
- C-200: Site Plan with revised south edge of the parking lot (note the grass filter strip)
- C-201: Pavement Marking Plan with revised south edge of the parking lot (note the grass filter strip)
- C-300: Grading Plan with revised south edge of the parking lot (note the grass filter strip)
- C-400: Utility Plan with revised south edge of the parking lot (note the grass filter strip)

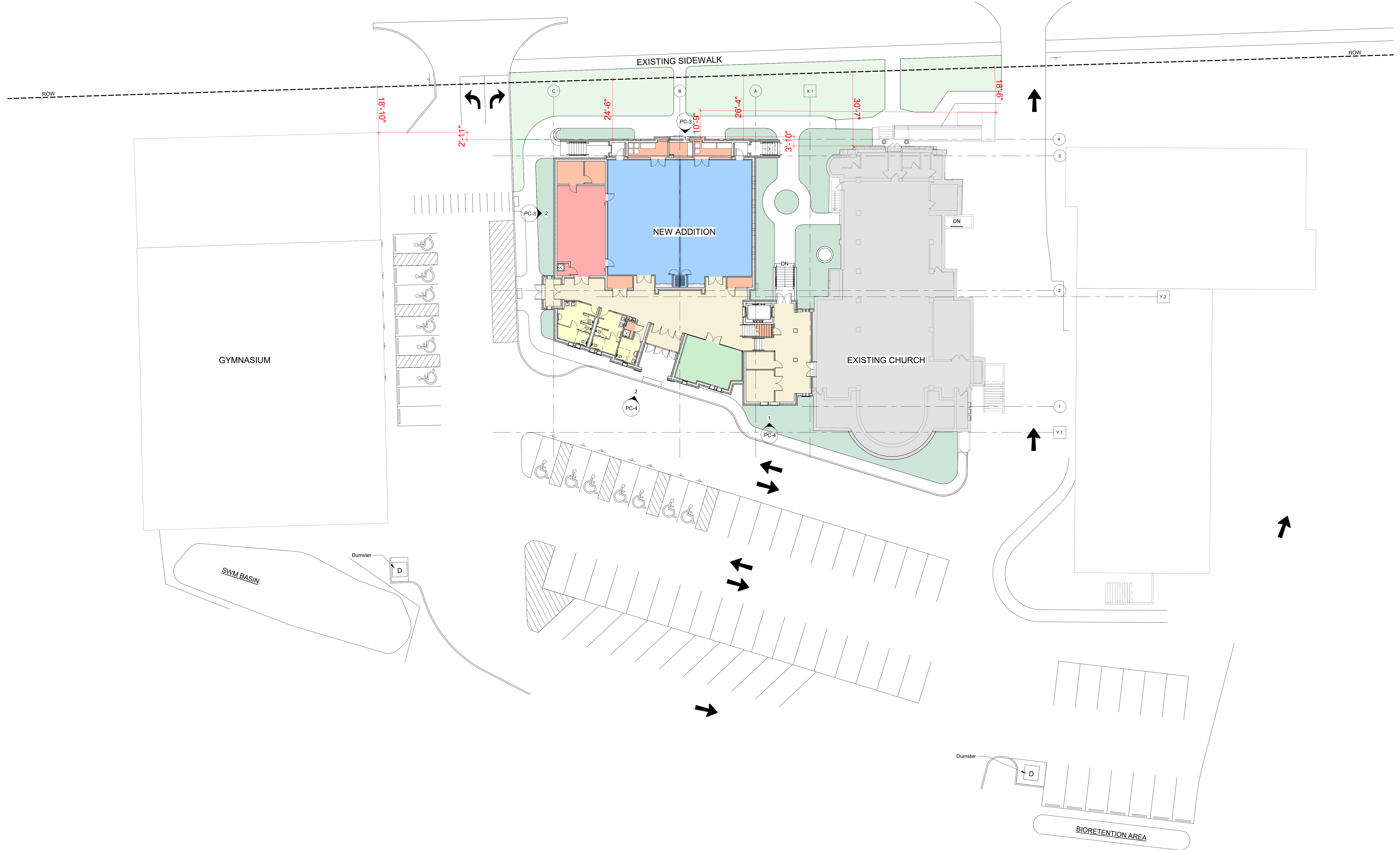
We look forward to the Planning Commission meeting and presentation on October 8th.

If there are any questions, please reach out to me directly at 440-785-2415 or phyland@perspectus.com.

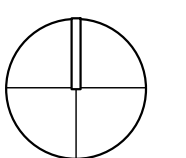
Sincerely,

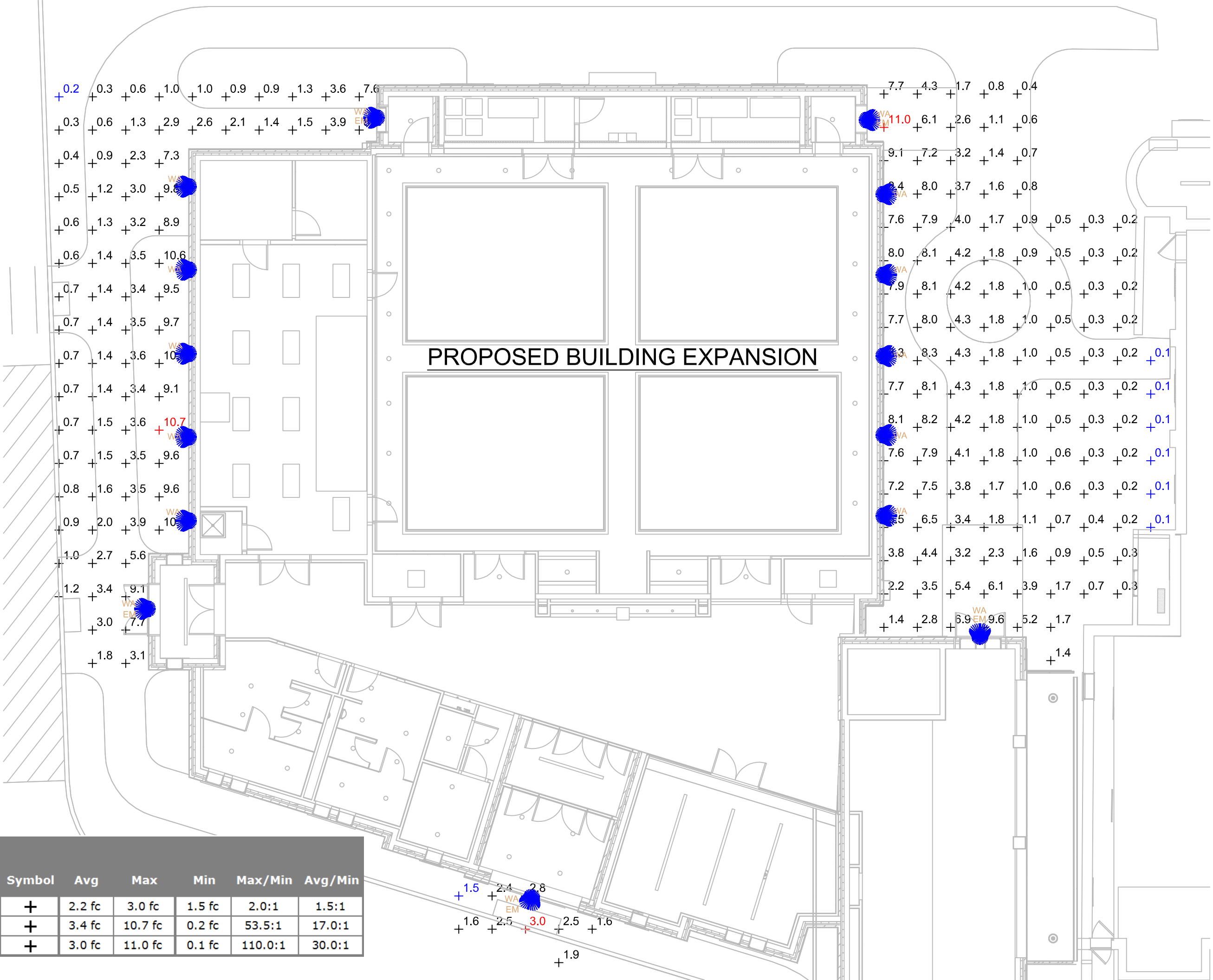


Patrick Hyland
Senior Project Director



1 Architectural Site Plan
PC-0 Scale: 1/16" = 1'-0"





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Front Entry	+	2.2 fc	3.0 fc	1.5 fc	2.0:1	1.5:1
West	+	3.4 fc	10.7 fc	0.2 fc	53.5:1	17.0:1
East (Courtyard)	+	3.0 fc	11.0 fc	0.1 fc	110.0:1	30.0:1



7075-12" in Textured Black (TB)



7075-24" in Textured Black (TB)

7075 LED

The BRICK-OD (outdoor) is a minimal, clean and contemporary exterior sconce with exceptional versatility: Three ADA compliant sizes (8", 12" and 24"), single direction LED distribution, and three finishes to choose from. Perfect for exterior facades, entryways, columns, and breezeways. Since this is a wet-listed unit, it can also be used in healthcare applications requiring durable luminaires which can be wiped down. Available with integral battery backup.

FINISHES



BRICK-OD OUTDOOR

FOR INDOOR, REFER TO MODEL #: 1575

STANDARD SPECIFICATIONS - SINGLE DIRECTION DISTRIBUTION (7075)

OUTER FRAME & MOUNT PLATE

Formed and welded aluminum. Countersunk fasteners located on top of fixture. No exposed hardware on sides or bottom of fixture. Closed cell foam gasket on rear mount plate.

DIFFUSER

UV stabilized frosted acrylic diffuser. Smooth uniform illumination.

LED PERFORMANCE - 3500K STANDARD - TYPE 2 DISTRIBUTION

120-277V - 3500K, L80 rating - 60,000 hrs - L70 rating (projected) - 100,000 hrs

Amperage rated @ 110V input

Operating ambient temperature: -20°C / -4°F - 50°C / 122°F

Delivered 3500K lumens noted. Consult Brownlee.com for performance of all CCTs.

08 Size: C13 - 13W nominal, .10 A input - 1165 lm. Dimmable (0-10V). 82 CRI Standard.

12 Size: H08 - 8W nominal, .07 A input - 860 lm. Dimmable (0-10V). 90+ CRI Standard.

12 Size: H16 - 16W nominal, .14 A input - 1490 lm. Dimmable (0-10V). 90+ CRI Standard.

12 Size: H21 - 21W nominal, .18 A input - 1725 lm. Dimmable (0-10V). 90+ CRI Standard.

24 Size: H16 - 16W nominal, .14 A input - 1470 lm. Dimmable (0-10V). 90+ CRI Standard.

24 Size: H32 - 32W nominal, .27 A input - 3030 lm. Dimmable (0-10V). 90+ CRI Standard.

24 Size: H41 - 41W nominal, .35 A input - 3410 lm. Dimmable (0-10V). 90+ CRI Standard.

MOUNTING

Fixture mounts to a 4x4 junction box (by others).

Wet-listed in the downward orientation only

(light source facing down).

FINISH

Durable corrosion resistant powder coat finish.

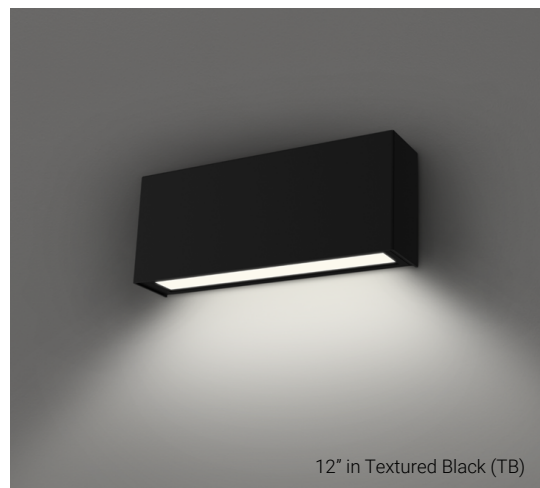
Custom colors available, contact factory.

WARRANTY

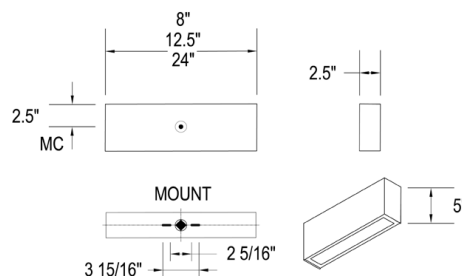
5 year limited warranty on this LED product.

Consult factory for details.

Integral Battery Backup
Refer to options section



12" in Textured Black (TB)



WET



ORDERING INFORMATION

7075	-	-	-	-	-	-
Model	2.	3.	4.	5.	6.	
2. SIZE	3. FINISH	4. WATTAGE	6. AVAILABLE OPTIONS			
08 L: 08"	TB Textured Black	08 SIZE	90R ⁰ 90 CRI (C-Series Wattages: 30K only)			
12 L: 12"	TG Textured Grey	C13 13W C Series LED	BAC ¹ Buy American Compliant			
24 L: 24"	TW Textured White	12 SIZE	BBI ² Integral Battery Backup - 10W (32F minimum)			
		H08 08W H Series LED	BBC ² Integral Battery Backup, Cold Weather (-4F minimum) (24 Size Only)			
		H16 16W H Series LED	Battery must be connected to continuous power supply within 7 Mo. of shipping. See Warranty Note 3.			
		H21 21W H Series LED	DTR ⁴ Triac (Line Voltage) Dimming (120V) (Cannot be combined with BBI/BBC)			
		24 SIZE	ES ⁶ ENERGY STAR® (All except H08, H21, H41)			
		H16 16W H Series LED	FCL ⁷ French Canadian Label			
		H32 32W H Series LED	PO1 Photo Control (120V)			
		H41 41W H Series LED	PO2 Photo Control (208, 240, 277V)			
			T24 ⁹ Title 24 JA8 Compliant (H16 & H32 only)			
5. COLOR TEMPERATURE						
		35K 3500K color temperature				
		27K 2700K color temperature (C Series Only)				
		30K 3000K color temperature				
		40K 4000K color temperature				

Universal Footnotes (only applies if option is listed on spec sheet): (0) 90R - 90 CRI output-loss multiplier: 0.85 (estimate). Cannot be combined with ES. (1) BAC - cannot be combined with FCL. (2) BBI/BBS/BBC - cannot be combined with ECW or EXT. (3) BLD - includes integral microwave motion sensor (do not combine with OCC option). Cannot be combined with DTR. (4) DTR - cannot be combined with BLD. (5) ECW - cannot be combined with BBI, BBC, or DTR. (6) ES - cannot be combined with 90R or T24. (7) FCL - cannot be combined with BAC. (8) OCC - integral microwave motion sensor (ON/OFF). (9) T24 - includes JA8 labeling and 90 CRI LEDs (do not combine with 90R option). Cannot be combined with ES. (10) PCH/PC4 - cannot be combined with BLD or OCC. **Add'l Notes:** *BBI/BBC - BBI minimum operating temp: 10C/50F unless otherwise stated. BBC minimum operating temp: -20C/-4F. **BLD - integral microwave motion sensor with step-dim control. 1: Motion is detected, illuminate to 100%. 2: Motion no longer detected, dim to set level. 3: Remain in continuous dimmed state or turn off after set period. Configurable via onboard dip switches.

Specifications and dimensions subject to change without notice.

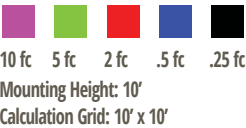
Consult your Brownlee Lighting representative for availability and ordering information.



BRICK-OD OUTDOOR

PHOTOMETRIC DATA - For theoretical reference only. Data subject to change without notice.

ISOFOOTCANDLE PLOT LEGEND



POLAR GRAPH LEGEND

- # 1 - Vertical Plane Through Horizontal Angles (5 - 185)
(Through Max. Cd.)
- # 2 - Vertical Plane Through Horizontal Angles (90 - 270)
(Through Max. Cd.)
- # 3 - Horizontal Cone Through Vertical Angle (17.5)
(Through Max. Cd.)

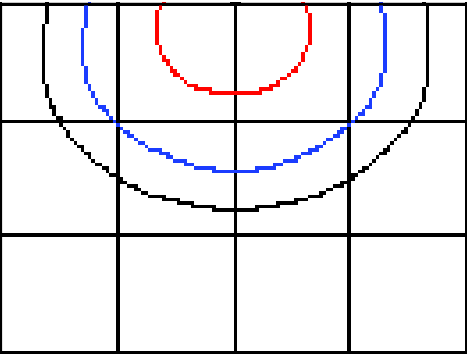
PROJECT:
MODEL #:
FIXTURE TYPE:

PHOTOMETRIC DATA

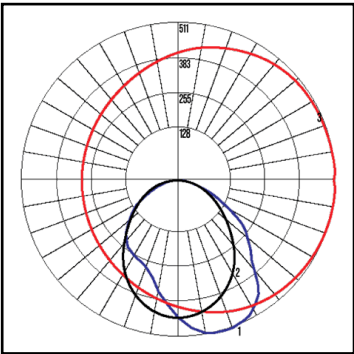
ADDITIONAL LUMEN PACKAGES AVAILABLE. CONTACT FACTORY
FOR SUPPORTING PLOTS OR REFER TO IES FILES ONLINE.

