



Planning Commission
AGENDA OF JANUARY 10, 2023
POLICE DEPARTMENT TRAINING ROOM
7:00 PM

CALL TO ORDER

ROLL CALL

ELECTION OF OFFICERS:

Chairman
Vice-Chairman
Secretary
Liaison to the Board of Zoning and Building Appeals
Alternate Liaison to the Board of Zoning and Building Appeals

APPROVAL OF MINUTES

1. Regular meeting of December 13, 2022

CORRESPONDENCE

Administrative Approvals & Zoning Certificates

1. **PPZ2022-0158: TropiCLE LLC, 33117 Center Ridge Rd**
Approval of a Certificate of Zoning Compliance for retail sales of indoor tropical plants
2. **PPZ2022-0159: Royal Smokes, 35100 Center Ridge Rd**
Approval of a Certificate of Zoning Compliance for retail sales of tobacco
3. **PPZ2022-0160: The Maker Lab, 34910 Center Ridge Rd, Suite 5**
Approval of a Certificate of Zoning Compliance for retail sales of printing, engraving, routing and design services

Master Plan Update

OLD BUSINESS

NEW BUSINESS

1. **PPZ2022-0156: Lorain County Health & Dentistry, 35557 Center Ridge Rd, PPN 07-00-021-117-086, 07-00-021-117-088**
Applicant: Christine Raymond, Kaczmar Architects, Inc., 1468 W. 9th St, Suite 400, Cleveland, OH 44113. Proposal consists of constructing a medical/dental office building. Property is zoned B-3 Highway Commercial District.

ADJOURNMENT

NOTE: PLEASE USE THE FRONT ENTRANCE TO THE POLICE DEPARTMENT.

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NORTH RIDGEVILLE PLANNING COMMISSION
MINUTES OF REGULAR MEETING
TUESDAY, DECEMBER 13, 2022

CALL TO ORDER:

Chairman Smolik called the Planning Commission meeting to order with the Pledge of Allegiance at 7:00 PM.

ROLL CALL:

Present were members Paul Graupmann, Steve Ali, Vice-Chairwoman Jennifer Swallow, Council Liaison Bruce Abens and Chairman James Smolik. Also present were Planning and Economic Development Director Kimberly Lieber, Assistant Law Director Toni Morgan and Deputy Clerk of Council Tina Wieber.

MINUTES:

Chairman Smolik asked if the members had a chance to review the minutes of the regular meeting on November 8, 2022. He asked if there were any corrections. Hearing no corrections, the minutes were approved.

CORRESPONDENCE:

Master Plan Update

Chairman Smolik explained that the City was in the process of a Master Plan Update and that they hired a Planning Next as a consultant out of Columbus, Ohio. He stated that a Master Plan was a strategic guide that expressed the values and aspirations of a community and set forth a long range vision and actions for development, housing, environment, economic development, transportation and related topics. He discussed that it would help as a tool but was not a binding document but that when there were issues like rezoning or certain ordinances, they could use that tool to determine what the long range goal of the City was. He added that it was last done in 2009. He mentioned that the key was to implement it once it was done. He stated that Administration wanted some input from the residents so they organized a steering committee, which comprised of about thirty people from the actual community like City Council, School Superintendent and all the way down through different demographics of the residents. He remarked that the point being that the City wanted to hear what the people had to say regarding the Master Plan and not just the Administration and City Council. He stated that they wanted it to be the voice of the people. He explained that they had their first meeting last week and they went over the roles. He discussed that the Steering Committee would be ambassadors to the plan and

would be reaching out to all of the various committees or their networks and that he would be reaching out to Planning Commission as homework for certain times when they needed input or recommendations from the community. He remarked that it would last a year and then they would have some type of document that they could take a look at and use as a tool.

NEW BUSINESS:

PPZ2022-0149: Bogner Life Celebration Center, 7295 Greenlawn Dr, PPN 07-00-028-103-193

Applicant: Randall Smith, DSC Architects, Inc., 401 Front St, Berea, OH 44017. Proposal consists of constructing a Life Celebration Center for funeral home use only. Property is zoned B-5 Architectural Business District. Note: BZBA approved variances on 11/17/22.

Application was read.

Chairman Smolik asked the applicant to state his name and address for the record and explain the proposed project.

Randall Smith, DSC Architects, Inc., 401 Front St, Berea, OH 44017.

Mr. Smith stated that he was representing Bogner Funeral Home. He explained that they were proposing a Life Celebration Center. He stated that funerals were changing and people were opting for less formal setting than a funeral parlor. He added that people wanted more of a celebration of life. He stated that the facility would be used in conjunction with more traditional funerals for an after-funeral service or luncheon to get together and have some coffee or tea or cake. He added that it would be serving and supporting the funeral home. He explained that it wasn't intended to be a rental facility to be used by anybody else and that they weren't increasing the amount of traffic or the use on the site. He stated that the Board of Zoning granted the variances that would allow them to build a building that would be feasible on the site. He stated that they were at about 3,149 square feet, which was under the allowable limit. He mentioned that it was a one story brick and vinyl siding building with white shutters and white fypon trim that would match the funeral home itself. He mentioned that the office building was done slightly different with different detailing, different coloration but they wanted to tie the proposed building to the funeral home itself as a supportive function for the funeral home. He stated that they couldn't provide sufficient parking on the site due to the small size of the site. He added that they had eleven spaces on the site. He explained that David Bogner had a joint use agreement for the funeral home