Model: 7075-08-C13-35K / QTY: 1
Description: 08" Size, 13W, 1160 lm

ISOFOOTCANDLE PLOT



POLAR GRAPH

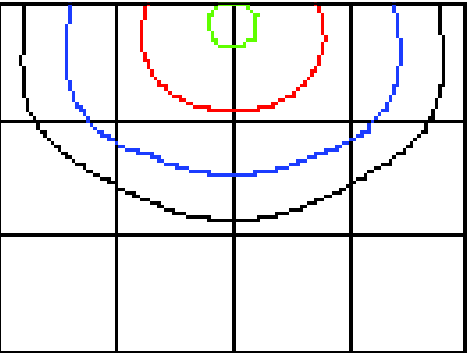


BUG RATING
B1-U0-G0

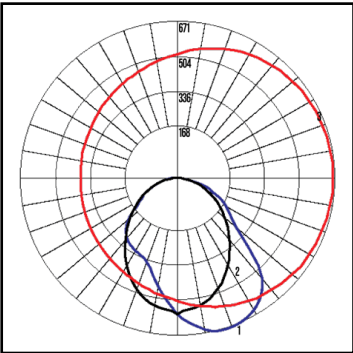
DISTRIBUTION
TYPE 2

Model: 7075-12-H16-35K / QTY: 1
Description: 12" Size, 16W, 1490 lm

ISOFOOTCANDLE PLOT



POLAR GRAPH

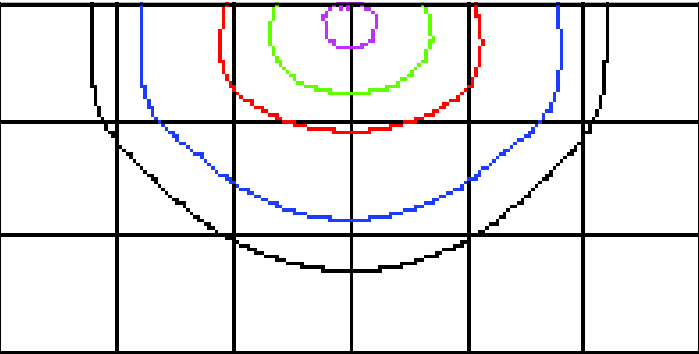


BUG RATING
B1-U0-G1

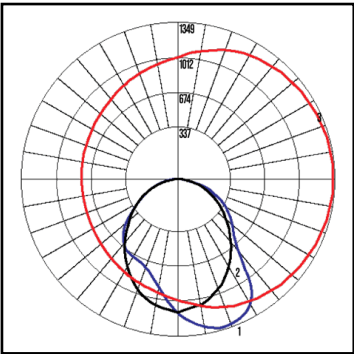
DISTRIBUTION
TYPE 2

Model: 7075-24-H32-35K / QTY: 1
Description: 24" Size, 32W, 3030 lm

ISOFOOTCANDLE PLOT

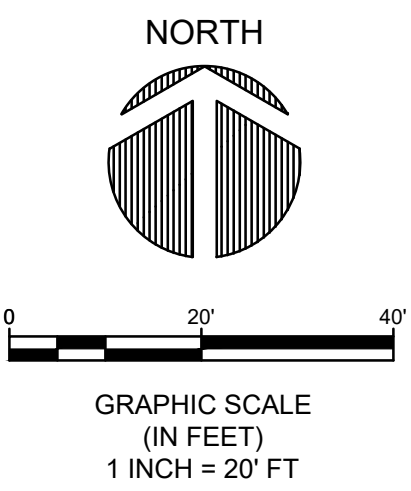


POLAR GRAPH



BUG RATING
B1-U0-G1

DISTRIBUTION
TYPE 2



	BUILDING DEMOLITION (BY OTHERS)
	CONCRETE SIDEWALK, CONCRETE APRON, CONCRETE STAIRS AND BRICK WALK DEMOLITION
	FULL DEPTH ASPHALT PAVEMENT DEMOLITION, INCLUDING EXISTING BASE REMOVAL FOR PROPOSED TYPICAL SECTION (SEE DETAIL ON SHEET C-501).
	EXISTING LANDSCAPE AREA DEMOLITION, INCLUDING REMOVAL OF ALL EXISTING VEGETATION (TREES, BUSHES, SHRUBS, ETC.)
	100 YR REGULATORY FLOODPLAIN.
	UTILITY LINE DEMOLITION
	TREE AND STUMP REMOVED
	LIMIT OF CONSTRUCTION

- | # | DEMOLITION PLAN KEYNOTES |
|---|---|
| 1 | BUILDINGS TO BE DEMO'D BY OTHERS PRIOR TO THIS PROJECT COMMENCING |
| 2 | BEGIN/END REMOVAL OF EXISTING CONCRETE CURB |
| 3 | EXISTING PARISH SIGN TO BE REMOVED AND RELOCATED BY OTHERS |
| 4 | EXISTING RAMP TO BE REMOVED BY OTHERS. |
| 5 | EXISTING CHAINLINK FENCE REMOVED. |
| 6 | EXISTING UTILITY POLE REMOVED BY OTHERS. |

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO PERFORMING ANY WORK. CONTACT THE APPLICABLE UTILITY TO PROTECT EXISTING UTILITIES AT A MINIMUM OF 48 HOURS IN ADVANCE OF WORK TO BE DONE NEAR ANY EXISTING UTILITY MAIN.
2. THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL, OF THE UNDERGROUND UTILITIES SHOWN HERE, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE AVAILABLE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATIONS/DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE BEGINNING WORK.
3. THE CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE AREA OF WORK.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE. WHETHER THESE UTILITIES ARE SHOWN ON THE PLAN OR NOT.
5. UPON DISCOVERY OF UNDERGROUND TANKS OR CONTAMINATED SOILS, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND REPRESENTATIVE, NO REMOVAL OF TANKS OR CONTAMINATED SOILS SHALL OCCUR UNTIL AUTHORIZED BY THE OWNER AND PROPER AUTHORITIES.
6. ITEMS DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL HE IS FURNISHED WITH NOTICE TO PROCEED BY THE OWNER. AS SOON AS SUCH NOTICE HAS BEEN GIVEN, THE CONTRACTOR SHALL PROCEED WITH THE DEMOLITION UNDER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
7. ALL EARTHWORK, SUBGRADE PREPARATION, & BACKFILL REQUIREMENTS FOR UTILITIES ONLY SHALL BE PER THE LATEST CITY OF NORTH RIDGEVILLE AND THE

8. DEBRIS SHALL NOT BE BURIED ON THE SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL CITY, STATE, AND FEDERAL LAWS AND ORDINANCES.
9. EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
10. THE USE OF EXPLOSIVES SHALL NOT BE PERMITTED.
11. EXISTING ABANDONED UTILITIES WITHIN THE PROPOSED WORK LIMITS SHALL BE REMOVED. IF SUCH UTILITIES ARE PRESENT, THEY SHOULD BE REMOVED AND RELOCATED. SHOULD THE UTILITIES LINES BE REMOVED FROM THE SITE, THE RESULTANT TRENCH EXCAVATIONS SHOULD BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE LATEST O.D.O.T. STANDARD DETAILS AND SPECIFICATIONS.
12. ALL MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR DENOTED FOR SALVAGE, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH LOCAL REQUIREMENTS.
13. THE UTILITY DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, AND MISCELLANEOUS ITEMS BOTH ABOVE AND BELOW GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY NEED TO BE REMOVED FOR THE PROPOSED PROJECT THAT ARE NOT SHOWN HEREIN.
14. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, AND STAKES.

15. ANY DAMAGE CAUSED TO THE PAVEMENT, DRIVES, DRAINAGE SYSTEMS, UNDERGROUND OR OVERHEAD UTILITIES, PIPE LINES OR LANDSCAPING, OR ON THE ADJACENT SITES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES WITH ALL RELATED COSTS BEING THE FULL RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE PHOTOS AND/OR VIDEOS OF THE EXISTING CONDITIONS BEFORE AND AFTER CONSTRUCTION FOR THE PURPOSE OF COMPARISON.
16. WHERE NECESSARY TO REMOVE PAVEMENTS OR DRIVES, THE PAVEMENT SHALL BE SAWCUT FULL DEPTH IN NEARLY STRAIGHT LINES, WHERE REMOVED IN WALK AREAS, SHALL BE SAWCUT AT NEAREST JOINT.
17. ALL PAVEMENT AND/OR FOUNDATIONS THAT ARE REMOVED SHALL BE DISPOSED OF OFFSITE PROPERLY.
18. EROSION / SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED DURING DEMOLITION ACTIVITIES.
19. THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE, SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE SITE PRIOR TO BEGINNING ANY CONSTRUCTION WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE DEMOLITION DESIGN AND THE DEMOLITION CONTRACT. THE PUBLIC OR CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.

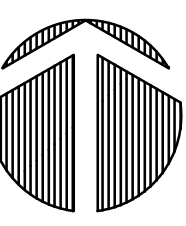
EX	EXISTING
PR	PROPOSED
ε	CENTER LINE
REC	PER RECORD DRAWINGS
PERF.	PERFORATED
R/W	RIGHT OF WAY
BLDG	BUILDING
BM	BENCHMARK
LF	LINEAR FEET
EOP	EDGE OF PAVEMENT
PVMT	PAVEMENT
CONC	CONCRETE
BC	BACK OF CONCRETE
(TYP.)	TYPICAL
C/O	CLEANOUT
WM	WATERMAIN
UGE	UNDERGROUND ELECTRICAL
SS	SANITARY SEWER
G	GASMAIN
PL	PROPERTY LINE

Parish Hall Addition
St. Peter's Parish
335777 Center Ridge Rd
North Ridgeville, OH 44039

EXISTING CONDITIONS AND DEMOLITION PLAN

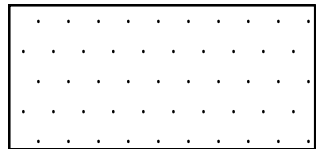


NORTH



GRAPHIC SCALE
(IN FEET)
1 INCH = 20' FT

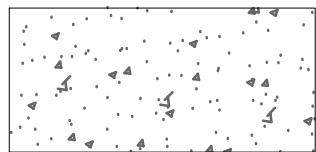
LEGEND



CRACK SEAL EXISTING ASPHALT PARKING LOT PRIOR TO
INSTALLATION OF SEAL COAT.



PROPOSED FULL DEPTH ASPHALT PAVEMENT. SEE
CIVIL DETAIL SHEETS FOR ADDITIONAL
INFORMATION.



PROPOSED CONCRETE WALK, DRIVE APRON AND
DUMPSTER PAD. SEE CIVIL DETAIL SHEETS FOR
ADDITIONAL INFORMATION.



PROPOSED LANDSCAPE AREAS. SEE LANDSCAPE
PLAN.

--- LIMIT OF CONSTRUCTION

SITE PLAN KEYNOTES

- BEGIN/END PROPOSED 4" VERTICAL CONCRETE CURB.
- RELOCATED "ENTER" AND "EXIT" SIGNS.
- WHEEL STOP (TYP.)
- ADA RAMP WITH TRUNCATED DOME PLATES.
- BEGIN/END PROPOSED 4" CONCRETE INTEGRAL CURB WITH WALK.
- PROPOSED ADA PARKING SIGN (TYP.)
- PROPOSED PROTECTIVE FENCING AROUND POND. PROVIDE GATE FOR MAINTENANCE.

SITE NOTES

- CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION ACTIVITIES IN ORDER TO PROVIDE ACCESS TO ALL ADJACENT BUILDINGS & PROPERTIES AT ALL TIMES.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OR COUNTY, BEFORE PERFORMING ANY WORK.
- RECONNECT ALL DISTURBED UTILITIES, PIPES, DRAIN TILES, ETC. THAT ARE NOT DESIGNATED FOR RELOCATION.
- HAUL IN ADDITIONAL, OR HAUL AWAY EXCESS MATERIAL AS REQUIRED & DISPOSE OF ALL SPOILS AT NO EXTRA TO THE CONTRACT.
- SAVE AND PROTECT TREES & LANDSCAPING THAT ARE NOT DESIGNATED FOR REMOVAL.
- INSTALL SEEDING AND MULCHING REQUIRED TO RESTORE ALL DISTURBED AREAS AS A RESULT OF CONTRACTOR OPERATIONS. THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED GRASS AREAS. SEEDING TO BE PERFORMED BETWEEN APRIL 1ST AND SEPTEMBER 30TH
- EXISTING PAVEMENT GRADES TO MATCH (FLUSH) WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- PAVEMENT JOINT WHERE NEW PAVEMENT MEETS EXISTING TO BE SEALED WITH HOT APPLIED JOINT SEALER. (TYP)
- CONTRACTOR TO RELOCATE ANY DISTURBED EXISTING LANDSCAPING IRRIGATION LINES IF ENCOUNTERED.
- REFER TO ARCHITECTURE SITE PLAN FOR CONCRETE JOINTING PATTERN OF PROPOSED CONCRETE WALK.
- REFER TO ARCHITECTURE SITE PLAN FOR LOCATIONS OF MOW STRIP ALONG THE EXISTING AND PROPOSED BUILDINGS.
- ALL DISTURBED AREAS NOT CALLED OUT FOR LANDSCAPING/LANDSCAPING BEDS PER THE LANDSCAPE PLAN SHALL BE RESTORED AS A SEEDED AND GRASSED AREA.

P20231748.000

Parish Hall Addition
St. Peter's Parish
35777 Center Ridge Rd
North Ridgeville, OH 44039

ISSUE	DATE
1 Design Development	08/15/2024
2 Planning Commission Submission	09/13/2024
3 Updated PC Submission	09/27/2024



800-362-2764 OR 8-1-1
WWW.OUPS.ORG

SITE PLAN

C-200
Page 35 of 81

NORTH



0 20' 40'
GRAPHIC SCALE
(IN FEET)
1 INCH = 20' FT

PAVEMENT MARKING PLAN KEYNOTES

- 1 4" YELLOW PARKING STALL (TYP.)
- 2 ADA PARKING SYMBOL (TYP.)
- 3 WHITE LEFT AND RIGHT TURN ARROWS.
- 4 12" WIDE WHITE CROSSWALK LINES.
- 5 12" WIDE WHITE STOP BAR.
- 6 YELLOW "NO PARKING ZONE" MARKINGS.
- 7 YELLOW ISLAND MARKINGS (TYP.)
- 8 PROPOSED "DO NOT ENTER" SIGN.
- 9 WHITE DIRECTIONAL ARROW(S).

OVERALL SITE PARKING COUNTS

• NORTH SIDE OF FRENCH CREEK:

EXISTING PARKING SPACES:
REGULAR = 68
ADA = 7
TOTAL = 75

PROPOSED PARKING SPACES
REGULAR = 62
ADA = 15
TOTAL = 77

• SOUTH SIDE OF FRENCH CREEK (NO PROPOSED CHANGES INTENDED AS A PART OF THIS PROJECT):

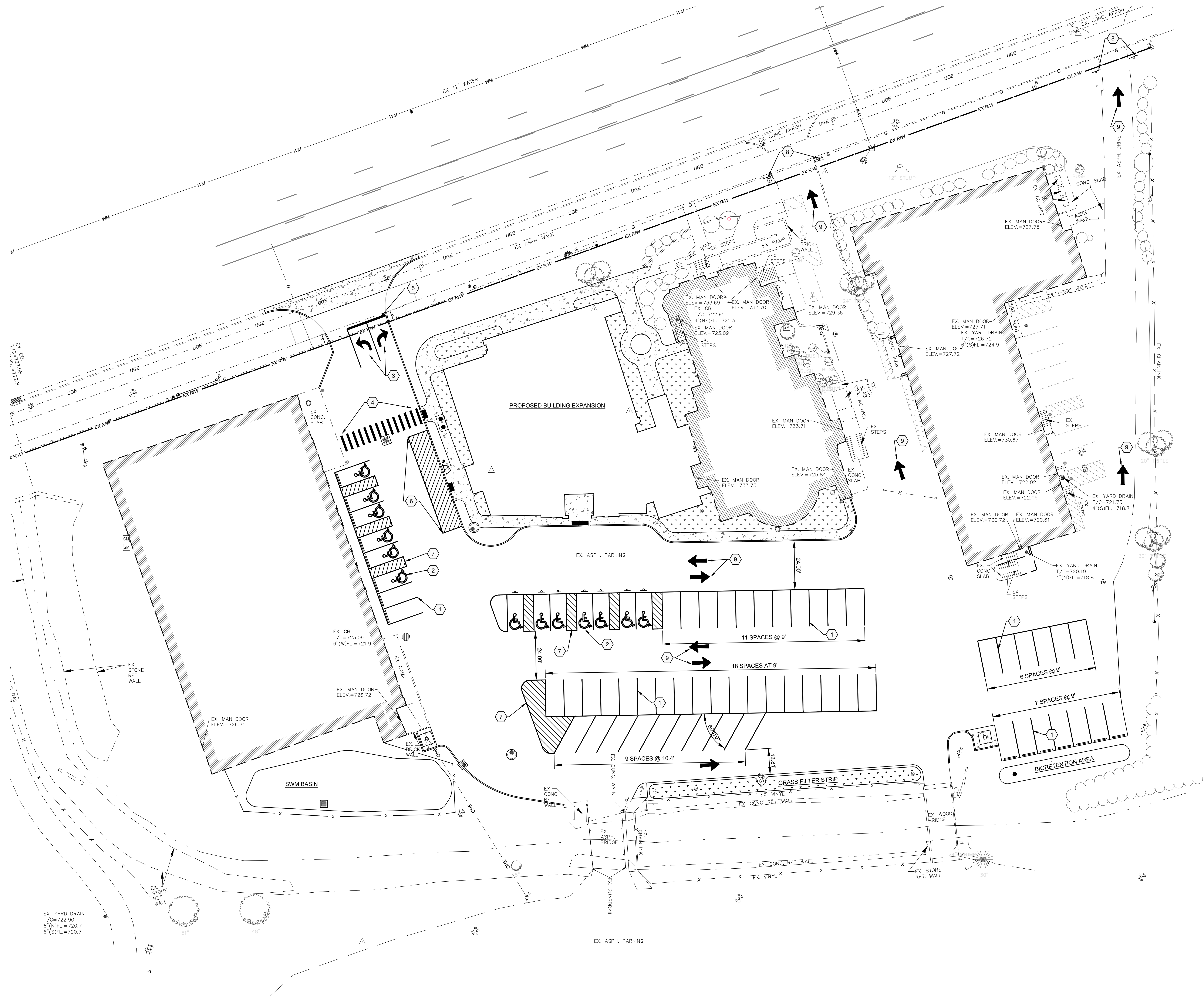
EXISTING PARKING SPACES:
REGULAR = 148
ADA = 0
TOTAL = 148

PROPOSED PARKING SPACES
REGULAR = 148
ADA = 0
TOTAL = 148

• TOTAL OVERALL SITE PARKING SPACES INCLUDING TO THE NORTH AND SOUTH OF FRENCH CREEK:

EXISTING PARKING
REGULAR = 216
ADA = 7
TOTAL = 223

PROPOSED PARKING
REGULAR = 210
ADA = 15
TOTAL = 225



P20231748.000

Parish Hall Addition
St. Peter's Parish
35777 Center Ridge Rd
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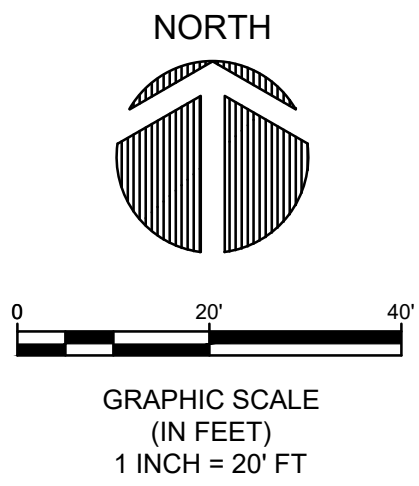
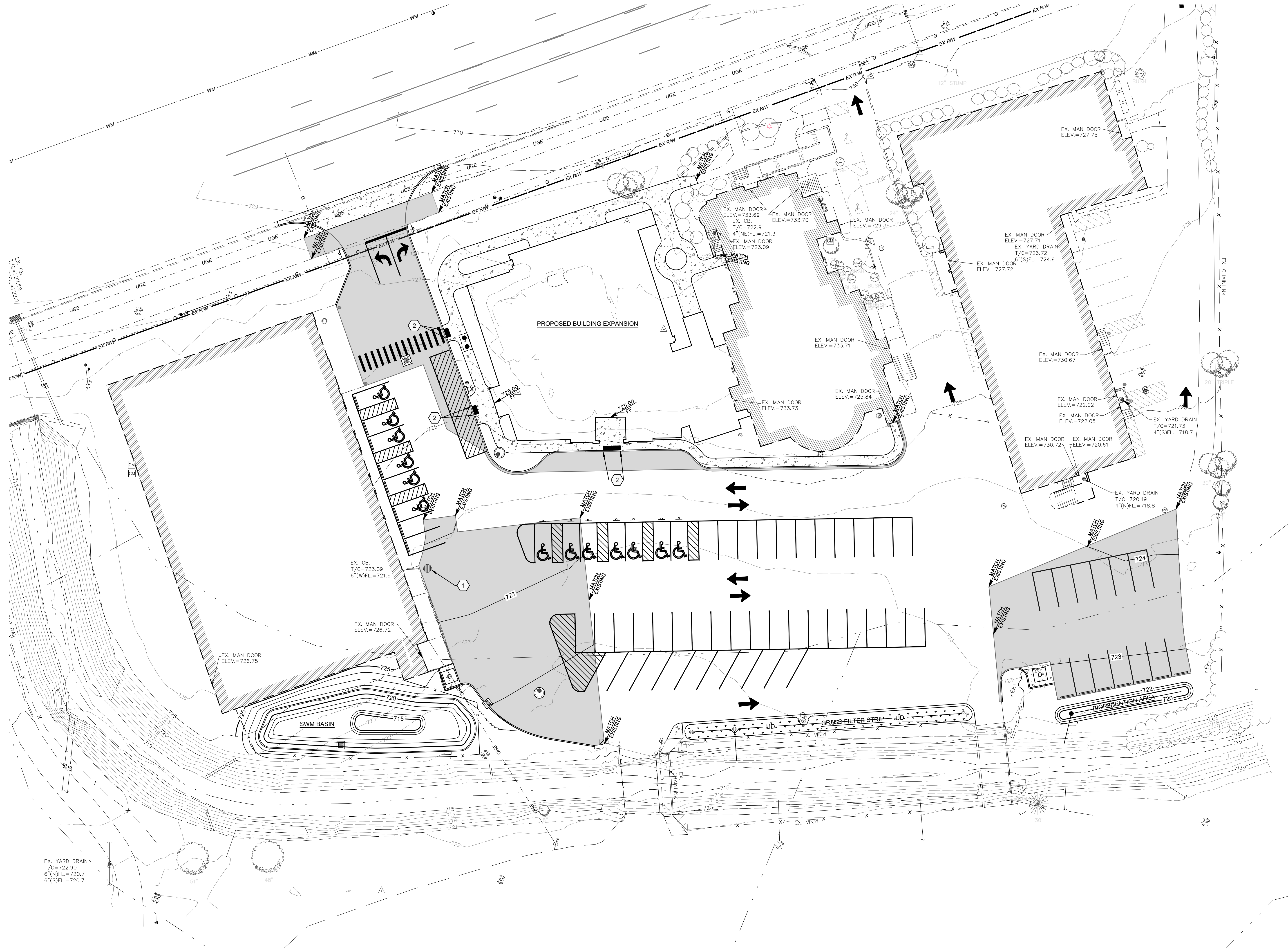
ISSUE	DATE
1 Design Development	08/15/2024
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800-362-2764 OR 8-1-1
WWW.OUPS.ORG