and also at the office building that they were working out the details with the City's Law Department. He stated that they would have more than sufficient parking and that the building itself shouldn't increase the parking count because they would be people that were going to a funeral anyway. He added that the parking in the front was primarily intended to be used for some of the more elderly visitors so that they wouldn't have to walk across the street. He stated that Director Lieber had just brought up before the meeting that the Engineering Department had questioned putting a crosswalk across the street. He explained that they were willing to do that and to tie that with sidewalks as necessary along with curb access and all the things they needed to make a legitimate crosswalk across the street and would make sure they had lighting and everything. He stated that the building would contain restrooms and a warming kitchen and the rest of it was just open space for chairs and tables with a little storage area for some of those items.

Chairman Smolik stated that the mid-block crossing was one of his concerns. He asked if it would be a HAWK (High-intensity Activated crossWalk beacon) System with the lights or if it would just be symbols.

Director Lieber stated that they had received that from Engineering that afternoon that they wanted a pedestrian path between the two facilities, so maybe a sidewalk segment from the funeral home side and then a marked crosswalk. She didn't think a HAWK signal or a flashing beacon was warranted for the cul-de-sac street.

Chairman Smolik stated that in reading the packet, retention had already been considered for the lot prior to development.

Mr. Smith stated that was correct. He added that both of the properties on the east side of Greenlawn were designed to flow to the west to a master retention that was behind the funeral home property.

Chairman Smolik remarked that between the parking lot and the building they were probably at 80% impervious area and asked if that was taken into consideration for the retention counts.

Mr. Smith stated that they had supporting calculations from an engineer and that he had completed all of his engineering at that point and that they would submit that to the City's Engineering Department for approval.

Chairman Smolik discussed that the dumpster was not going to be located on that parcel but on an adjacent parcel and asked if that would be through easements as well.

David Bogner, 34944 Shawn Drive, North Ridgeville, OH 44039.

Mr. Bogner stated that he owned all three of the properties. He explained that he owned the Greenlawn Building, the funeral home and also owned the property they were discussing. He stated that they had a shared agreement with their leasees at the Greenlawn Building for parking that was already in their leases for the funeral home and then they would be doing the same thing for the dumpster. He stated that there was no sense in having an additional dumpster and so they would share one along with the costs of that.

Chairman Smolik stated in the back there was a storm sewer and it was sort of in an easement and it sort of veered outside the easement and mentioned that it probably needed to be relocated. He asked if the engineer took a look at that.

Mr. Bogner stated that it was all taken into consideration when it was developed.

Chairman Smolik commented that the storm sewer would probably be in the overdig when they dug everything up.

Mr. Bogner stated that it would not. He remarked that it was in between the parcels so it wouldn't be disturbed at all. He added that there was an easement there and they were staying away from that.

Council Liaison Abens asked regarding the existing dumpster, if there was an easy pass for the person from the reception hall into the dumpster.

Mr. Bogner stated that there was. He explained that they had a sidewalk coming from the rear door of the building that had a light over it and coming out into that parking lot and right to the dumpster, it was right there.

Council Liaison Abens stated that he mentioned a warming kitchen and asked if they planned on possibly serving food.

Mr. Bogner stated that was correct. He added that it might be a licensed caterer providing the food but they would just be bringing it there and then serving.

Council Liaison Abens remarked that what concerned him was they would be unloading and it looked like the only place they could unload was through the front door and asked if that was correct.

Mr. Bogner stated that was correct. He explained that there was a loading zone in the front and the kitchen was right inside the front door.

Chairman Smolik asked if there were any questions or comments from the administration.

Assistant Law Director Morgan stated that she was working on the deed or easement but needed to determine if it was Mr. Chavez that she should be talking to. She remarked that she did receive a rough draft.

Mr. Bogner asked if that met her approval.

Assistant Law Director Morgan explained that it needed a little more detail and she hadn't spoken to him yet. She just wanted to make sure she was contacting the correct person.

Mr. Bogner stated that she could respond to the email he had forwarded to her from him and then it would go to both him and Mr. Chavez and they would make sure they had it the way they wanted it covered.

Chairman Smolik asked if that was for the parking agreement.

Assistant Law Director Morgan stated that it was.

Chairman Smolik asked if there were any other questions or comments from the Administration.

Director Lieber stated that they did receive variances for the front building setback, rear building setback, side building setback and the fact that parking was located in the front and then that shared parking agreement, subject to Law Department approval, was made a condition of the reduced parking count of that variance that was granted to ensure that parking will always remain available to that building. She explained that it was for funeral use only so that if ever in the future any of the parcels or properties were separated by ownership, it couldn't be turned into another or different use without coming back through the City's process for zoning review or approval by Planning Commission.

Chairman Smolik stated that for clarity it was a B-5 and that's a conditional use.