PAVEMENT MARKING
PLAN

C-201



GRADING PLAN KEYNOTES

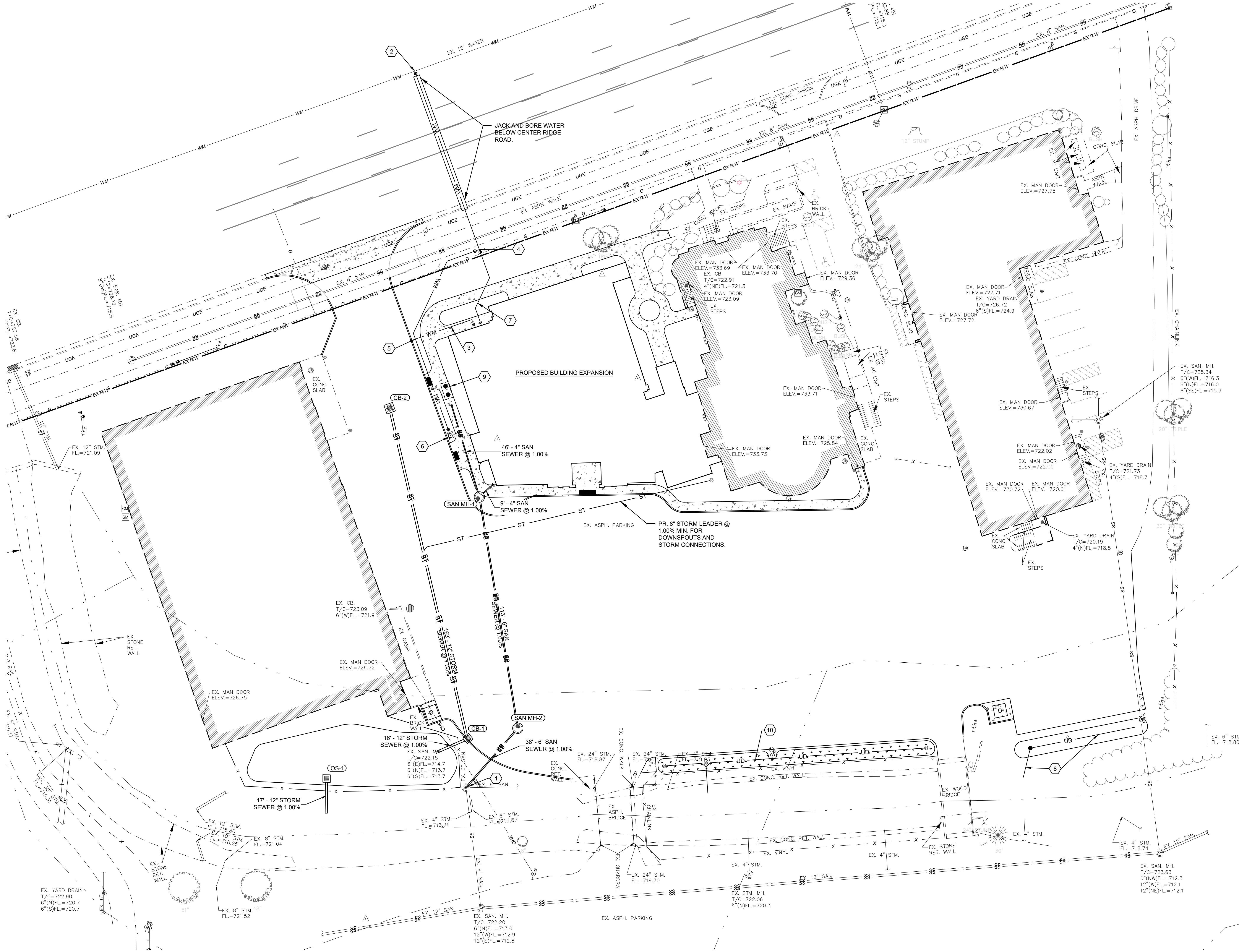
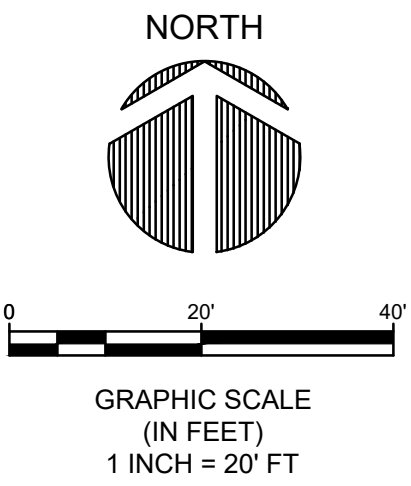
- 1 ADJUST CASTING TO GRADE
- 2 TAPER CURB TO 0" REVEAL IN ADA RAMP AREAS.

GRADING SHEET NOTES

1. PROVIDE POSITIVE DRAINAGE AWAY FROM THE FACE OF BUILDING IN ALL LAWN AND LANDSCAPE AREA SURROUNDING THE BUILDING.
2. PROVIDE POSITIVE DRAINAGE TOWARDS ALL STORM INLET STRUCTURES.
3. THE CROSS SLOPE ALONG THE PEDESTRIAN WALK SHALL BE LESS THAN 2%.
4. THE RUNNING SLOPE ALONG THE PEDESTRIAN WALK SHALL NOT EXCEED 5%.
5. ADA PARKING SPACES ARE TO BE 2% MAX. CROSS AND RUNNING SLOPES.
6. ALL EXISTING CASTINGS WITHIN THE PROPOSED GRADING LIMITS TO REMAIN SHALL BE ADJUSTED TO GRADE AS NECESSARY.
7. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE.
8. FOR BUILDING DIMENSIONS & DETAILS SEE ARCHITECTURAL PLANS.
9. EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITY.
10. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS.
11. ANY GRADING OF DISTURBED AREAS SHALL BE SEEDED PER SEEDING NOTES, UNLESS OTHERWISE NOTED.
12. NO ASPHALT OR CONCRETE PAVING SHALL BE INSTALLED UNTIL ALL UTILITIES IN, OR CROSSING, PAVED AREAS HAVE BEEN INSTALLED AND THE BASE COURSE IS APPROVED.
13. GRADES SHOWN ARE FINISHED GRADES. FOR SUBGRADE ELEVATIONS, SEE PAVING SECTIONS AND DETAILS.

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UTILITY PLAN KEYNOTES

- 1 FIELD CORE EXISTING SANITARY MANHOLE TO MAKE PROPOSED CONNECTION.
- 2 PROPOSED 8"x12" TAPPING SLEEVE AND 8" VALVE, VALVE BOX AND COVER.
- 3 PROPOSED 6" FIRE PROTECTION CONNECTION. SEE FIRE PROTECTION PLANS FOR CONTINUATION.
- 4 PROPOSED 8"x8"x6" TEE, 6" VALVE, 8"x3" REDUCER AND 3" VALVE.
- 5 PROPOSED 6"x6"x6" TEE.
- 6 PROPOSED ON-SITE FIRE HYDRANT.
- 7 PROPOSED 3" WATER SERVICE CONNECTION TO THE BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- 8 PROPOSED 4" UNDERDRAIN FOR BIORETENTION AREA. OUTLET TO FRENCH CREEK.
- 9 PROPOSED GREASE INTERCEPTOR. SEE PLUMBING PLANS FOR ADDITIONAL DETAIL.
- 10 PROPOSED GRASS FILTER STRIP w/ 4" PERFORATED UD WRAPPED IN GEOTEXTILE FABRIC. DETAIL TO BE COORDINATED w/ CITY ENGINEER.

NOTES:

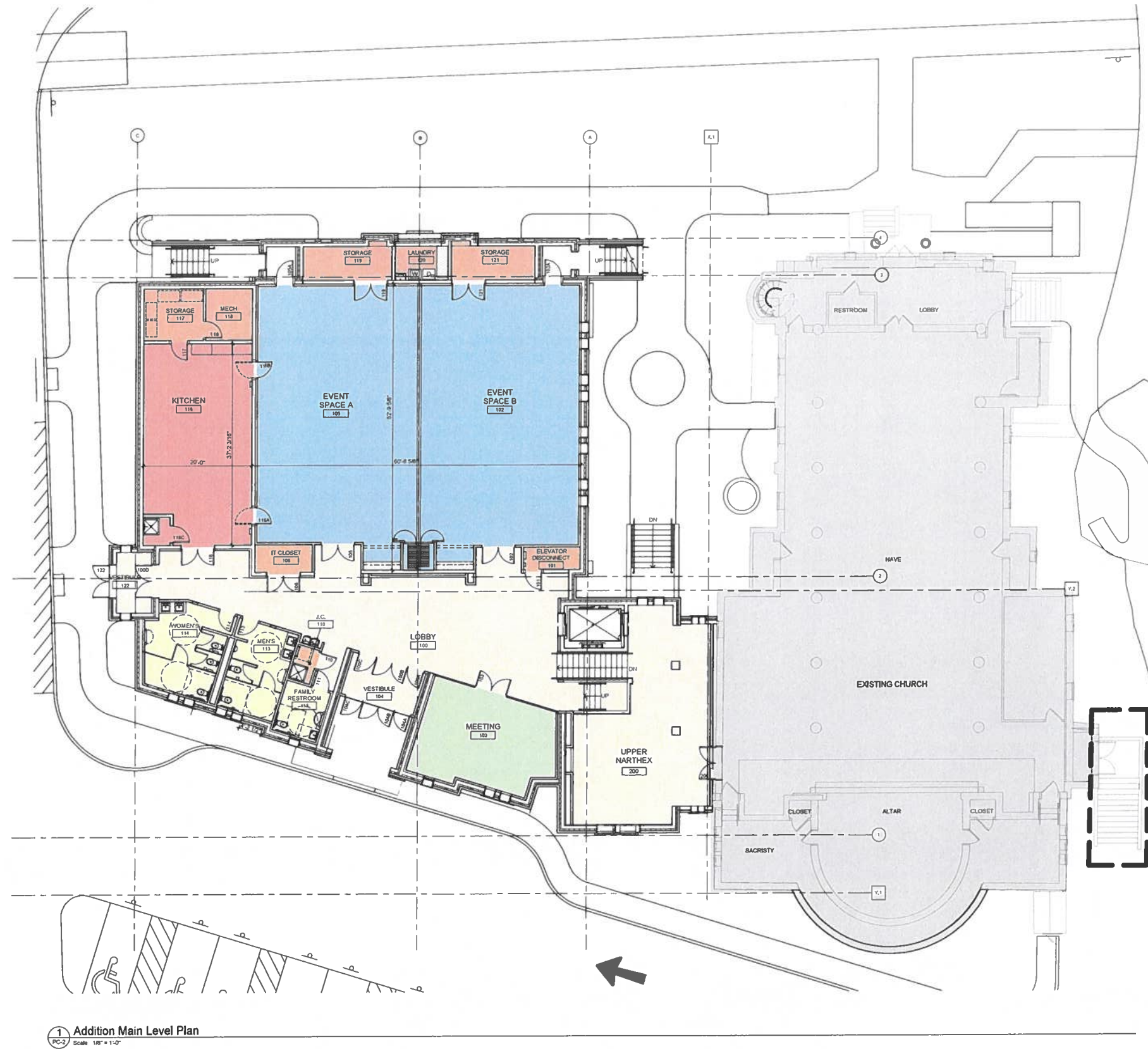
1. PROVIDE 6 FT. MINIMUM OF COVER ON DOMESTIC AND FIRE WATER CONNECTIONS.
2. PROVIDE 18" MINIMUM VERTICAL CLEARANCE AT CROSSINGS OF EXISTING AND PROPOSED UTILITIES.
3. CONTRACTOR TO FIELD VERIFY EXISTING INVERTS PRIOR TO ORDERING ANY MATERIALS.
4. ANY EXISTING FOOTER OR FOUNDATIONS DRAINS ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED TO THE PROPOSED STORM SEWER.
5. UNDERGROUND UTILITIES EXIST IN THE CONSTRUCTION AREA. CONTRACTOR TO CONTACT O.U.P.S. AT 1-800-362-2464 AND TO PHYSICALLY MARK OUT LINES.
6. EXISTING SEWER AND UTILITY LOCATIONS AND DEPTHS ARE TAKEN FROM AVAILABLE RECORDS AND LIMITED FIELD OBSERVATIONS AND ARE NOT GUARANTEED. THEREFORE, LOCATIONS AND DEPTHS ARE APPROXIMATE AND SHOULD NOT BE SCALED.
7. CONNECT PROPOSED DOWNSPOUTS AND STORM CONNECTIONS FROM PROPOSED BUILDING TO THE PROPOSED STORM SEWER WITH INSERT A TEE CONNECTION, WYE, TEE OR APPROVED EQUAL. WHEN DOWNSPOUTS OR BUILDING STORM CONNECTIONS ARE SHOWN CONNECTION TO A PROPOSED STORM STRUCTURE, FIELD CORE INTO STRUCTURE ONCE INVERT DEPTH IS DETERMINED.
8. INSTALL PREFABRICATED WATERTIGHT FLEXIBLE SLEEVE PER A.S.T.M. D-963 "KOR-N-SEAL", "PRESS WEDGE" OR EQUAL AT ALL CONNECTIONS BETWEEN EXISTING AND PROPOSED SEWER PIPES AND STRUCTURES. CORE INTO EXISTING STRUCTURES.
9. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO PERFORMING THE WORK.
10. ALL RESTORATION FOR UTILITY WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE INKIND WITH EXISTING CONDITIONS UNLESS OTHERWISE NOTED ON THE PLANS.

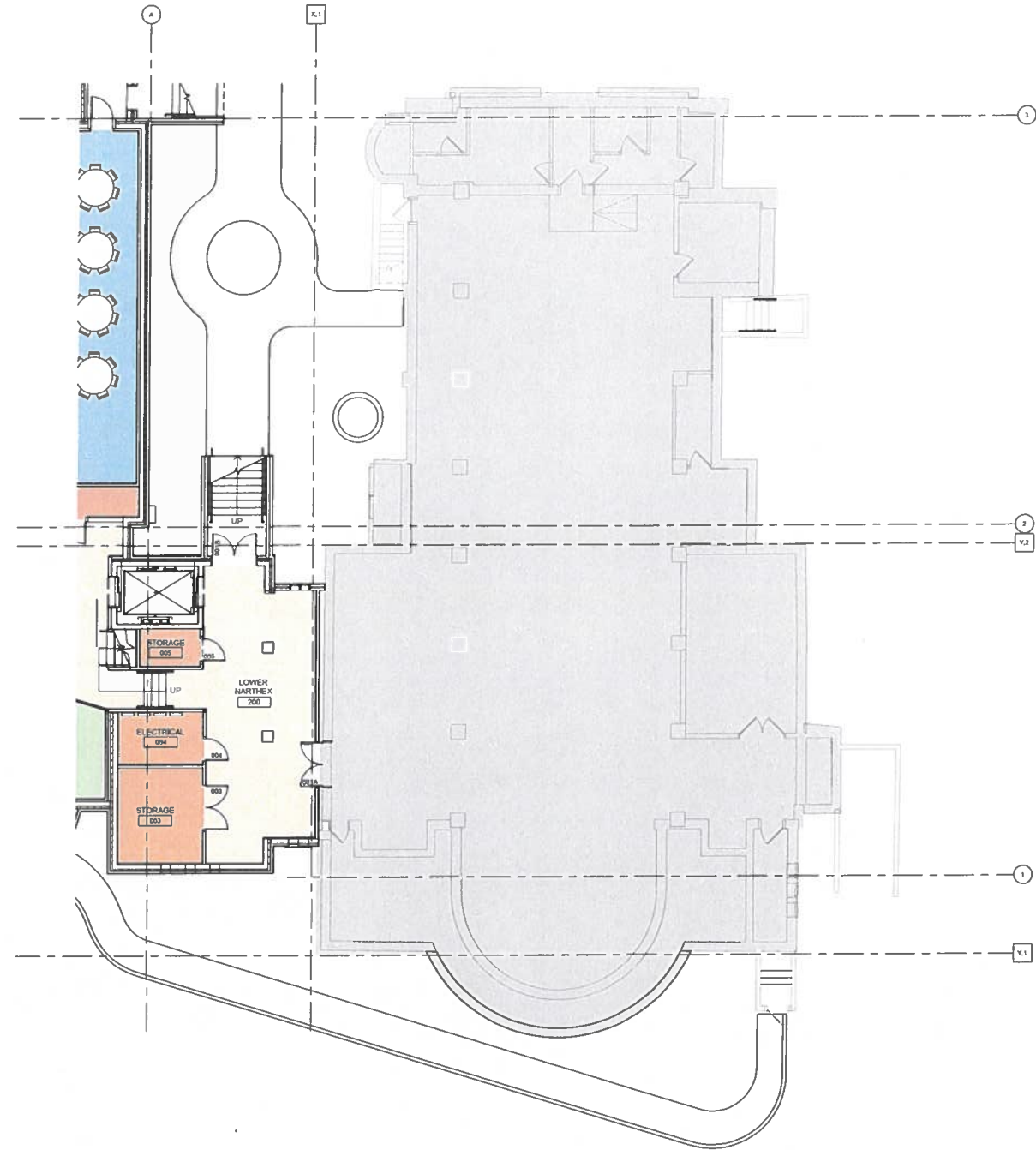
STORM SEWER STRUCTURE TABLE					
STRUCTURE NAME:	DESCRIPTION:	NORTHING:	EASTING:	RIM:	INVERTS:
CB-1	CATCH BASIN UPRIGHT CURB	628236.53	2101292.01	721.70	12" N INV. 718.16 12" SW INV. 718.16
CB-2	CATCH BASIN 2-3	628395.58	2101254.76	725.89	12" S INV. 719.79
OS-1	OUTLET STRUCTURE	628217.49	2101224.40	722.66	12" S INV. 715.17