Director Lieber stated that it was considered an accessory use to the main use which was the the funeral home across the street. She explained that they were tied together by use even though they were on separate parcels and she thought the shared parking agreement would help cement that. She added that for example, if the property were sold in the future, the next owner couldn't just start an event center. She stated that wouldn't be a permitted use in the B-5 District. She mentioned that they would have to

come back to the City and show how they could accomodate that particular use on that lot. She added that at that moment you couldn't just open an event center in the B-5 District. She stated that it was an accessory to the funeral home and was part of the funeral home, as they viewed it.

Chairman Smolik stated that if it did sell, whoever bought it, regardless of what their intentions were, they would have to come back to Planning Commission.

Director Lieber stated that was correct. She explained that unless it was a permitted use in the district that didn't need more parking, in which case the City would still look at it and still conduct a zoning review.

Chairman Smolik asked if once the setback was approved by BZBA it was permanent and wasn't associated with use, it was associated with the parcel.

Director Lieber stated that was correct.

Mr. Bogner stated that there was some concern about lighting and on their plan they did show that they were adding an additional street light. He mentioned that some of the residents had concerns about it being very dark there and one of the lights was out so he contacted Ohio Edison to get that repaired plus they were adding an additional light as well.

Council Liaison Abens asked as far as the pedestrians from across the street, would they have to walk through the parking lot to get to the location or if there would be a sidewalk off to the side.

Mr. Bogner stated that their intention was to make it as safe as possible and they would work with the Engineer on where they wanted the crosswalk and if they needed to put in an additional short piece of sidewalk to connect the sidewalks so that they weren't going in the driveway. He added that whatever the Engineer wanted was what they would do.

Council Liaison Abens discussed that his concern was that many of the patrons were going to be on the older side and forcing them to walk through the middle of that parking lot could create a dangerous situation with people backing in and backing out. He added that it might behoove them to put in a sidewalk to the north of the parking lot and that way they could walk there without having to go through the parking lot.

Mr. Bogner remarked that he didn't see why they couldn't do that.

Moved by Swallow and seconded by Graupmann to approve the Life Celebration

Center.

A roll call vote was taken and the motion carried.

Yes – 5 No – 0

PPZ2022-0152: Sgt. Clean Car Wash, 32499 Lorain Rd, PPN 07-00-003-102-065

Applicant: Always Stay Unlimited, LLC, DBA Sgt. Clean Car Wash, 3673 Massillon Rd, Uniontown, OH, 44685. Proposal consists of constructing a new full-service car wash. Property is zoned B-3 Highway Commercial District.

Application was read.

Chairman Smolik asked the applicant to state his name and address for the record and explain the proposed project.

Brian Kruszewski, 15951 Kingswood Ct, Strongsville, OH 44149.

Mr. Kruszewski handed out binders to the Commission. He stated that Sgt. Clean was started in March of 2013 with the first location in Strongsville. He explained that the name came from him. He added that they had a contest to rename the carwash and he had spent eight years in the Marine Corp and grew up in Elyria and was very familiar with North Ridgeville. He explained that the binders illustrated Sgt. Clean's journey. He stated that they now had twelve facilities throughout Northeast Ohio with two of them under construction or remodel, which were in North Olmsted and Lakewood. He mentioned that they were a community carwash. He stated that his grandfather was a fireman in Elyria for twenty-two years and was also a business owner. He stated that he often asked him when he had paid his community rent. He added that that stuck with him forever. He stated that it was more than just a carwash and that they were involved in sending Boy Scout troops to their leadership camps and over the last year had donated over \$25,000 to education foundations in three different cities with their new facilities in Strongsville, Streetsboro and Cuyahoga Falls. He discussed that there was a portion in the binder talking about technology and safety. He stated that they wanted their car washes to be safe and that they used the highest and utmost in technology and the most efficient. He remarked that a stacked or congested car wash was not good for them either.

Greg Seifert, 3673 Massillon Road, Uniontown, OH 44685.

Mr. Seifert gave paper packets to the Commission. He stated that the site was on Lorain Road near Lear Nagle Road adjacent to the new Starbucks. He explained that the site

access had two driveways off of Lorain Road. He stated that the western one closer to the top of the screen image was a full access in and out. He discussed that the other access on Lorain Road was a right-in and right-out only. He mentioned that they did do a traffic study as part of their submission of the application packet. He added that put together on that site prior to their involvement; there was an access easement and a driveway connection that would connect them to the Starbucks parking lot adjacent to it. He stated that people could go in and get a car wash and get a cup of coffee or vice versa. He explained that the building itself met all of the building requirements in the B-3 district with one exception. He stated that it was a permitted use and he thanked them for that. He stated that the floor plan comprised of the tunnel and a portion of the building housed the equipment that operates the actual car wash equipment through the tunnel. He added that there were two in-coming queuing lanes on the west side of the building. He explained that they would go through pay stations and then do a 180 degree turn into the building into the rear of the site and proceed through the building and out to the front. He stated that they had self-serve vacuum stations on the other portion of the site to the east of the building. He remarked that they met all of the requirements of the zoning code with the exception of their canopy. He stated that on a typical site the canopy would be located not up against the building, but because of the fact that the site was triangular and went down to a point going down at the back end, they had to put that canopy as part of the building. He explained that the canopy would be over the setback so they had applied and would be going before the Board of Zoning Appeals next week. He stated that they understood there was an exception in the zoning code for a canopy in the front yard but nothing in the side yard. He mentioned that they felt because of size and shape of the site that they had a justifiable hardship. He stated that the building would be made from brick with metal coping and had a featured tower alongside of it that would have signage on it. He explained that they were not including signage on the Planning Commission application packet and that they would come back in for a separate signage approval at a later date. He added that any signage in the packet was not there for approval.

Chairman Smolik asked if the Commission had any questions or comments.

Member Graupmann asked if there were any environmental issues or underground tanks.

Mr. Seifert stated that they had done a Phase 1 report and it identified some materials inside the building. He added that they did do a Phase 2 report and had that material tested and it met all of the requirements of the State of Ohio, so they had clean environmental on site.

Member Graupmann asked if the underground tanks would remain.

Mr. Seifert stated that they would be removed.

Chairman Smolik explained that HZW was their consultant and they forwarded to the Commission the reports on it the previous week. He stated that he had a question regarding the driveway cut closest to the intersection. He asked if it needed that as a right-in and if it could be a right-out only. He explained that his issue was that seventy five percent of the people that were coming from there would be coming from the east and it would be a left turn into the facility. He stated that he felt they would try to make a left turn into the first driveway cut.

Mr. Seifert remarked that they hoped not because it was designed with an apron, a curb in the middle of it to keep people from doing that.

Chairman Smolik said that they both knew how the motoring public was. He stated that from a safety and traffic aspect, he felt it should be a right-out only. He asked them to explain why they needed two "ins".

Mr. Kruszewski stated that car washing was an impulse business so providing both of those ingresses, right-in, right-out, would give them an opportunity versus making a silly traffic decision. He explained that he had seen it all as they had been in the car wash business for a decade. He stated that people had actually backed out onto Pearl Road because they missed the entrance into the tunnel. He stated that it gave another entrance point and they did have a traffic study which showed the "right in" "right out" with the raised curb that was kind of a "pork chop" area and it was amenable by the engineer.

Chairman Smolik stated that he thought more work needed to happen there by maybe changing that angle a little bit because it was still perpendicular to the center line. He stated that the Administration could keep an eye on that just to make sure that no one accidentally goes in that way. He added that what would happen was that it would cause an issue at the intersection.

Mr. Kruszewski commented that they didn't want to create any congestion in traffic and they were more than happy to work with the Engineer and work through that process.

Chairman Smolik stated that it was probably, if not the worst, one of the worst for traffic in the whole entire City, that intersection.

Mr. Seifert stated that they were happy to work with the engineering department and if necessary bring in their traffic engineer to work through that. He remarked that if

there was a better design for that driveway location, yes, they would be in support of that.

Council Liaison Abens stated that he wasn't sure if it was possible but maybe they could put some sort of an obstruction on Lorain Road to prevent the left or make it more difficult. He stated maybe they could have a hump or something to discourage the left hand turn.

Mr. Seifert discussed that he knew what he was talking about where there was a pylon strip where there was a series of pylons that could be put out in the middle of the road and they were visual and hopefully they would stop people from running them over. He added that it wasn't that far of a distance to the other one which was further away from the intersection and was a much safer driveway to turn into, that hopefully people would get to the point that, yes, that's where you should pull in. He mentioned that they could work with their signage package as well to try and direct people that way.

Chairman Smolik stated that he thought it was all on that approach angle.

Director Lieber stated that Engineering shared some comments late in the day and one was that the type of curb shown in the plans included a rolled curb and they were used to seeing an ODOT Type 6 straight curb and they wondered what the rationale for that was.

Mr. Seifert he stated that the Type 6, 6 x18 curb, was typical when doing asphalt paving and doing a concrete curb. He mentioned that they were doing concrete paving and it made for a much better curb to have that concrete just turned up as part of the curb as opposed to pouring a concrete curb and then running concrete up to it. He stated that they would be happy to work with the Engineering Department and see if that was acceptable. He added that if they told them no, they insisted on the 6 x 18 curb, and then they would do that.

Director Lieber mentioned that she appreciated the applicant working with the City through the staff review process and that they had had a lot of back and forth. She stated that originally there was a second vacuum structure adjacent to those parking spaces shown along the east property line and that structure would have required another setback variance. She explained that they would be seeking the setback for the canopy as the applicant discussed. She added that they were able to remove that building. She stated that her secondary concern was the eight spaces shown along that east property line and her first recommendation was to eliminate them all if the building was gone and provide more green space to prevent any more incidents of

traffic coming in as the Chairman pointed out coming in that corner as people would be paying more attention to the traffic on the road than someone backing out of a vacuum space. She stated that she could see that becoming a problematic area especially with the space that was closest to the right-in, right-out curb cut. She explained that the applicant indicated that their desire to maintain as many of those spaces as possible. She mentioned that there was an alternate exhibit provided that night at the Commission's desk that showed that they were eliminating two spaces. She added that while she would have liked the elimination of more spaces, she felt that at least the elimination of the two out of the eight was a step in the right direction and gave her a little more comfort that drivers would have a little more time to be aware of those backing out with those pulling in or those also exiting the car wash on their way out at that right out only. She stated that she would recommend that the Planning Commission consider an amendment that would reduce those number of spaces closest to Lorain Road just for safety purposes.