SANITARY SEWER STRUCTURE TABLE					
STRUCTURE NAME:	DESCRIPTION:	NORTHING:	EASTING:	RIM:	INVERTS:
SAN MH-1	SANITARY MANHOLE	628352.87	2101297.91	724.51	6" S INV. 715.51 4" NE INV. 717.00 4" N INV. 717.00
SAN MH-2	SANITARY MANHOLE	628241.65	2101316.37	722.22	6" N INV. 714.38 6" SW INV. 714.38

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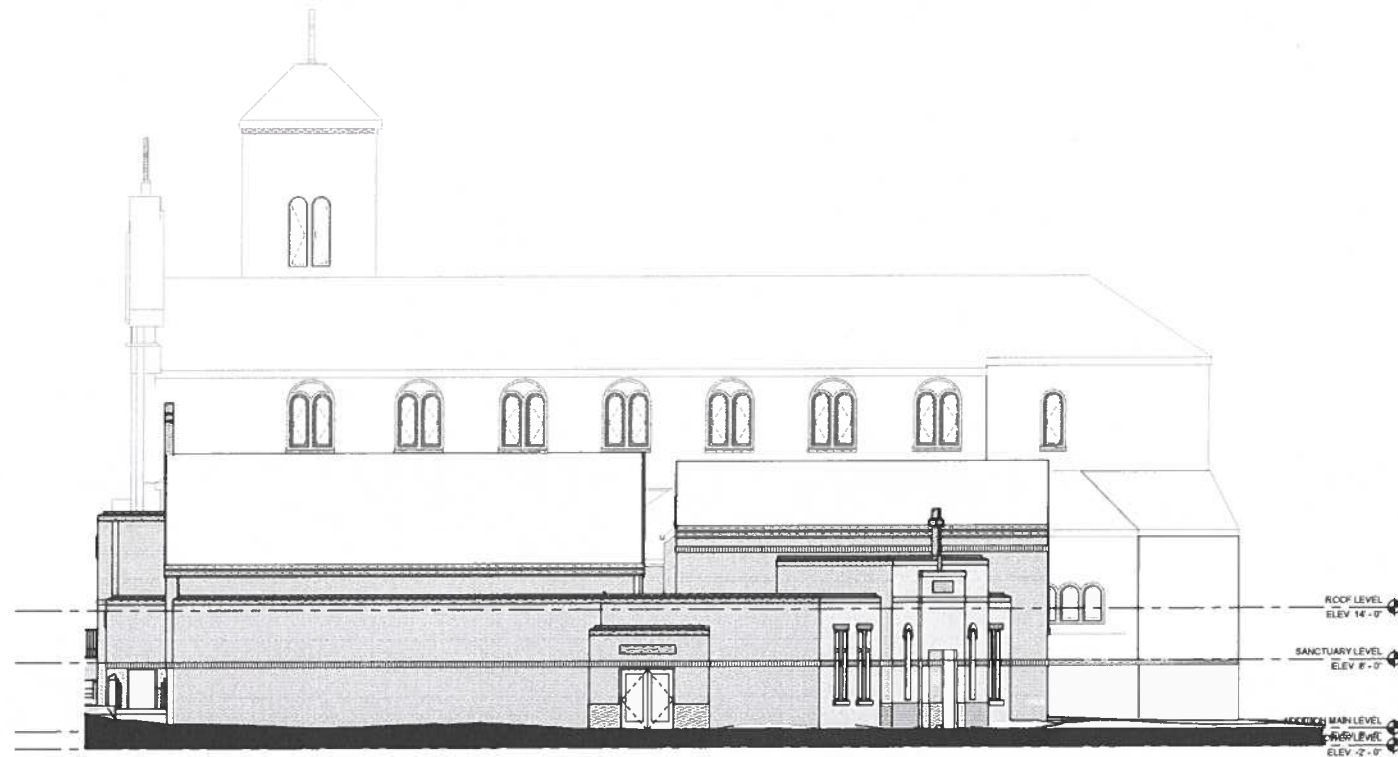


1 Existing Church Lower Level Plan
PC-1 Scale: 1/8" = 1'-0"





1 PARISH HALL - NORTH ELEVATION
PC-3 Scale 1/8" = 1'-0"



2 PARISH HALL - WEST ELEVATION
PC-3 Scale 1/8" = 1'-0"

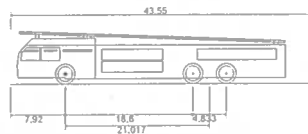
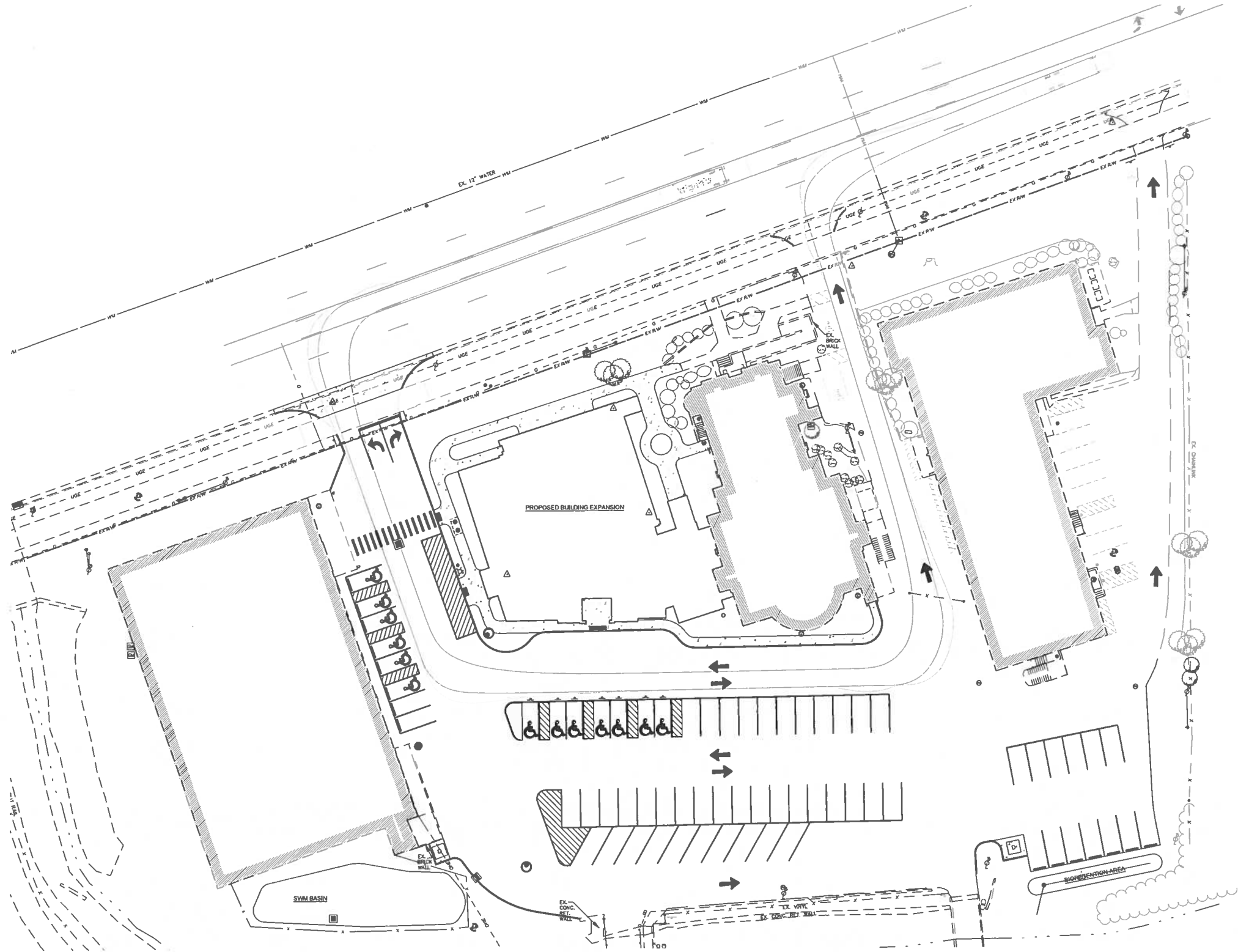
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1 PARISH HALL - SOUTH ELEVATION
PC-4 Scale 1/8" = 1'-0"



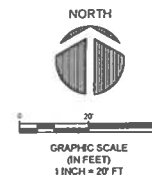
2 PARISH HALL - SOUTHWEST ELEVATION
PC-4 Scale 1/8" = 1'-0"



North Ridgeville Fire Truck	
Overall Length	43.55ft
Overall Width	8.250ft
Overall Body Height	7.515ft
Min Body Ground Clearance	0.765ft
Track Width	8.250ft
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°

DESIGN VEHICLE PROFILE
N.T.S.

SEP 13 2024



PERSPECTUS

PRELIMINARY
NOT FOR CONSTRUCTION



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VEHICLE TURNING
MOVEMENT EXHIBIT



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PRELIMINARY
NOT FOR CONSTRUCTION

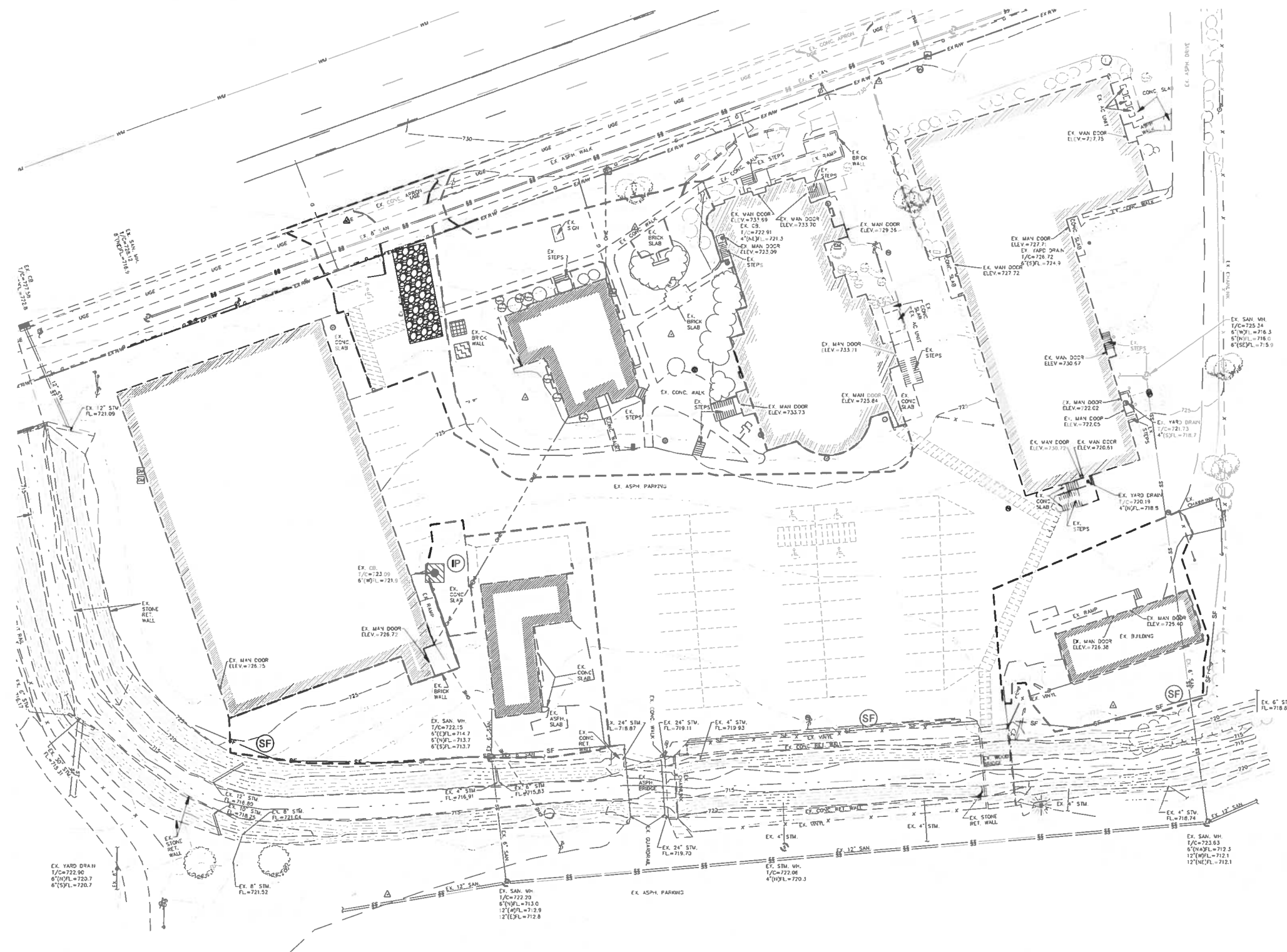


SWP3 LEGEND

- STABILIZED CONSTRUCTION PARKING & ACCESS DRIVEWAY
- INLET PROTECTION ON ALL EXISTING & PROPOSED STORM SEWER INLETS & BASINS
- SILT FENCE OR FILTER SOCK AND CONSTRUCTION FENCE
- AREA FOR STORAGE, DISPOSAL, DUMPSTERS, AND/OR FUELING
- CONCRETE WASHOUT FACILITY
- TRUCK WASHING AREA
- PROJECT LIMITS OF CONSTRUCTION / DISTURBANCE

PRE SWP3 GENERAL NOTES

1. CONSTRUCTION DRIVE TO BE LOCATED OFF CENTER RIDGE ROAD
2. LIMITS OF DISTURBANCE 0.93 AC
3. LOCATION OF CONSTRUCTION DRIVE, CONCRETE WASHOUT FACILITY, DUMPSTER AREA, AND FUEL CONTAINMENT DYKE ARE SHOWN FOR REFERENCE ONLY. FINAL LOCATION TO BE DETERMINED BY THE CONTRACTOR AS APPROVED BY OWNER.
4. TWO WORKING DAYS BEFORE BEGINNING UNDERGROUND CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OHIO UTILITIES PROTECTION SERVICE AT 1-800-362-2764 AND OIL & GAS PRODUCERS UNDERGROUND PROTECTION SERVICE AT 1-800-925-0988. THE EXACT SIZES, LOCATIONS AND DEPTHS OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DETERMINED WITHOUT EXCAVATION. THE CONTRACTOR SHALL EXCAVATE TO DETERMINE ACTUAL SIZES, LOCATIONS AND DEPTHS BEFORE CONSTRUCTION BEGINS, AND SHALL REPORT SAME TO THE ENGINEER. THE CONTRACTOR SHALL USE DUE DILIGENCE TO PROTECT ALL UNDERGROUND FACILITIES FROM DAMAGE. THE APPROXIMATE SIZES, LOCATIONS AND DEPTHS OF UNDERGROUND FACILITIES KNOWN TO US ARE DEPICTED HEREON ACCORDING TO SURFACE OBSERVATIONS COMBINED WITH INFORMATION FROM AVAILABLE RECORDS AND DRAWINGS. APPROXIMATE UNDERGROUND SIZES, LOCATIONS AND DEPTHS ARE NOT GUARANTEED, AND SHALL NOT BE SCALED.
5. THE CONTRACTOR SHALL MAINTAIN OR REPLACE ANY EROSION CONTROL MEASURES UNTIL FULL STABILIZATION, WHETHER OR NOT DEPICTED HEREON.



EX	EXISTING
PR	PROPOSED
C	CENTER LINE
Rec	PER RECORD DRAWINGS
PERF.	PERFORATED
RW	RIGHT OF WAY
BLDG	BUILDING
BM	BENCHMARK
LF	LINEAR FEET
EOP	EDGE OF PAVEMENT
PVMT	PAVEMENT
CONC	CONCRETE
BC	BACK OF CONCRETE
(TYP.)	TYPICAL
C/O	CLEANOUT
WM	WATERMAIN
UGE	UNDERGROUND ELECTRICAL
SS	SANITARY SEWER
G	GASMAIN
PL	PROPERTY LINE

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OHIO UTILITIES PROTECTION SERVICE
CALL BEFORE YOU DIG
800-362-2764 OR 8-1-1
WWW.OUPS.ORG

PRE-DEVELOPMENT
STORMWATER
POLLUTION PREVENTION
PLAN

PRELIMINARY
NOT FOR CONSTRUCTION



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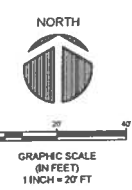
ISSUE	DATE
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POST-DEVELOPMENT
STORMWATER
POLLUTION PREVENTION
PLAN

C-601

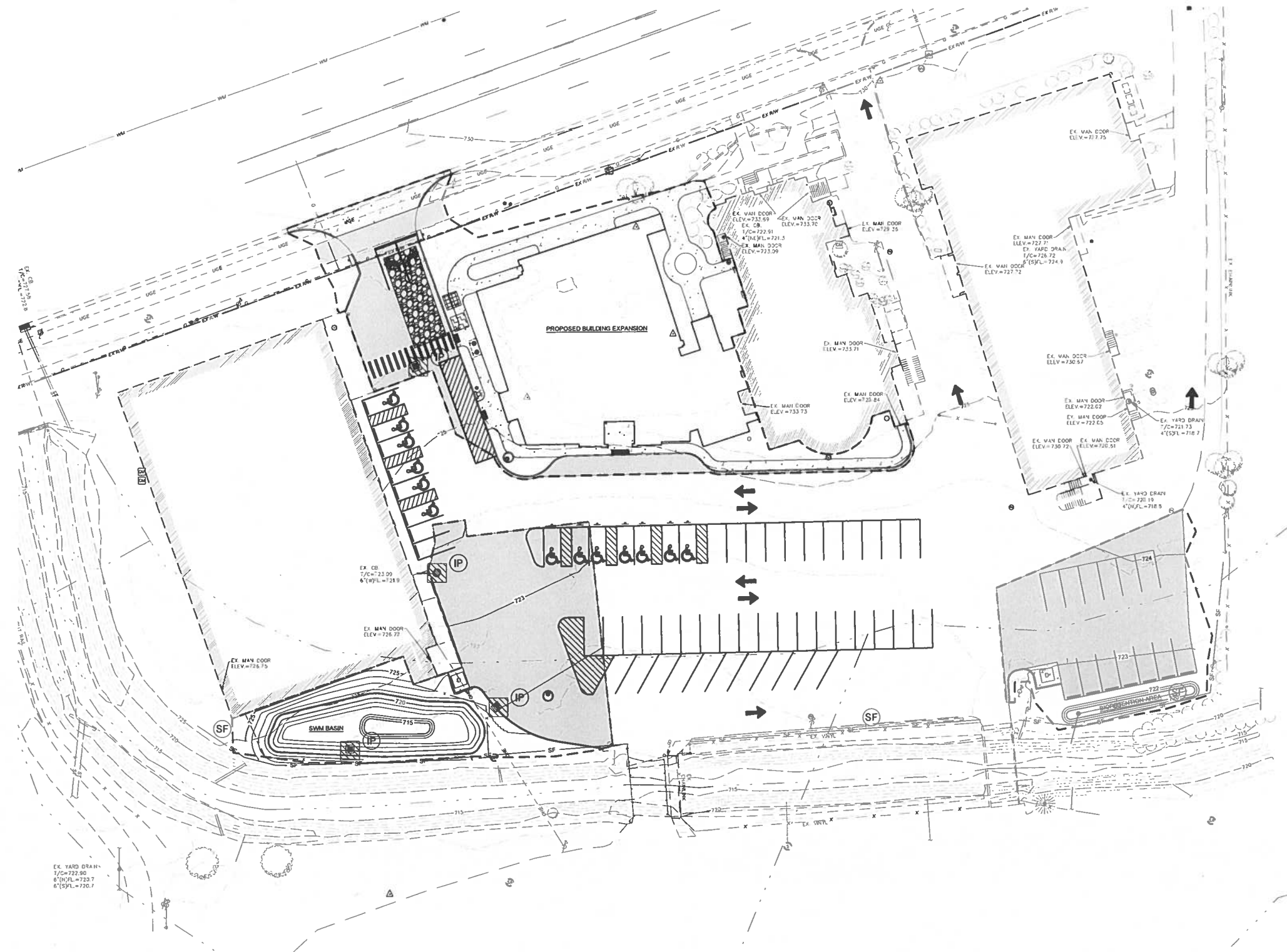
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SWP3 LEGEND	
	STABILIZED CONSTRUCTION PARKING & ACCESS DRIVEWAY
	INLET PROTECTION ON ALL EXISTING & PROPOSED STORM SEWER INLETS & BASINS
	SILT FENCE OR FILTER SOCK AND CONSTRUCTION FENCE
	AREA FOR STORAGE, DISPOSAL, DUMPSTERS, AND/OR FUELING
	CONCRETE WASHOUT FACILITY
	TRUCK WASHING AREA
	PROJECT LIMITS OF CONSTRUCTION / DISTURBANCE