Chairman Smolik asked if there were any comments or questions from the public.

Bob Meeker, 32415 Center Ridge Rd, North Ridgeville, OH 44039.

Mr. Meeker stated that no one wanted new business in North Ridgeville more than him but the area was getting packed with a bunch of stuff. He stated they were putting another business behind McDonald's and with Starbucks and Dunkin Donuts it was already a mess. He stated that Andy's Car Wash was really busy and they had tons of room going in and out. He thought it would be a big mess in that area. He added that they couldn't put something in the middle of the road as McDonald's was across the street from there. He stated that there was a new business going in behind McDonald's and a car wash already across the street that exited out onto Lear Nagle. He stated that it was a cluster on that corner. He remarked that it was the worst corner in North Ridgeville. He said that if he tried to get to the Turnpike from his house forget it. He added that that was his only concern as a citizen.

Chairman Smolik stated that the applicant had in their application that some of their queuing was a little bit quicker than their competition and asked if they could explain their rationale on how they thought, with how much staging area that they had, that it should be pretty decent.

Mr. Kruszewski stated that the hard part was that when everyone puts the word car wash in their head, they thought about maybe a hometown car wash or an older car wash or whatever the case may be but nine times out of ten it wasn't always the most glamorous of all the businesses to be ran. He discussed that what they did specific to

their queuing and included in the packet, they had letters from Mayors, Chiefs of Police and Planning Directors from the municipalities that they currently resided in that stated they had no traffic and no congestion and never had any issues. He explained that they had been doing it for a decade and they were really good at it. He stated that on the second to last page of the packet they handed out, it talked about technology and safety and DRB systems. He stated that they used many features which were called NoPileups. He explained that it used sonar and their camera technology to trace the vehicles through. He stated that with car washing in the past, you didn't have eyes behind your head and there would be a car that put their foot on the break and they'd get into an accident and they would have no idea. He stated that the new technology actually prevented them and alerts the vehicle in a red box telling them which color, make, model of the vehicle to go back and adjust that vehicle specifically to prevent collisions. He added that they had the XPT (express pay terminal) and they had RFID tags which were placed inside the vehicles that had made it more of a get in and get out, similar to the Fast Pass on the Turnpike. He stated that they could see the digital signage to keep the consumer moving on the site. He discussed that when it talked specifically to queuing lanes, there was eighteen in the lanes themselves and there was an additional queuing lane after the pay station that wrapped around there into the building which was probably six to eight other vehicles and then inside the tunnel during the wash process there was probably another eight vehicles and was probably thirty to thirty-five vehicles in that wash process, not including the thirteen vacuum spots and then that travel path on there. He added that there was plenty of room and plenty of stacking. He mentioned that they didn't want to hear it from him and that was why they included the letters of support from Mayors and Chiefs of Police and other Planning Directors to speak to that. He discussed that traffic and congestion is the first thing someone would see and they would pick another quick serve restaurant, that it was the exact same process with car washes. He explained that they wanted people to be like, there's no one on the lot and to be able to get in and get out.

Chairman Smolik asked if there was a cashier and if it was cashless.

Mr. Kruszewski stated that they would have between two to four team members on site to help run that process and create further efficiency. He added that they were a completely cashless facility and that it was all just credit cards. He remarked that the majority of their customers joined the unlimited program, which was the RFID sticker in their window. He stated that they would pull up to the gate and the gate went up and away they go, with no interaction at all with the consumer. He stated that it was fast, easy and convenient.

Chairman Smolik asked if that was a special lane they got in like the easy pass lane.

Mr. Kruszewski stated that was correct. He explained that at first they would be getting signed up for that program but that the farthest outside lane would be dedicated to a members only lane, similar to other facilities. He stated that his car wash and the easement with Starbucks was kind of like a retention basin because they were taking those thirty five vehicles off of the road onto their property and easing the traffic at that intersection and then allowing them to go back onto Lorain Road or go back onto Cook Road. He added that a lot of their sites similar to Medina had shared access on Northland and on Court Street and they were able to do that same process and had been for the last five years.

Mr. Meeker stated that they talked at the Council meetings how they would like to have two lanes in Starbucks to ease the traffic problem and asked how the car wash would help Starbucks. He added that he had nothing against the car wash but that it was about that intersection. He explained that he had lived there for thirty eight years and that intersection was horrible.

Jason Scott, 32500 Lorain Road, North Ridgeville, OH 44039.

Mr. Scott stated that he was the car wash directly across the street from where Sgt. Clean would go. He mentioned that the traffic was awful. He asked if they did two minutes a cycle?

Mr. Kruszewski stated they did three and a half a cycle.

Mr. Scott stated that they had switched to four when they updated their system about two years ago prior to that they were at seven minutes a cycle. He stated that it was backed up all the way to Lear Road in the winter time. He discussed that they had more room than Sgt. Clean would have and they still saw the traffic. He stated that he wasn't against the business and thought it was great that they would come into North Ridgeville but asked if they had done their study. He commented that there were five car washes within a two mile radius and there might be more. He added that they had been there for twenty years and they had done over \$200,000 in fundraising and charites and were a family run operation. He stated that they had talked about a Master Plan and asked if that Master Plan would include five car washes in a two mile radius. He stated that they would be right across from him and that two of the five car washes probably wouldn't make it if another one was put in. He mentioned that there was one similar to Sgt. Clean right on Center Ridge across from Conrads. He stated that he felt it would be irresponsible to let that happen with one being right across the street and had been owned by the same family for twenty years and who has helped the community and donated and had done a lot of work with the community. He asked that they take

that into consideration. He commented that he hoped it succeeded but didn't think it was something that North Ridgeville needed right now.

Vice-Chairwoman Swallow stated that she had a question for the Administration. She stated that Director Lieber talked about reducing the number of spaces on the eastern most property line and asked what the Administration would feel comfortable with there.

Director Lieber stated that a minimum of two which was shown in the exhibit provided that day, sheet C102A that showed six spaces. She mentioned that that would be the maximum number of spaces they would feel comfortable with.

Vice-Chairwoman Swallow asked if she was comfortable with their updated proposal.

Director Lieber stated that she was.

Member Graupmann mentioned that he really appreciated the public's input on it because some of their concerns were his concerns as well. He stated that it was a desirable piece of property and the current structure was an eyesore. He commented that his concern was that something would go in there inevitably and it seemed like a good plan. He stated that he appreciated his concern but if that didn't go in there something else could go in there and it looked like a good plan to him.

Council Liaison Abens stated that he wasn't a fan of another car wash and while it was a desirable location, it was also a weird shaped one. He stated that the only thing that would probably go in there was either a car wash or fast food of something of that nature. He commented that they would have to learn to deal with that traffic and hopefully that traffic study had indicated that it wouldn't be a problem. He added that he saw stacking of at least eighteen cars but even more when put into the circle.

Chairman Smolik stated that the traffic study by TMS was included and he believed they said it would be a minimal impact and that was on the AM and PM peaks.

Moved by Swallow and seconded by Ali to approve the project conditioned on the limitation of six parking spaces as shown on the recent submission of C102A.

A roll call vote was taken and the motion carried.

Yes – 5 No – 0

Zoning Code Update Work Session

A work session was held to review and discuss the proposed zoning code updates regarding parking, loading, lighting and commercial drives.

ADJOURNMENT:

The meeting was adjourned at 8:41 PM.

James Smolik
Chairman

Tina Wieber
Deputy Clerk of Council

Tuesday, January 10, 2023
Date Approved



December 6, 2022

Brian Martin
Tropic LLC
4855 Nagel Road
Avon, OH 44011

Re: New Business at 33117 Center Ridge Road

Dear Mr. Martin:

The zoning certificate for your new business has been approved and is enclosed for your records. Please be aware of additional obligations under state building and fire codes:

If there is a change of occupancy classification in a commercial building under the Ohio Building Code or you intend to perform work other than interior finishes (painting, flooring), you will require approval and a building permit. **For assistance, please contact the North Ridgeville Building Department at (440) 353-0822.**

In all commercial spaces, fire extinguishers need to be visible in a common area, exits must be kept clear of debris and exit lights must be kept in good working order. Any fire alarm or sprinkler systems need to be tested annually. Ensure your address is visible from the street and keep your Certificate of Occupancy posted inside the business. **For assistance, please contact the North Ridgeville Fire Department at (440) 353-0839.**

We welcome your new business to North Ridgeville and wish you much success in our community.

Sincerely,

Kimberly Lieber, AICP
Director of Planning and Economic Development



Certificate of Zoning Compliance

TROPICLE LLC
33117 CENTER RIDGE ROAD
NORTH RIDGEVILLE, OH 44039

This certifies that the proposed use stated for the above referenced address complies with the provisions of the North Ridgeville Zoning Code. This certificate shall remain valid so long as buildings and property are used and maintained in accordance with approved plans. No other changes or modifications to the building(s) or site improvements, not approved or exempt under a Certificate of Occupancy, are permitted or approved.

Application Number: PPZ2022-0158

Proposed Use: Retail sales of indoor tropical plants

Current Zoning: B-2 Central Business District

Applicant: Brian Martin

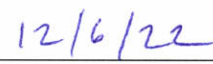
Property Owner: Jorge Serrat

Conditions/Notes:

This certificate does not provide approval to initiate any construction work. Any renovations or alterations to the building or tenant space must be approved and permitted by the Building Department prior to occupancy.



Signature of Approving Official



Date Issued

Application for New Business or Change in Use



APPLICABILITY

Section 1243.02(b)(1) When Required. Regardless of whether or not a building permit is required for construction activities, any change of use, establishment of a new use or new business occupancy must be reviewed and issued a Certificate of Zoning Compliance.

Section 1440.06 Notification of Change in Business Owner. Whenever a business, commercial or industrial space or building changes occupants, that new occupant is required to inform both the Police and Building Departments of his or her new occupancy to enable more reliable emergency response and hazard inspection.

APPLICANT: Excluding signage, are you proposing any exterior changes to the building or property? Examples include building façade changes, parking lot reconfiguration, landscaping changes, lighting changes, etc. **If so, DO NOT submit this form.** Planning review is required for your project. Contact the Planning and Economic Development Department for information about the development plan review process and submission requirements.