POST SWP3 GENERAL NOTES

1. CONSTRUCTION DRIVE TO BE LOCATED OFF CENTER RIDGE ROAD
2. LIMITS OF DISTURBANCE: 0.93 AC
3. LOCATION OF CONSTRUCTION DRIVE, CONCRETE WASHOUT FACILITY, DUMPSTER AREA, AND FUEL CONTAINMENT DYKE ARE SHOWN FOR REFERENCE ONLY. FINAL LOCATION TO BE DETERMINED BY THE CONTRACTOR AS APPROVED BY OWNER.
4. TWO WORKING DAYS BEFORE BEGINNING UNDERGROUND CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OHIO UTILITIES PROTECTION SERVICE AT 1-800-362-2764 AND OIL & GAS PRODUCERS UNDERGROUND PROTECTION SERVICE AT 1-800-925-0988. THE EXACT SIZES, LOCATIONS AND DEPTHS OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DETERMINED WITHOUT EXCAVATION. THE CONTRACTOR SHALL EXCAVATE TO DETERMINE ACTUAL SIZES, LOCATIONS AND DEPTHS BEFORE CONSTRUCTION BEGINS, AND SHALL REPORT SAME TO THE ENGINEER. THE CONTRACTOR SHALL USE DUE DILIGENCE TO PROTECT ALL UNDERGROUND FACILITIES FROM DAMAGE. THE APPROXIMATE SIZES, LOCATIONS AND DEPTHS OF UNDERGROUND FACILITIES KNOWN TO US ARE DEPICTED HEREON ACCORDING TO SURFACE OBSERVATIONS COMBINED WITH INFORMATION FROM AVAILABLE RECORDS AND DRAWINGS. APPROXIMATE UNDERGROUND SIZES, LOCATIONS AND DEPTHS ARE NOT GUARANTEED, AND SHALL NOT BE SCALED.
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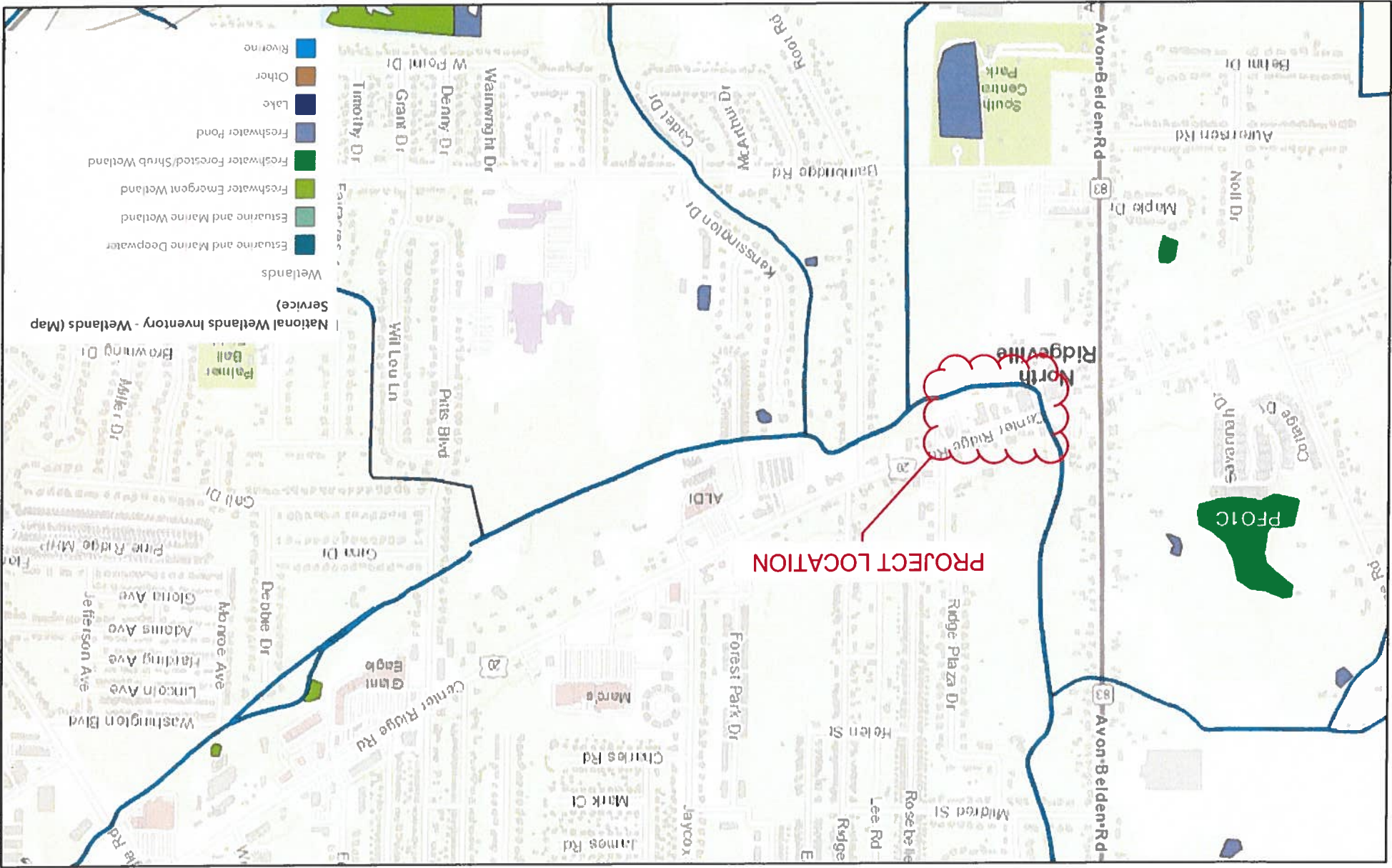


SEP 13 2024

SAINT PETER PARISH PARISH HALL ADDITION

**ADDITIONAL INFORMATION
13 SEPTEMBER 2024**

National Wetlands Inventory



9/11/2024

47207 E 1 J35

1:18,056
0 0.1 0.2 0.35 0.7 km
0 0.1 0.2 0.35 0.7 mi
Esri, HERE, Garmin, INCREMENT P, USGS, MET/NASA, EPA, USDA



SEP 13 2024



RECTORY
TO BE DEMOLISHED



**WHITE BARN
TO BE DEMOLISHED**

SEP 13 2024



TRAILER
TO BE REMOVED



**EXISTING
GYMNASIUM**

SEP 13 2024



EXISTING
CHURCH

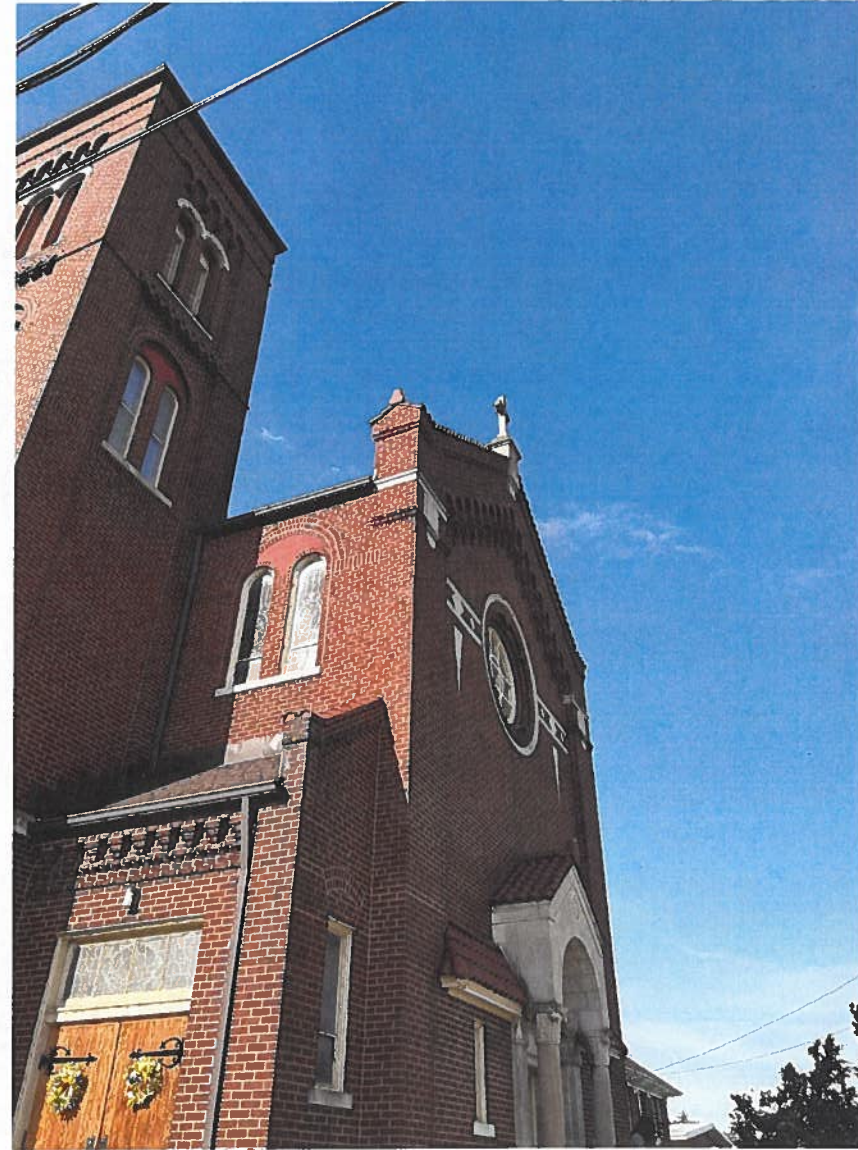


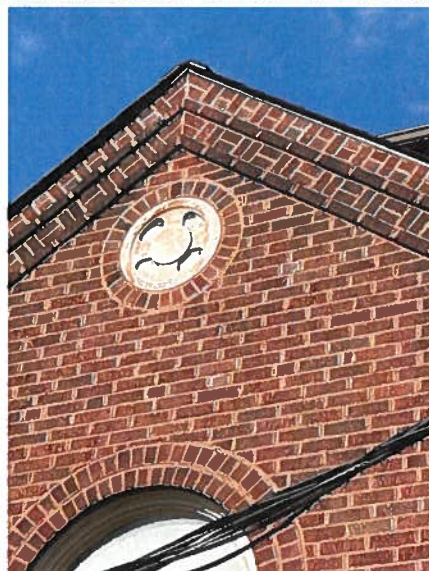
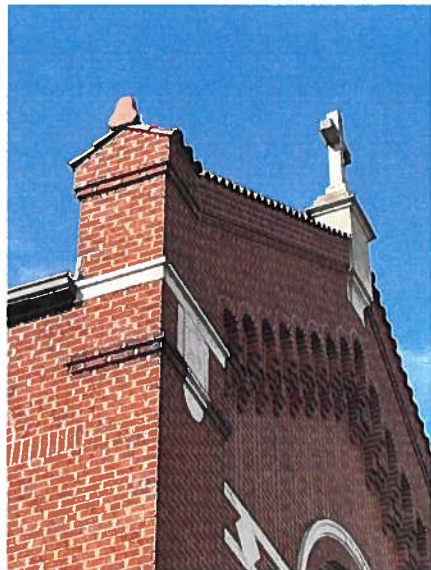
EXISTING
CHURCH

SEP 13 2024



EXISTING
CHURCH





**EXISTING CHURCH
DETAILS**

St. Peters Parish Hall Addition

Prelim Stormwater Volume Req.

SEP 13 2024

Disturbed Area (Acres): 0.93 ac

Stormwater Quantity & Quality Volume Req:

$$0.93 \text{ ac} \times \frac{1}{7} = 0.13 \text{ ac-ft} \\ = \underline{5,787 \text{ cu-ft Req.}}$$

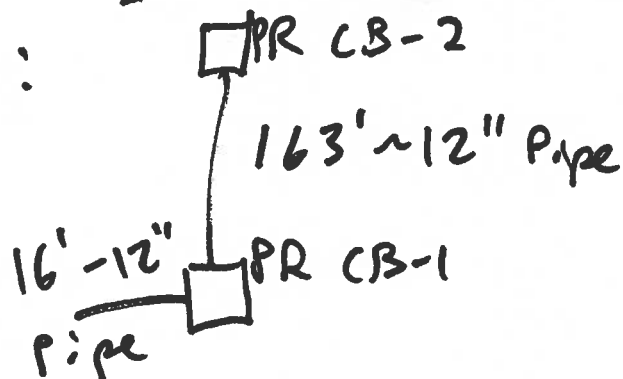
Proposed Storage:

SW Pond: Basin + Forebay

$$4,965 \text{ cu-ft} + 499 \text{ cu-ft}$$

$$= \underline{5,464 \text{ cu-ft}}$$

Pipe Storage:



$$\text{Area} = \pi r^2 = \pi (0.5)^2 = 0.78 \text{ ft}^2$$

$$\text{Volume} = (163' + 16') \times 0.78 \text{ ft}^2 = \underline{139 \text{ cu-ft}}$$

BY JPL DATE 9/11/24 SUBJECT Prelim Storm Calc SHEET NO. 1 OF 2
CHKD. BY _____ DATE _____ JOB NO. _____



OSBORN
ENGINEERING

St. Peters Parish Hall Addition

WQV Provided: Basin + Pipe Storage

$$= 5,464 \text{ cu-ft} + 139 \text{ cu-ft}$$

$$= \boxed{5,603 \text{ cu-ft.}}$$

- * Additional Storage to be designed and provided as a part of the proposed Bio-retention Area in the Southeast area of the site to meet the Volume requirement of 5,787 cu-ft. Detail and calculations to be provided for review by City Engineer prior to permitting.

BY JSL DATE 9/11/24 SUBJECT Prelim Storm Calcs SHEET NO. 2 OF 2
CHKD. BY _____ DATE _____ JOB NO. _____



OSBORN
ENGINEERING

Post-Construction Water Quality Volume As Required Under Ohio NPDES Construction General Permit No. OHC000006

version 1.2 2023-5-15

This spreadsheet calculates the Water Quality Volume required for both new development and redevelopment projects. Green boxes indicate user input for 1) the total area disturbed, 2) planned total impervious surface and, if redevelopment, 3) total existing impervious surface, each in acres. The user must select new or redevelopment from the dropdown menu to apply the proper equation. Use the separate BMP Compliance Spreadsheets to verify a designed practice or combination of practices meets the applicable requirements including the required Water Quality Volume calculated here. This spreadsheet does not account for factors that may affect the final practice design, including offsite run-on or sediment storage volume.

Project Details

Project Name:	St. Peters Parish Hall Addition		
Project ID:			
Project Location:	St. Peters Parish in North Ridgeville, Ohio		
Project Latitude:	41.390394	Longitude:	-82.015678
NPDES Permit Applicant:			
Submitted By:	JPL		
Date:	9/11/2024		

Required Water Quality Volume Calculation

Total Disturbed Area, A = 0.930 acres

Type of Development: Redevelopment ▼

Water Quality Volume Equation: $WQ_v = 0.90 \text{ in.} * A * [(Rv1 * 0.2) + (Rv2 - Rv1)] / 12$ [Equation 3]
where, $Rv = 0.05 + 0.9(i)$

PRE-CONSTRUCTION CONDITIONS

Ex. Impervious Surface = 0.460 acres
Ex. Impervious Fraction, i = 0.495
Rv1 = 0.495

PROPOSED POST-CONSTRUCTION CONDITIONS

Total Impervious Surface Area = 0.500 acres
Impervious Fraction, i = 0.538
Volumetric Runoff Coefficient, Rv2 = 0.534
 $\Delta Rv = 8 \%$

Water Quality Volume, $WQ_v = 0.010 \text{ ac-ft} = 419 \text{ cu. ft.}$

Message Center:

The minimum impervious area to treat with a practice is 0.135 acres



PRELIMINARY

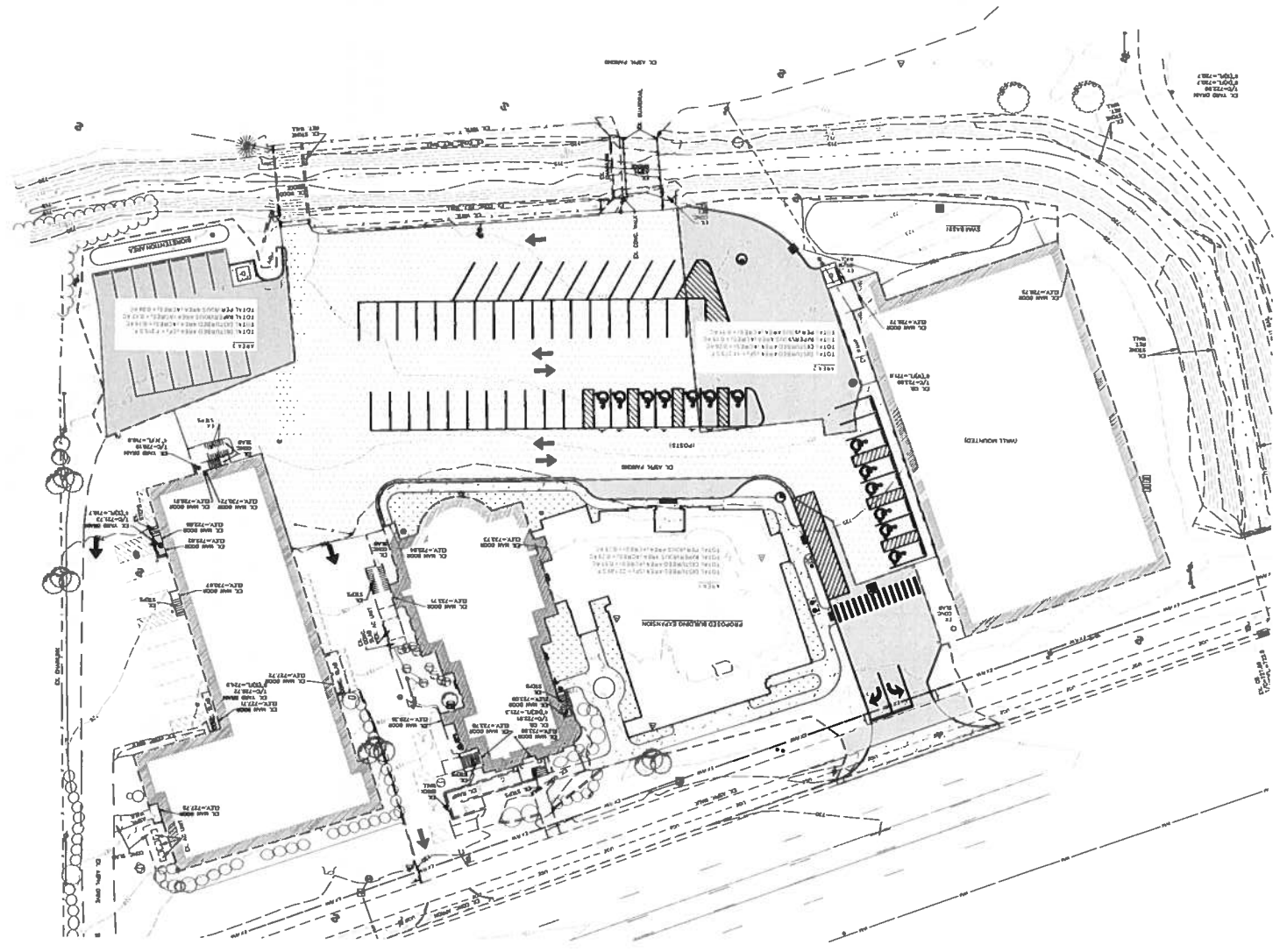
PERSPECTIVUS



LEGEND

- EXIST. SEAL EXISTING ASPHALT PAVING LOT FROM TO
- PROPOSED SEAL EXISTING ASPHALT PAVING LOT FROM TO
- PROPOSED CONCRETE WALK DRIVE W/NO HAND
- ADDITIONAL PROPOSED WALK DRIVE W/NO HAND
- PROPOSED LANDSCAPE AREAS SEE LAYOUT
- PLANTING OF DISTURBANCE