BUSINESS INFORMATION

<u>TROPICLE LLC</u> Business name	<u>33117 Center Ridge Rd.</u> Business address
<u>Brian Martin</u> Business owner	<u>TropicPlants@gmail.com</u> Business owner email
<u>4855 NAGEI RD.</u> Business owner home address	<u>North Avon, OH. 44011</u> City, state, zip
<u>440-829-6323</u> Business owner phone number	<u>440-315-2491</u> Emergency phone number

PROPERTY OWNER INFORMATION

<u>JORGE SERRAT</u> Property owner name	
<u>216-849-0417</u> Property owner phone	<u>JSerrat272@gmail.com</u> Property owner email
<u>216-849-0417</u> Property owner address	<u>City, state, zip</u>

USE INFORMATION

<u>MASSAGE</u> Previous use/occupant	<u>1500</u> Building/unit area (square feet)
<u>indoor tropical plants</u> Describe proposed use*	

*Based upon the proposed use, the City may require the additional submission of a site plan showing lot configuration, building locations, provision of adequate parking and loading, driveways, etc. If a proposed use is determined to be a conditional use in a particular zoning district, development plan review and Planning Commission approval is required.

AUTHORIZATION AND ACKNOWLEDGEMENT

<u>Brian Martin</u> Applicant signature	<u>Jorge Serrat</u> Property owner signature
I hereby authorize the City of North Ridgeville to view the premises and consent to their entry onto the property for the purpose of observing site conditions related to review of my application.	

Staff Use Only	PPZ No.	Date Received	Amount Paid	Payment Type



December 7, 2022

Ramez Alhalabi
7691 Aldersyde Drive
Middleburg Heights, OH 44130

Re: New Business at 35100 Center Ridge Road (Royal Smokes)

Dear Mr. Alhalabi:

The zoning certificate for your new business has been approved and is enclosed for your records. Please be aware of additional obligations under state building and fire codes:

If there is a change of occupancy classification in a commercial building under the Ohio Building Code or you intend to perform work other than interior finishes (painting, flooring), you will require approval and a building permit. **For assistance, please contact the North Ridgeville Building Department at (440) 353-0822.**

In all commercial spaces, fire extinguishers need to be visible in a common area, exits must be kept clear of debris and exit lights must be kept in good working order. Any fire alarm or sprinkler systems need to be tested annually. Ensure your address is visible from the street and keep your Certificate of Occupancy posted inside the business. **For assistance, please contact the North Ridgeville Fire Department at (440) 353-0839.**

We welcome your new business to North Ridgeville and wish you much success in our community.

Sincerely,

Kimberly Lieber, AICP
Director of Planning and Economic Development



Certificate of Zoning Compliance

ROYAL SMOKES
35100 CENTER RIDGE ROAD
NORTH RIDGEVILLE, OH 44039

This certifies that the proposed use stated for the above referenced address complies with the provisions of the North Ridgeville Zoning Code. This certificate shall remain valid so long as buildings and property are used and maintained in accordance with approved plans. No other changes or modifications to the building(s) or site improvements, not approved or exempt under a Certificate of Occupancy, are permitted or approved.

Application Number: PPZ2022-0159

Proposed Use: Retail sales of tobacco

Current Zoning: B-3 Highway Commercial District

Applicant: Ramez Alhalabi

Property Owner: Nitin Thaker

Conditions/Notes:

This certificate does not provide approval to initiate any construction work. Any renovations or alterations to the building or tenant space must be approved and permitted by the Building Department prior to occupancy.



Signature of Approving Official



Date Issued

Application for New Business or Change in Use



APPLICABILITY

Section 1243.02(b)(1) When Required. Regardless of whether or not a building permit is required for construction activities, any change of use, establishment of a new use or new business occupancy must be reviewed and issued a Certificate of Zoning Compliance.

Section 1440.06 Notification of Change in Business Owner. Whenever a business, commercial or industrial space or building changes occupants, that new occupant is required to inform both the Police and Building Departments of his or her new occupancy to enable more reliable emergency response and hazard inspection.

APPLICANT: Excluding signage, are you proposing any exterior changes to the building or property? Examples include building façade changes, parking lot reconfiguration, landscaping changes, lighting changes, etc. If so, DO NOT submit this form. Planning review is required for your project. Contact the Planning and Economic Development Department for information about the development plan review process and submission requirements.

BUSINESS INFORMATION

Royal smokies
Business name
Ramez Al Halabi
Business owner
7691 Aldersyde Dr
Business owner home address
216-235-9244
Business owner phone number

35100 Center Ridge rd north Ridgeville 44
Business address
Ramez Al Halabi@yahoo.com
Business owner email
Middleburg Heights OH
City, state, zip
- 44130
Emergency phone number

PROPERTY OWNER INFORMATION

Nitin Thaker Thaker
Property owner name
22408 Valleybrook Ln.
Property owner address
216-548-8226
Property owner phone

Stoughtonville OH 44149
City, state, zip
Thaker - Nitin@yahoo.com
Property owner email

USE INFORMATION

Dance studio
Previous use/occupant
Tobacco Retail Shop.
Describe proposed use*

2700 sq ft
Building/unit area (square feet)

*Based upon the proposed use, the City may require the additional submission of a site plan showing lot configuration, building locations, provision of adequate parking and loading, driveways, etc. If a proposed use is determined to be a conditional use in a particular zoning district, development plan review and Planning Commission approval is required.