TOTAL AREA DISTURBANCE
AREA 1 = 0.11 AC
AREA 2 = 0.18 AC
TOTAL = 0.29 AC



Campus Parking Count with Parish Hall	Regular Spaces	HC Spaces
North Lot (North of French Creek)	62	14
South Lot (South of French Creek)	148	0
Parish Grounds Parking Area	4	0
	214	14
Total Campus Parking Spaces	228	

Parking Requirements with the Parish Hall			
Building	Parking Requirements per 1285.03-1	Required Spaces	Notes
Gym	1 space per 4 persons at max capacity	100	Assumes 400 max
New Parish Hall	1 space per 3 seats	67	Assumes 200 max
Church	1 space per 4 seats	75	Assumes 300 max
School	1 space per employee + spaces required for assembly	40	
Parish Center (Offices)	1 space per 400 SF	13	
Parish Grounds Building	1 space per employee	4	Assumes 4 employees
Total spaces required if all campus buildings in use simultaneously at maximums		299	

Note: All campus building are not in use simultaneously, nor simultaneously at maximums

SEP 13 2024

Parking Scenarios with Parish Hall	Spaces per Code	Buildings in use per Scenario
Typical School Weekday	57	School + Parish Center + Parish Grounds
Typical Non-School Weekday	17	Parish Center + Parish Grounds
Sunday Mass / Saturday Vigil	75	Church
Typical School Weekday + Large Funeral	132	School + Church + Parish Center + Parish Grounds
Evening non-mass events	180	Gym + Parish Hall + Parish Center
Easter / Christmas Masses with overflow	142	Church + Parish Hall
Gym Event + Saturday Vigil	175	Gym + Church

September 13, 2024

Kim Lieber, AICP
Director of Planning & Economic Development
City of North Ridgeville
7307 Avon Belden Road
North Ridgeville, Ohio 44039

Subject: Saint Peter Catholic Church – Parish Hall Addition – Planning Commission Submission

Dear Ms. Lieber:

Per our correspondence and your guidance, please see our Planning Commission submission for a new Parish Hall Addition at Saint Peter Catholic Church. We have provided ten hard copies and one digital copy.

We have included the following documents:

- Application + Checklist
- Summary Design Narrative
- Demolition Site Plan
- Proposed Site Plan with Grading
- Proposed Site Utilities Plan
- Parking Calculations
- Dumpster Enclosure Information
- Site Lighting Information
- Proposed Building Floor Plans
- Proposed Building Elevations
- Proposed Renderings
- Additional contextual and existing conditions images of campus

We look forward to your review, the staff work session on September 24th, and the Planning Commission meeting on October 8th.

Please note that parcel consolidation is underway.

If there are any questions, please reach out to me directly at 440-785-2415 or phyland@perspectus.com.

Sincerely,



Patrick Hyland
Senior Project Director

SEP 13 2024

To Kim Lieber, AICP, Director of Planning + Economic Development, City of North Ridgeville
From Patrick Hyland, Perspectus
Date September 13, 2024
Re: Saint Peter Catholic Church – Parish Hall Addition
CC: NA

As part of submission, we have developed the following design narrative to supplement the submitted drawings.

DESIGN NARRATIVE:

The Parish Hall will include the following spaces: event hall, kitchen, dry storage room, small meeting room, restrooms (men's, women's, and family) and several support spaces (mechanical room, IT room, elevator disconnect room, and janitors closet. The addition will also include an elevator to provide full accessibility to the addition, church main sanctuary, and church basement.

The Parish Hall will be utilized to support parish activities and provide additional meeting space for the various ministries. Activities include after-mass socials and breakfasts, parish meals, and general meetings. The Hall will not be rented to outside groups. The kitchen will be operated by parishioners.

The Parish Hall will be an addition to the existing Saint Peter Church. The addition will be situated directly west of the church, connecting along the west transept. The addition north façade will be parallel to the north façade of the church. The right-of-way and the existing church north façade are not parallel, with a divergence of 1.8 degrees. The addition is setback 24'-6" from the Center Ridge Road right-of-way, at the northwest corner of the building. The north façade of the addition 3'-0" south of the Gymnasium north façade, 2'-10" north of the church façade, but 11'-2" south of the north faced of the existing church front ramp.

The construction of the addition will necessitate the demolition of the existing rectory, the demolition of the existing west exterior stairs of the church, and other site modifications.

The addition is composed of three general massing elements: the one story-and-a-half story event space mass, the two-story narthex mass, and the one-story wrap around mass. The building facades will be composed of primarily red brick masonry (assuming Glen-Gery Lawrenceville – Vertical Scratched Flashed) on CMU block back-up / bearing wall. A brick soldier course will wrap the building. A cast stone belt course will also wrap the building. The parapet coping will be cast stone on the flat roof areas. The south entry element, north grotto element, and west entry will have a cast stone base. For the gabled masses, basket weave brick detailing will run up and across the eaves, referencing similar detailing on the church. Flat roofs (not visible) will be white EPDM membrane roof. Sloped roofs will be asphalt shingles (assuming Certain Teed Grand Manor Weathered Wood).

The existing site falls approximately 4'-0" from Center Ridge Road (729') to the main south entry (725').

Event Center Mass

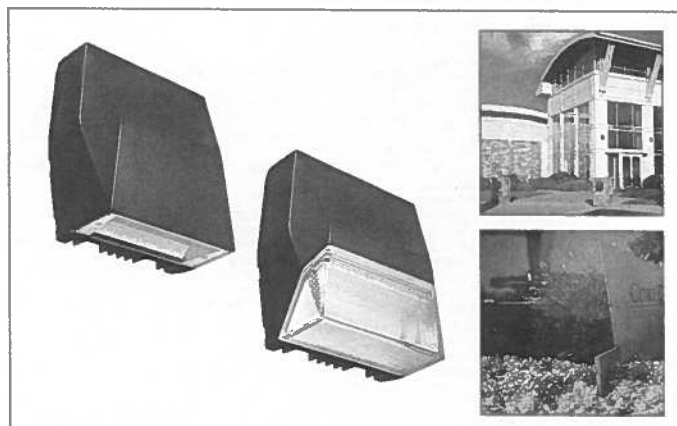
The Event Space mass is a gabled element, with the roof ridge running north-south, with 5/12 roofs sloping east and west. The north (Center Ridge Road) elevation will possess a tri-partite element with flanking shallow articulated arched niches and a higher central portion with a higher and deeper arched niche to possess a statue and votive element. Decorative inset cast stone diamonds, in reference to the church north façade, will articulate this mass. A set of windows will be set in the east façade of the event center. Walls will be red brick to match the church with a belt soldier course, a cast stone belt course, and cast stone copings. Roof will be asphalt shingles. A cast stone cross will be mounted at the peak of the north façade. Gutters and downspouts will be brown/bronze to match the same elements on the church. Windows frames will be champagne-colored to reference the existing cream color of the church's windows. The mass in plan is 55' x 62', with a roof peak of 32'-0" above the finished floor of the main hall, 28'-0" above finished grade at the north facade. The cast stone cross is 6'-0" high.

SEP 13 2024



**DUMPSTER ENCLOSURE
DESIGN INTENT**

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

Axcent

Wall Mount Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Product Specifications page 4
- Energy and Performance Data page 4
- Control Options page 6

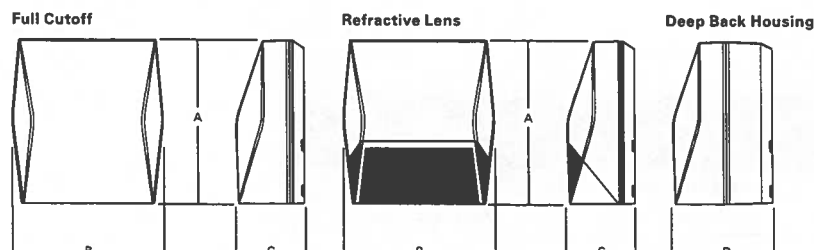
Quick Facts

- Available in 14W - 116W (1,800 - 16,000 lumens) models
- Full cutoff and refractive lens models available
- Energy and maintenance savings up to 95% compared to HID
- Energy efficient illumination results in up to 144 LPW
- Replaces 70W up to 450W HID equivalents

Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless
- Enlighted

Dimensional Details



Dimensional Data

	AXCS Small	AXCL Large
A	8" [202mm]	11-1/2" [292mm]
B	7-1/2" [190mm]	10-3/4" [273mm]
C	3-5/8" [94mm]	4-7/8" [124mm]
D	6-1/8" [155mm]	7-1/8" [181mm]

Ordering Information

SAMPLE NUMBER: AXCS1A-AP-347V

Domestic Preferences ²⁷	Model Series ¹	LED Color Temperature	Color	Options (Add as Suffix)
[Blank]=Standard BAA=Buy American Act TAA=Trade Agreements Act	Full Cutoff AXCS1A=14W AXCS2A=21W AXCS3A=27W AXCS4A=44W AXCS5A=52W AXCL6A=50W AXCL8A=66W AXCL10A=89W AXCL12A=116W Refractive Lens AXCS1ARL=14W AXCS2ARL=21W AXCS3ARL=27W AXCS4ARL=44W AXCS5ARL=52W AXCL6ARL=50W AXCL8ARL=66W AXCL10ARL=89W AXCL12ARL=116W	[Blank]=4000K, Neutral C=5000K, Cool W=3000K, Warm	[Blank]=Carbon Bronze (Standard) WT=Summit White BK=Black AP=Grey GM=Graphite Metallic DP=Dark Platinum	347V=347V ² 480V=480V ² PC1=Photocontrol 120V ^{3, 4, 5} PC2=Photocontrol 208-277V, 347V, 480V ^{4, 5, 6} PC=Photocontrol 120-277V, 347V, 480V ^{4, 7, 8} KKIT=Knuckle Floodlight Mount ⁷ TRNKIT=Trunnion Floodlight Mount SFKIT=Slipfitter Floodlight Mount PMAKIT=Pole Mount Arm WPS2XX=Wavelinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting Height ^{4, 9, 10, 11} WPS4XX=Wavelinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting Height ^{4, 9, 10, 11} WLS2XX=Wavelinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting Height ^{4, 9, 10, 11} WLS4XX=Wavelinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting Height ^{4, 9, 10, 11} LWR-LW=Enlighted Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ^{4, 9, 12} LWR-LN=Enlighted Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ^{4, 9, 12} MSP/DIM-L12=Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height ^{4, 9, 13} MSP/DIM-L30=Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height ^{4, 9, 13} MSP-L12=Integrated Sensor for ON/OFF Operation, 8' - 12' Mounting Height ^{4, 9, 13} MSP-L30=Integrated Sensor for ON/OFF Operation, 12' - 30' Mounting Height ^{4, 9, 13} CBP=Cold Weather Battery Pack ^{3, 14, 15, 16, 17, 18} CBP-CEC=Cold Weather Battery Pack, CEC compliant ^{3, 14, 15, 16, 17, 18} 10K=10kV/10kA Surge Protection HA=50°C High Ambient ^{15, 19} GRF=Glare Reducing Lens ²⁰ AHD145=After Hours Dim, 5 Hours ^{5, 21} AHD245=After Hours Dim, 6 Hours ^{5, 21} AHD355=After Hours Dim, 7 Hours ^{5, 21} AHD355=After Hours Dim, 8 Hours ^{5, 21}

Accessories (Order Separately) ^{22, 24}

VS/AXCS-XX=Vandal Shield Axcent Small^{7, 22}
 VS/AXCS-MS=Vandal Shield Axcent Small (With Motion Sensor)^{7, 22}
 WG/AXCS=Wire Guard Axcent Small⁷
 WG/AXCS-MS=Wire Guard Axcent Small (With Motion Sensor)⁷
 VS/AXCL-XX=Vandal Shield Axcent Large^{5, 22}
 VS/AXCL-MS=Vandal Shield Axcent (With Motion Sensor)^{5, 22}
 WG/AXCL=Wire Guard Axcent Large⁵
 WG/AXCL-MS=Wire Guard Axcent (With Motion Sensor)⁵
 BB/AXC-PC=Axcent Lumen Select Back Box with PC, Carbon Bronze^{24, 25}
 BB/AXC-WT=Axcent Lumen Select Back Box, Summit White²⁴
 BB/AXC-WT-PC=Axcent Lumen Select Back Box with PC, Summit White^{24, 25}

KKIT/AXCS-XX=Knuckle and Visor Floodlight Kit (For Axcent Small)⁷
 SFKIT/AXCS-XX=Slipfitter Floodlight Kit (For Axcent Small)⁷
 TRNKIT/AXCS-XX=Trunnion and Visor Floodlight Kit (For Axcent Small)⁷
 TRNKIT-XX=Trunnion Floodlight Kit (For Axcent Large)⁵
 SFKIT-XX=Slipfitter Floodlight Kit (For Axcent Large)⁵
 PMAKIT-XX=Pole Mount Kit
 ISHH-01=Integrated Sensor Programming Remote²⁴
 MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon
 MA1011-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon
 MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon
 MA1018-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon

NOTES:

- DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
- Transformer used only when ordered with motion sensor or AXCS1 through AXCS5 or AXCL6 fixture wattages.
- Not available in 347 or 480 VAC.
- Button photocontrol and any motion sensor (MSP or LWR) not offered together.
- Only available on AXCL6-AXCL12 models.
- Used with 277, 347, and 480 VAC options.
- Only available on AXCS1-AXCS5 models.
- This configuration may contain materials that are not RoHS compliant. Contact your lighting representative for more information.
- Uses deep back housing.
- Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). For the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with Wavelinx system and software and requires system components to be installed for operation. See website for more Wavelinx application information.
- Replace XX with sensor color (WH, BZ, or BK).
- Enlighted wireless sensors are factory installed and require network components LWP-EM-1, LWP-GW-1, and LWP-PoE8 in appropriate quantities. See website for application information.
- The ISHH-01 accessory is required to adjust parameters.
- Ambient operating temperature -20°C to 25°C for AXCL6 through AXCL10. Ambient operating temperature -20°C to 30°C on AXCS4 models. Ambient operating temperature -20°C to 40°C on AXCS1 through AXCS3 models.
- Not available with AXCS5 or AXCL12 models.

- Uses deep back housing for AXCS1, AXCL2, AXCS3, and AXCS4 models.
- Not to be mounted in upwards / inverted orientation. Downlight wall mount only for AXCS1 through AXCS4.
- CBP cannot be used with PC and motion sensor (MSP or LWR). CBP can be used with PC or motion sensor (MSP or LWR).
- Can not be ordered with CBP or PC options.
- Use dedicated IES files on product website for lumen values and distributions.
- Requires the use of PC1 or PC2 button photocontrol. See After Hours Dim supplemental guide for additional information.
- Replace XX with color designation.
- For use with full cutoff lens configurations only.
- Lumen Select functionality not available in conjunction with any motion sensor option (MSP or LWR). Photocontrol back box not available with any photocontrol or motion sensor options (PC, MSP or LWR).
- Photocell only operates at 120-277V input voltages. Not for use with 347 or 480V systems.
- This tool enables adjustment to parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information.
- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC.PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.

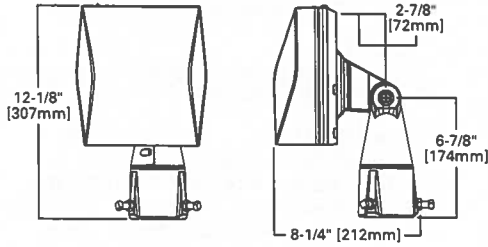
Stock Ordering Information

Model Series ¹			
Full Cutoff		Refractive Lens	
AXCS1A=14W	AXCL10A=102W	AXCS1ARL=14W	AXCL10ARL=89W
AXCS2A=21W	AXCL12A=123W	AXCS2ARL=21W	AXCL12ARL=116W
AXCS3A=27W	AXCL6A=347V=50W	AXCS3ARL=27W	AXCL6ARL=347V=50W
AXCS4A=44W	AXCL8A=347V=66W	AXCS4ARL=44W	AXCL8ARL=347V=66W
AXCS5A=52W	AXCL10A=347V=89W	AXCS5ARL=52W	AXCL10ARL=347V=89W
AXCL6A=56W	AXCL12A=347V=116W	AXCL6ARL=50W	AXCL12ARL=347V=116W
AXCL8A=72W		AXCL8ARL=66W	

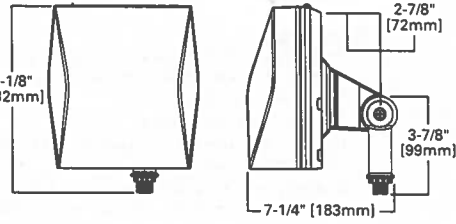
Note: All stock configurations are 4000K color temperatures, standard Carbon Bronze finish, and wall mount configuration.

Mounting Details

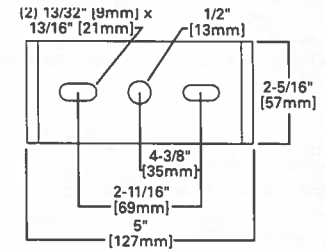
Slipfitter Mount (Small)
Tenon OD: 2-3/8" | EPA: 0.60



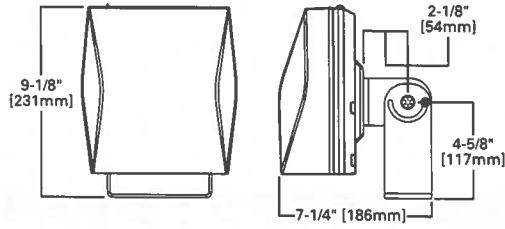
Knuckle Mount (Small)



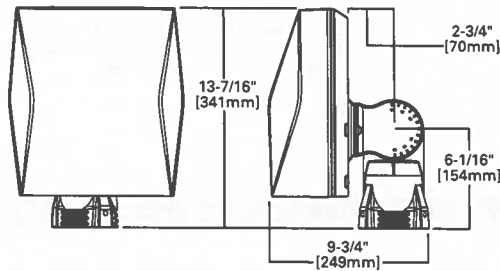
Trunnion Mount Detail



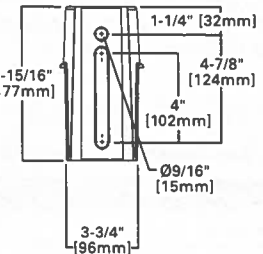
Trunnion Mount (Small)



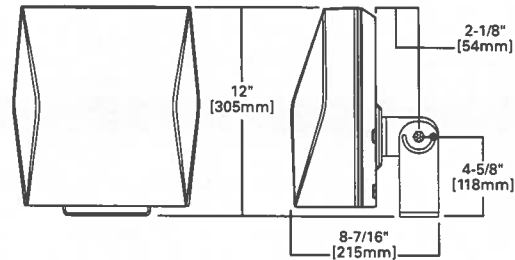
Slipfitter Mount (Large)
Tenon OD: 2-3/8" to 2-7/8" | EPA: 1.10



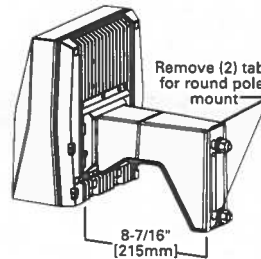
Pole Mount Arm Drill Pattern



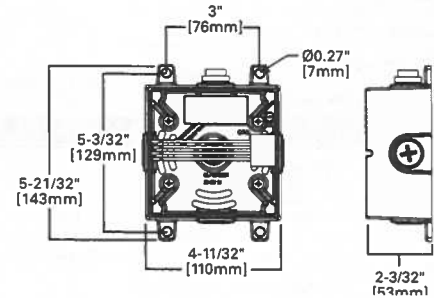
Trunnion Mount (Large)



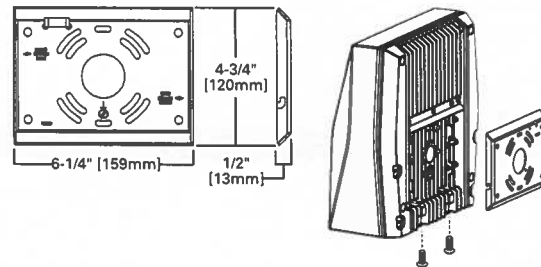
Pole Mount Arm (Large)
EPA: 1.10



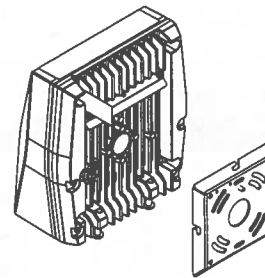
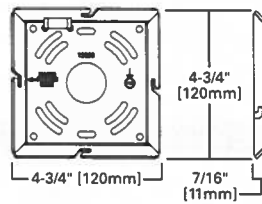
Lumen Select Back Box



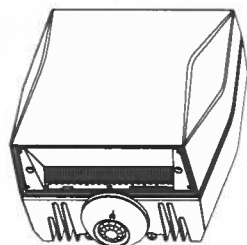
Wall Mount Plate Detail (Large)



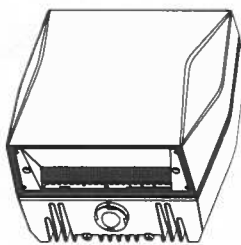
Wall Mount Plate Detail (Small)



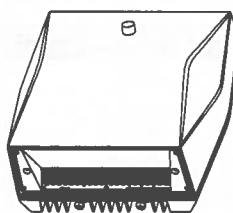
Enlighted Sensor



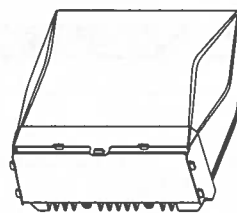
Occupancy Sensor



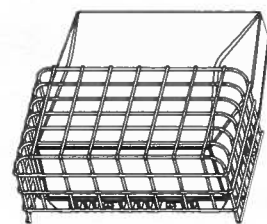
Button Photocontrol



Vandal Shield



Wire Guard



Product Specifications

Construction

- Die-cast aluminum housing
- External back fin design extracts heat from the surface to thermally optimize design for longer luminaire life

Optics

- Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)
- Silicone-sealed optical LED chamber
- Acrylic refractive or full cutoff lens options for Type IV distributions

Electrical

- Standard universal voltage (120-277V, 50/60Hz)
- Driver incorporates 6kV surge protection
- -40°C minimum operating temperature
- 40°C maximum operating temperature
- <20% total harmonic distortion

- 0-10V dimming driver is standard with leads external to the fixture

Mounting

- Steel wedge mounting plate fits directly to 4" standard j-box or directly to wall with the "Hook-N-Lock" mechanism
- Stainless steel set screws
- Lumen Select Back Box accessory offers four 1/2" NPT conduit entry wire ways. Resistor Pack combinations allow field-dimming of 75% or 50% when connected to luminaire dimming leads
- Not suitable for indoor use when installed in inverted/uplight orientation

Emergency Egress

- Optional integral cold weather battery emergency egress includes emergency operation test switch, an AC-ON indicator light and a premium, maintenance-free battery pack

- The separate emergency lighting LEDs are wired to provide redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting

Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness

Shipping Data

- Small fixture=5 lbs. [2.36 kgs.]
- Small with sensor or CBP=10 lbs. [4.40 kgs.]
- Large fixture=12 lbs. [5.45 kgs.]
- Large with sensor or CBP=17 lbs. [7.73 kgs.]
- Large with sensor & CBP=21 lbs. [9.54 kgs.]

Warranty

Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

Power and Lumens (Axcent Small)

Light Engine		AXCS1A	AXCS2A	AXCS3A	AXCS4A	AXCS5A
Power (Watts)		14	21	27	44	52
Input Current @ 120V (A)		0.12	0.18	0.23	0.37	0.43
Input Current @ 240V (A)		0.06	0.09	0.11	0.18	0.22
Input Current @ 277V (A)		0.05	0.08	0.10	0.16	0.19
Input Current @ 347V (A)		0.04	0.06	0.08	0.13	0.15
Input Current @ 480V (A)		0.03	0.04	0.06	0.09	0.11
Configuration						
Full Cutoff	4000K/5000K Lumens	1,806	2,561	3,537	5,520	6,300
	3000K Lumens	1,526	2,164	2,989	4,665	5,324
	BUG Rating	B1-U0-G0	B1-U0-G0	B1-U0-G0	B2-U0-G1	B2-U0-G1
Refractive Lens	4000K/5000K Lumens	1,915	2,716	3,704	5,858	6,699
	3000K Lumens	1,618	2,295	3,130	4,950	5,661
	BUG Rating	B1-U3-G2	B1-U3-G2	B1-U3-G2	B1-U4-G3	B1-U4-G3

Power and Lumens (Axcent Large)

Light Engine		AXCL6A	AXCL8A	AXCL10A	AXCL12A
Power (Watts)		50	66	89	115
Input Current @ 120V (A)		0.41	0.54	0.74	0.96
Input Current @ 240V (A)		0.21	0.27	0.37	0.48
Input Current @ 277V (A)		0.18	0.24	0.32	0.42
Input Current @ 347V (A)		0.14	0.19	0.26	0.33
Input Current @ 480V (A)		0.10	0.14	0.19	0.24
Configuration					
Full Cutoff	4000K Lumens	7,594	9,716	12,719	16,302
	5000K Rating	7,501	9,598	12,564	16,103
	3000K Lumens	6,502	8,319	10,890	13,958
	BUG Rating	B2-U0-G1	B2-U0-G2	B3-U0-G2	B3-U0-G2
Refractive Lens	4000K Lumens	7,809	10,331	13,665	16,637
	5000K Rating	7,714	10,205	13,498	16,434
	3000K Lumens	6,686	8,845	11,700	14,244
	BUG Rating	B1-U4-G4	B2-U5-G5	B2-U5-G5	B2-U5-G5

Energy and Performance Data

Power and Lumens (Small + CBP)

Light Engine		AXCS1A	AXCS2A	AXCS3A	AXCS4A
Power (Watts)		18	25	31	48
Input Current @ 120V (A)		0.15	0.21	0.26	0.40
Input Current @ 240V (A)		0.08	0.11	0.13	0.20
Input Current @ 277V (A)		0.07	0.09	0.11	0.18
Configuration					
Full Cutoff	4000K/5000K Lumens	629	587	647	570
	3000K Lumens	531	496	547	482
Refractive Lens	4000K/5000K Lumens	667	623	686	605
	3000K Lumens	563	526	580	511

Note: Power and current based on full power consumption while CBP is charging. Lumen outputs are while operating in emergency mode only.

Power and Lumens (Large + CBP)

Light Engine		AXCL6A	AXCL8A	AXCL10A
Power (Watts)		54	70	93
Input Current @ 120V (A)		0.45	0.58	0.77
Input Current @ 240V (A)		0.22	0.29	0.38
Input Current @ 277V (A)		0.19	0.25	0.33
Configuration				
Full Cutoff	4000K/5000K Lumens	=141*10W=1410		
	3000K Lumens	122*10=1220		
Refractive Lens	4000K/5000K Lumens	151*10=1510		
	3000K Lumens	131*10=1310		

Note: Power and current based on full power consumption while CBP is charging. Lumen outputs are while operating in emergency mode only.

Power and Lumens Multipliers (Lumen Select Back Box + Axcent Small)

Configuration		~75% Nominal Output	~50% Nominal Output
Catalog Number	Material Number	Connect per Installation Instructions	
AXCS1A*	13109741 or 13109939 or Other	74%	50%
AXCS2A*	13109698 or 13109938 or Other	74%	50%
AXCS3A*	13109697 or 13109937 or Other	74%	50%
AXCS4A*	13109695 or 13109936	75%	40%
AXCS4A*	13495299 or 13495470 or Other	72%	50%
AXCS5A*	13109652 or 13109935	75%	40%
AXCS5A*	13495471 or 13495472 or Other	72%	50%

Power and Lumens Multipliers (Lumen Select Back Box + Axcent Large)

Configuration		~75% Nominal Output	~50% Nominal Output
Catalog Number	Material Number	Connect per Installation Instructions	
AXCL6A*	13645910 or 13645979	69%	47%
AXCL8A*	13645970 or 13645984	69%	47%
AXCL10A*	13645971 or 13645989	69%	47%
AXCL12A*	13645972 & 13645993	72%	49%

Lumen Maintenance (Axcent Small)

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
Up to 3A		
25°C	90%	246,000
40°C	90%	225,000
50°C	89%	195,000
Up to 5A		
25°C	89%	240,000
40°C	88%	223,000
50°C	87%	186,000

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.97

Lumen Maintenance (Axcent Large)

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
Up to 8A		
25°C	89%	216,000
40°C	87%	192,000
50°C	86%	179,000
Up to 10A		
25°C	88%	199,000
40°C	86%	179,000
50°C	85%	162,000
Up to 12A		
25°C	85%	162,000
40°C	82%	138,000

Control Options

0-10V This fixture is offered standard with 0-10V dimming driver(s) for use with a lighting control panel or other control method.

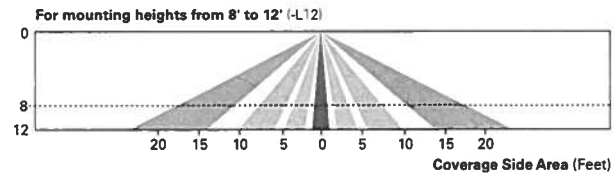
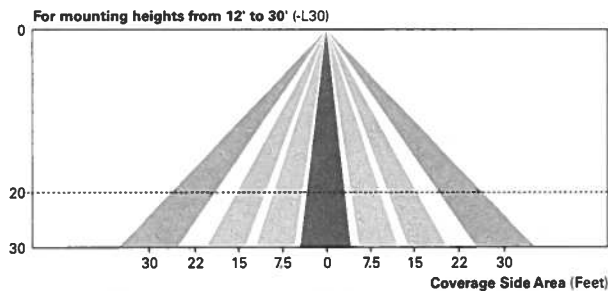
Photocontrol (PC1, PC2 and PC) Optional button-type photocontrol provides a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels.

After Hours Dim (AHD) This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MSP/DIM-LXX and MSP-LXX) These sensors are factory installed in the luminaire housing. When the MSP/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MSP/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of ten minutes. The MSP-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity.

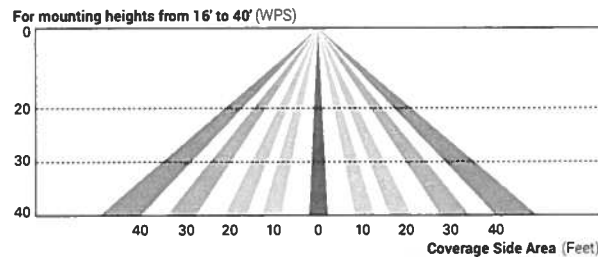
These occupancy sensors includes an integrated photocell that can be activated with the ISHH-01 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is ON. The ISHH-01 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-30'.

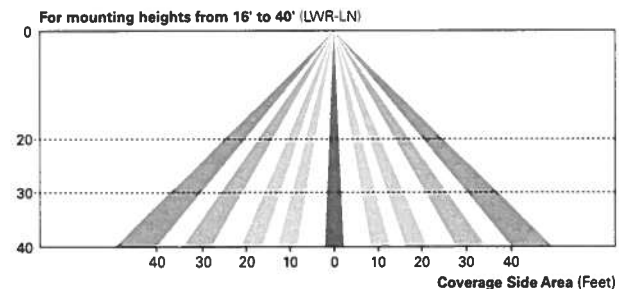
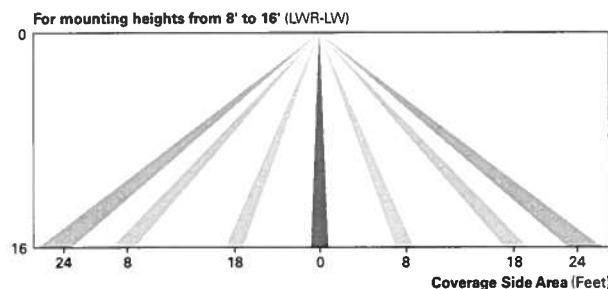


WaveLinx Wireless Control and Monitoring System The WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. Use the WaveLinx Mobile application for set-up and configuration. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

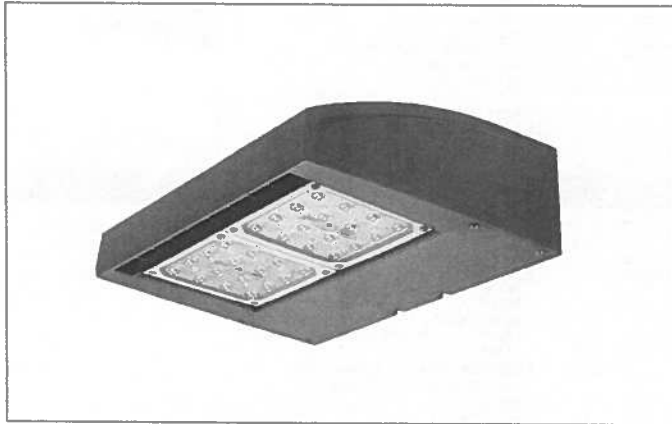
WaveLinx Wireless Sensor (WPS2 and WPS4) These outdoor sensors offer passive infrared (PIR) occupancy and a photocell for closed loop daylight sensing. These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or daylight harvesting that is factory-enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



Enlighted Wireless Control and Monitoring System (LWR-LW and LWR-LN) The Enlighted System is a connected lighting solution that combines LED luminaires with an integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of other resources beyond lighting.



Project		Catalog #		Type	
Prepared by		Notes		Date	



Streetworks

GAW Galleon Wall

Wall Mount Luminaire

Product Features



Interactive Menu

- Ordering Information page 2
- Product Specifications page 2
- Optical Distributions page 3
- Energy and Performance Data page 4
- Control Options page 6

Product Certifications



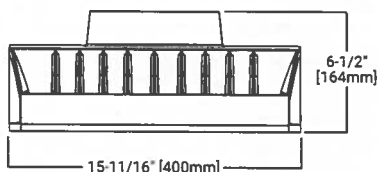
Quick Facts

- Choice of thirteen high-efficiency, patented AccuLED Optics
- Downward and inverted wall mounting configurations
- Eight lumen packages from 3,215 up to 17,056
- Efficacies up to 154 lumens per watt

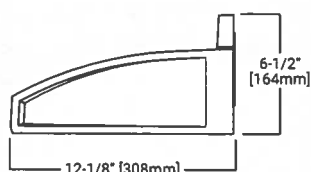
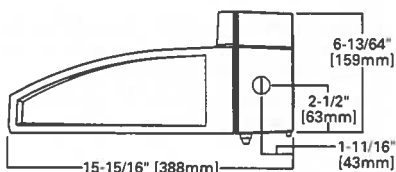
Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless
- Enlighted

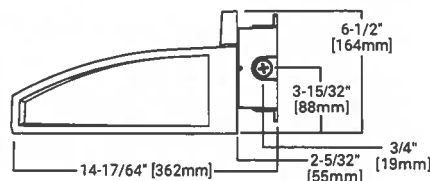
Dimensional Details



GAW with CBP option installed
(Thru-Branch Back Box accessory MA1059XX)



GAW with accessory BB/GAWXX Back Box installed



NOTES:
1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: GAW-SA2C-740-U-T4FT-GM

Product Family ¹	Light Engine		Celer Temperature	Voltage	Distribution	Finish
	Configuration	Drive Current				
GAW=Galleon Wall BAA=GAW=Galleon Wall, Buy American Act Compliant ²⁴ TAA=GAW=Galleon Wall, Trade Agreements Act Compliant ²⁴	SA1=1 Square SA2=2 Squares ²	A=615mA B=800mA C=1000mA D=1200mA ⁴	722=70CRI, 2200K 727=70CRI, 2700K 730=70CRI, 3000K 735=70CRI, 3500K 740=70CRI, 4000K 750=70CRI, 5000K 760=70CRI, 6000K 827=80CRI, 2700K 830=80CRI, 3000K AMB=Amber, 590nm ^{3, 4}	U=120-277V 1=120V 2=208V 3=240V 4=277V 8=480V ^{4, 7} 9=347V ⁶ DV=277-480V DuraVolt Drivers ^{7, 4, 36}	T2=Type II T3=Type III T4FT=Type IV Forward Throw T4W=Type IV Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I 5NQ=Type V Square Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
Options (Add as Suffix)			Controls and Systems Options (Add as Suffix)		Accessories (Order Separately) ³⁵	
F=Single Fused (120, 277 or 347V. Must Specify Voltage) FF=Double Fused (208, 240 or 480V. Must Specify Voltage) 10K=10kV Surge Module 20K=20kV UL 1449 Surge Protective Device 2L=Two-Circuit Light Engine ²⁷ DIM=External 0-10V Dimming Leads ^{9, 18} CBP=Battery Pack with Back Box, Cold Weather Rated ^{2, 4, 14, 32} CBP-CEC=Battery Pack with Back Box, Cold Weather Rated, CEC compliant ^{2, 4, 14} BB=Shipped with Back Box Accessory ²⁸ L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right HSS=Factory Installed House Side Shield ²³ GRSBK=Factory Installed Glare Shield, BK ^{4, 27} GRSWH=Factory Installed Glare Shield, WH ^{4, 27} UPL=Uplight Housing ¹² HA=50°C High Ambient ¹² LCF=Light Square Trim Plate Painted to Match Housing ²² MT=Factory Installed Mesh Top CC=Coastal Construction finish ⁵ CE=CE Marking and Small Terminal Block ²⁴ AHD14S=After Hours Dim, 5 Hours ¹⁹ AHD24S=After Hours Dim, 6 Hours ¹⁹ AHD25S=After Hours Dim, 7 Hours ¹⁹ AHD35S=After Hours Dim, 8 Hours ¹⁹ DALI=DALI Driver ¹¹ DXXXXX=Department of Transportation - Customer specific details ⁴⁹ UXXXXX=Utility - Customer specific details ⁴⁹			BPC=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) PR=NEMA 3-PIN Twistlock Photocontrol Receptacle PR7=NEMA 7-PIN Twistlock Photocontrol Receptacle ¹⁵ FADC=Field Adjustable Dimming Controller ³⁹ SPB1=Dimming Occupancy Sensor with Bluetooth Interface, <8' Mounting ^{19, 33} SPB2=Dimming Occupancy Sensor with Bluetooth Interface, 8'-20' Mounting ^{19, 33} SPB4=Dimming Occupancy Sensor with Bluetooth Interface, 21'-40' Mounting ^{19, 33} MS-LXX=Motion Sensor for On/Off Operation ^{12, 19, 39} MS/DIM-LXX=Motion Sensor for Dimming Operation ^{12, 19, 39} WPS2XX=WaveLinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{39, 31, 41} WPS4XX=WaveLinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{39, 31, 41} WLS2XX=WaveLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{31, 41} WLS4XX=WaveLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{31, 41} LWR-LW=Enlighted Wireless Sensor, Wide Lens for 8'-16' Mounting Height ^{19, 29, 21} LWR-LN=Enlighted Wireless Sensor, Narrow Lens for 16'-40' Mounting Height ^{19, 29, 21}		OA/RA1013=Photocontrol Shorting Cap OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V MA1252=10kV Circuit Module Replacement MA1059XX=Thru-branch Back Box (Must Specify Color) BB/GAWXX=Back Box (Must Specify Color) LSS/HSS=Field Installed House Side Shield ^{22, 25} LS/GRSBK-2PK=Glare Shield, Black ^{25, 27} LS/GRSWH-2PK=Glare Shield, White ^{25, 27} LS/PFS=Perimeter Shield, Black ²⁴ FSIR-100=Wireless Configuration Tool for Occupancy Sensor ¹⁷ WOLC-7P-10A=WaveLinx Outdoor Control Module (7-pin) ^{24, 29}	

NOTES:

- DesignLight Consortium® Qualified. Refer to www.designlights.org, Qualified Products List under Family Models for details.
- Two light squares with CBP options limited to 25°C. CBP not available in combination with sensor options at 1200mA.
- Narrow-band 590nm +/- 5nm for wildlife and observatory use. Choose drive current A; supplied at 500mA drive current only. Exact luminaire wattage available in IES files. Available with 5WQ, 5MQ, SL2, SL3 and SL4 distributions. Can be used with HSS option.
- Not available with HA option.
- Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654.
- Require the use of a step down transformer. Not available in combination with sensor options at 1200mA.
- 480V not to be used with ungrounded or impedance grounded systems.
- DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signty.com/duravolt for more information.
- Cannot be used with other control options.
- Low voltage control leads extended 18" from fixture.
- Not available in 1200mA. When used with CBP or HA options, only available with single light square.
- Not available in 1200mA, UPL or CBP options. Available with single light square.
- Not available with SL2, SL3, SL4, HA, CBP, PR or PR7 options.
- Operates a single light square only. Operates at -20°C to +40°C. Backbox is non-IP rated. Control option limited to BPC.
- Compatible with standard 3-PIN photocontrols, 5-PIN or 7-PIN ANSI controls.
- Requires the use of BPC photocontrol or the PR7 or PR photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
- The FSIR-100 configuration tool is required to adjust parameters such as high and low modes, sensitivity, time delay and cutoff. Consult your lighting representative at Cooper Lighting Solutions for more information.
- Replace LXX with L08 (<8' mounting), L20 (8'-20' mounting) or L40W (21'-40' mounting.)
- Includes integral photosensor.
- Enlighted wireless sensors are factory installed requiring network components in appropriate quantities.
- Bronze sensor is shipped with Bronze fixtures. White sensor shipped on all other housing color options.
- Not available with HSS or GRS options.
- Not for use with 5NQ, 5MQ, 5WQ or RW optics. The light square trim plate is painted black when the HSS option is selected.
- CE is not available with the 1200, DALI, LWR, MS, MS/DIM, BPC, PR or PR7 options. Available in 120-277V only.
- One required for each light square.
- Requires PR7.
- Not for use with T4FT, T4W or SL4 optics.
- Set of 4 pcs. One set required per Light Square.
- Cannot be used in conjunction with additional photocontrol or other controls systems (BPC, PR, PR7, MS, LWR).
- WAC Gateway required to enable field-configurability. Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed.
- Replace XX with sensor color (WH, BZ, or BK).
- Specify 120V or 277V.
- Smart device with mobile application required to change system defaults. See controls section for details.
- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC.PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.
- Not available in 1 square configuration at 800mA or below. Not available with any control option except SPB.
- 2L not available with FF, AHD or DALI options. Controls and/or battery packs operate only one of the two circuits when 2L is specified. 2L with controls options not available with 347V or 480V.
- Not available with CBP or CBP-CEC options.
- Cannot be used with PR7 or other motion response control options.
- Customer specific specifications utilizes standard products with small adjustments to meet unique requirements such as packaging, labels, wattage adjustments, etc.
- Controls system is not available with photocontrol receptacles (PR, PR7) or other controls systems (FADC, SPB).

Product Specifications

Construction

- Driver enclosure thermally isolated from optics for optimal thermal performance
- Die-cast aluminum heat sinks
- IP66 rated housing
- 1.5G vibration rated

Optics

- Patented, high-efficiency injection-molded AccuLED Optics technology
- 13 optical distributions
- IDA Certified (3000 CCT and warmer only)

Electrical

- LED driver assembly mounted for ease of maintenance
- Standard with 0-10V dimming
- Optional 10kV or 20kV surge module
- Suitable for operation in -40°C to 40°C ambient environments. Optional 50°C high ambient (HA) configuration.

Mounting

- Gasketed and zinc plated rigid steel mounting attachment
- "Hook-N-Lock" mechanism for easy installation

Finish

- Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Heat sink is powder coated black
- RAL and custom color matches available
- Coastal Construction (CC) option available

Shipping Data

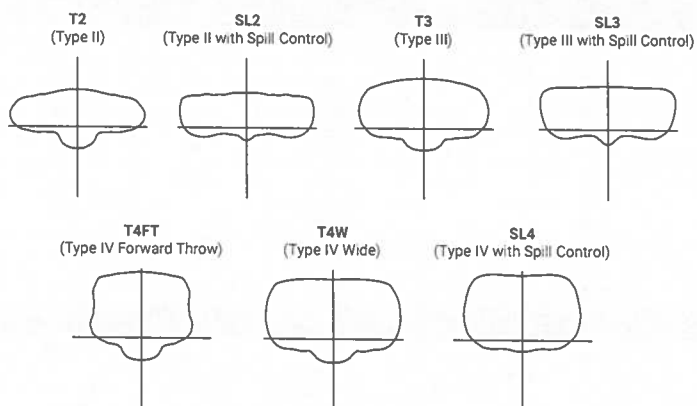
- Net Weight: 17.0 lbs (7.7 kgs)

Warranty

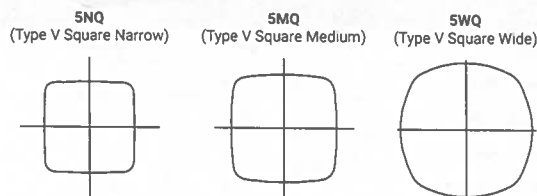
- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Optical Distributions

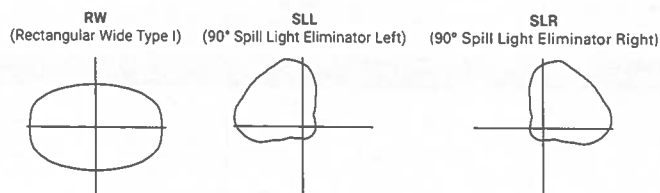
Asymmetric Area Distributions



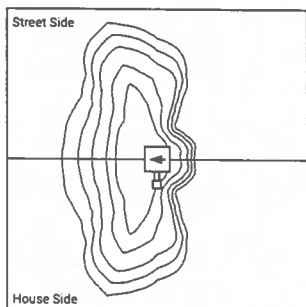
Symmetric Distributions



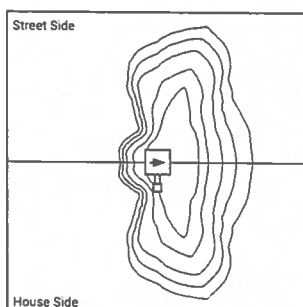
Specialized Distributions



Optic Orientation



Optics Rotated Left @ 90° [L90]



Optics Rotated Right @ 90° [R90]

Energy and Performance Data

Lumen Multiplier

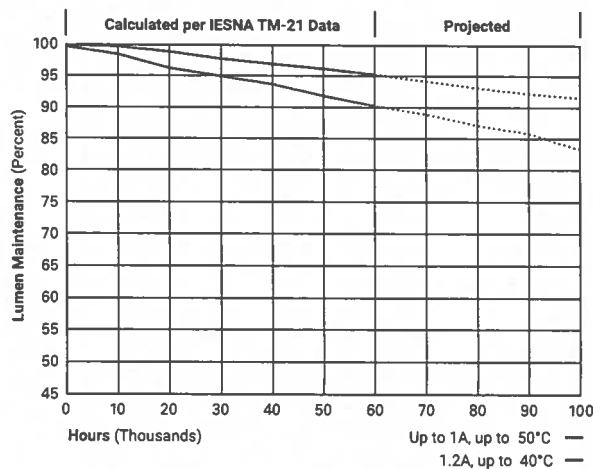
Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

FADC Settings

FADC Position	Percent of Typical Lumen Output
1	25%
2	46%
3	55%
4	62%
5	72%
6	77%
7	82%
8	85%
9	90%
10	100%

Lumen Maintenance

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	> 416,000
1.2A	Up to 40°C	> 90%	> 205,000



Energy and Performance Data

4000K/5000K/6000K CCT, 70 CRI

 View GAW Galleon Wall IES files

Number of Light Squares		1				2			
Drive Current		615mA	800mA	1050mA	1.2A	615mA	800mA	1050mA	1.2A
Nominal Power (Watts)		34	44	59	67	66	86	113	129
Input Current @ 120V (A)		0.30	0.39	0.51	0.58	0.58	0.77	1.02	1.16
Input Current @ 208V (A)		0.17	0.22	0.29	0.33	0.34	0.44	0.56	0.63
Input Current @ 240V (A)		0.15	0.19	0.26	0.29	0.30	0.38	0.48	0.55
Input Current @ 277V (A)		0.14	0.17	0.23	0.25	0.28	0.36	0.42	0.48
Input Current @ 347V (A)		0.11	0.15	0.17	0.20	0.19	0.24	0.32	0.39
Input Current @ 480V (A)		0.08	0.11	0.14	0.15	0.15	0.18	0.24	0.30
Optics									
T2	Lumens	4,883	5,989	7,412	8,131	9,543	11,703	14,485	15,891
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3
	Lumens per Watt	144	136	126	121	145	136	128	123
T3	Lumens	4,978	6,105	7,556	8,288	9,729	11,929	14,764	16,196
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
	Lumens per Watt	146	139	128	124	147	139	131	126
T4FT	Lumens	5,008	6,140	7,599	8,337	9,783	11,998	14,850	16,290
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	147	140	129	124	148	140	131	126
T4W	Lumens	4,942	6,060	7,502	8,229	9,658	11,843	14,658	16,080
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3
	Lumens per Watt	145	138	127	123	146	138	130	125
SL2	Lumens	4,874	5,979	7,399	8,117	9,528	11,684	14,461	15,863
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G3
	Lumens per Watt	143	136	125	121	144	136	128	123
SL3	Lumens	4,976	6,104	7,555	8,287	9,727	11,927	14,763	16,194
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	146	139	128	124	147	139	131	126
SL4	Lumens	4,729	5,799	7,178	7,873	9,239	11,333	14,025	15,387
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4
	Lumens per Watt	139	132	122	118	140	132	124	119
5NQ	Lumens	5,134	6,296	7,793	8,547	10,033	12,303	15,226	16,704
	BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
	Lumens per Watt	151	143	132	128	152	143	135	129
5MQ	Lumens	5,228	6,412	7,935	8,705	10,216	12,529	15,508	17,011
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	154	146	134	130	155	146	137	132
5WQ	Lumens	5,242	6,428	7,956	8,728	10,244	12,563	15,548	17,056
	BUG Rating	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	154	146	135	130	155	146	138	132
SLL/SLR	Lumens	4,373	5,365	6,640	7,283	8,547	10,481	12,973	14,231
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	129	122	113	109	130	122	115	110
RW	Lumens	5,087	6,238	7,721	8,472	9,941	12,190	15,088	16,553
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	150	142	131	126	151	142	134	128

* Nominal lumen data for 70 CRI. BUG rating for 4000K/5000K. Refer to IES files for 3000K BUG ratings

3000K CCT, 80 CRI

Number of Light Squares		1				2			
Drive Current		615mA	800mA	1050mA	1.2A	615mA	800mA	1050mA	1.2A
Nominal Power (Watts)		34	44	59	67	66	86	113	129
Input Current @ 120V (A)		0.30	0.39	0.51	0.58	0.58	0.77	1.02	1.16
Input Current @ 208V (A)		0.17	0.22	0.29	0.33	0.34	0.44	0.56	0.63
Input Current @ 240V (A)		0.15	0.19	0.26	0.29	0.30	0.38	0.48	0.55
Input Current @ 277V (A)		0.14	0.17	0.23	0.25	0.28	0.36	0.42	0.48
Input Current @ 347V (A)		0.11	0.15	0.17	0.20	0.19	0.24	0.32	0.39
Input Current @ 480V (A)		0.08	0.11	0.14	0.15	0.15	0.18	0.24	0.30
Optics									
T2	Lumens	3,880	4,759	5,890	6,461	7,583	9,300	11,510	12,628
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3
	Lumens per Watt	114	108	100	96	115	108	102	98
T3	Lumens	3,956	4,851	6,004	6,586	7,731	9,479	11,732	12,870
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
	Lumens per Watt	116	110	102	98	117	110	104	100
T4FT	Lumens	3,980	4,879	6,038	6,625	7,774	9,534	11,800	12,945
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	117	111	102	99	118	111	104	100
T4W	Lumens	3,927	4,816	5,961	6,539	7,675	9,411	11,648	12,778
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
	Lumens per Watt	116	109	101	98	116	109	103	99
SL2	Lumens	3,873	4,751	5,880	6,450	7,571	9,285	11,491	12,605
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	114	108	100	96	115	108	102	98
SL3	Lumens	3,954	4,851	6,004	6,585	7,729	9,478	11,731	12,868
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	116	110	102	98	117	110	104	100
SL4	Lumens	3,758	4,608	5,704	6,256	7,342	9,006	11,145	12,227
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3	B1-U0-G3	B1-U0-G3
	Lumens per Watt	111	105	97	93	111	105	99	95
5NQ	Lumens	4,080	5,003	6,193	6,792	7,973	9,776	12,099	13,274
	BUG Rating	B2-U0-G0	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2
	Lumens per Watt	120	114	105	101	121	114	107	103
5MQ	Lumens	4,154	5,095	6,305	6,917	8,118	9,956	12,323	13,518
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	122	116	107	103	123	116	109	105
5WQ	Lumens	4,166	5,108	6,322	6,936	8,140	9,983	12,355	13,553
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	123	116	107	104	123	116	109	105
SLL/SLR	Lumens	3,475	4,263	5,276	5,787	6,792	8,329	10,309	11,309
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	102	97	89	86	103	97	91	88
RW	Lumens	4,042	4,957	6,135	6,732	7,900	9,687	11,990	13,154
	BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
	Lumens per Watt	119	113	104	100	120	113	106	102

* Nominal lumen data for 70 CRI. BUG rating for 4000K/5000K. Refer to IES files for 3000K BUG ratings

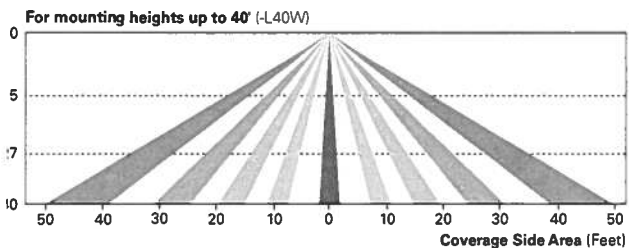
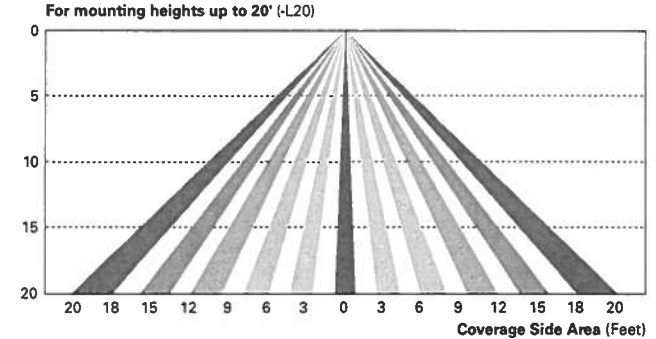
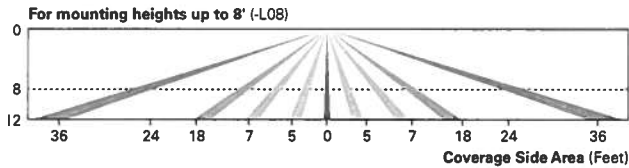
Control Options

0-10V This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

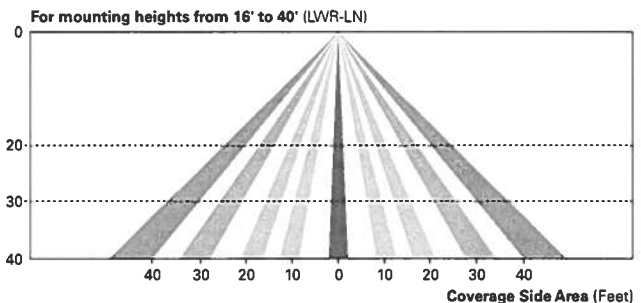
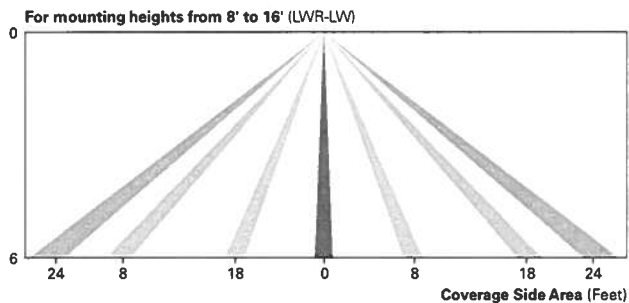
Photocontrol (BPC, PR, and PR7) Optional button-type photocontrol (BPC) and photocontrol receptacles (PR and PR7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PR7 receptacle.

After Hours Dim (AHD) This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (SPB, MS/DIM-LXX and MS-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes. The MS/DIM occupancy sensors require the FSIR-100 programming tool to adjust factory defaults.



Enlighted Wireless Control and Monitoring System (LWR-LW and LWR-LN) The Enlighted control system is a connected lighting solution, combining LED luminaires with an integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes while collecting valuable data about building performance and use. Software applications utilizing energy dashboards maximize data inputs to help optimize the use of other resources beyond lighting.



WaveLinX Wireless Outdoor Lighting Control Module (WOLC-7P-10A) The 7-pin wireless outdoor lighting control module enables WaveLinX to control outdoor area, site and flood lighting. WaveLinX controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

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