AUTHORIZATION AND ACKNOWLEDGEMENT

Applicant signature

Property owner signature

Submit this application to the Building Department with the \$50 application fee.

I hereby authorize the City of North Ridgeville to view the premises and consent to their entry onto the property for the purpose of observing site conditions related to review of my application.

RECEIVED

OFFICE	PPZ No.	Date Received	Amount Paid
	PPZ2022-0159	DEC 06 2022	\$50.00 *125.592406 MC



December 15, 2022

Jason Frindt
6000 Denise Drive
North Ridgeville, OH 44039

Re: New Business at 34910 Center Ridge Road, Suite 5 (The Maker Lab)

Dear Mr. Frindt and Mr. Gardner,

The zoning certificate for your new business has been approved and is enclosed for your records. Please be aware of additional obligations under state building and fire codes:

If there is a change of occupancy classification in a commercial building under the Ohio Building Code or you intend to perform work other than interior finishes (painting, flooring), you will require approval and a building permit. **For assistance, please contact the North Ridgeville Building Department at (440) 353-0822.**

In all commercial spaces, fire extinguishers need to be visible in a common area, exits must be kept clear of debris and exit lights must be kept in good working order. Any fire alarm or sprinkler systems need to be tested annually. Ensure your address is visible from the street and keep your Certificate of Occupancy posted inside the business. **For assistance, please contact the North Ridgeville Fire Department at (440) 353-0839.**

We welcome your new business to North Ridgeville and wish you much success in our community.

Sincerely,

Kimberly Lieber, AICP
Director of Planning and Economic Development



Certificate of Zoning Compliance

THE MAKER LAB
34910 CENTER RIDGE ROAD, SUITE 5
NORTH RIDGEVILLE, OH 44039

This certifies that the proposed use stated for the above referenced address complies with the provisions of the North Ridgeville Zoning Code. This certificate shall remain valid so long as buildings and property are used and maintained in accordance with approved plans. No other changes or modifications to the building(s) or site improvements, not approved or exempt under a Certificate of Occupancy, are permitted or approved.

Application Number: PPZ2022-0160

Proposed Use: Printing, engraving, routing and design services

Current Zoning: B-3 Highway Commercial District

Applicant: Jason Frindt/Nicholas Gardner

Property Owner: Automation Investments LLP

Conditions/Notes:

This certificate does not provide approval to initiate any construction work. Any renovations or alterations to the building or tenant space must be approved and permitted by the Building Department prior to occupancy.

Signature of Approving Official

Date Issued

RECEIVED

Application for New Business or Change in Use

DEC 14 2022

CITY OF NORTH
Ridgeville
EST 1810**APPLICABILITY**

Section 1243.02(b)(1) When Required. Regardless of whether or not a building permit is required for construction activities, any change of use, establishment of a new use or new business occupancy must be reviewed and issued a Certificate of Zoning Compliance.

Section 1440.06 Notification of Change in Business Owner. Whenever a business, commercial or industrial space or building changes occupants, that new occupant is required to inform both the Police and Building Departments of his or her new occupancy to enable more reliable emergency response and hazard inspection.

APPLICANT: Excluding signage, are you proposing any exterior changes to the building or property? Examples include building façade changes, parking lot reconfiguration, landscaping changes, lighting changes, etc. If so, DO NOT submit this form. Planning review is required for your project. Contact the Planning and Economic Development Department for information about the development plan review process and submission requirements.

BUSINESS INFORMATION

The Maker Lab LLC

Business name

34910 Center Ridge Road, North Ridgeville, Ohio 44039 Suite 5

Business address

Jason Frindt / Nicholas Gardner

Business owner

j@themakerlab.net / Nick@themakerlab.net

Business owner email

6000 Denise Drive

Business owner home address

North Ridgeville, Ohio 44039

City, state, zip

773-362-5377 / 440-657-9201

Business owner phone number

440-506-8415

Emergency phone number

PROPERTY OWNER INFORMATION

Automation Investments LLP

Property owner name

34910 Center Ridge Road, Suite 1

Property owner address

North Ridgeville, Ohio 44039

City, state, zip

440-506-8415

Property owner phone

j@clevelandsmarthome.com

Property owner email

USE INFORMATION

Unsure

Previous use/occupant

1000

Building/unit area (square feet)

Artistic CNC Routing, Laser Engraving, Printing, and design services.

Describe proposed use*

*Based upon the proposed use, the City may require the additional submission of a site plan showing lot configuration, building locations, provision of adequate parking and loading, driveways, etc. If a proposed use is determined to be a conditional use in a particular zoning district, development plan review and Planning Commission approval is required.

AUTHORIZATION AND ACKNOWLEDGEMENT

Applicant signature

Property owner signature

Submit this application to the Building Department with the \$50 application fee.

I hereby authorize the City of North Ridgeville to view the premises and consent to their entry onto the property for the purpose of observing site conditions related to review of my application.

OFFICE	PPZ No.	Date Received	Amount Paid
	PPZ 2022-0160	12-14-22	-0-



December 14, 2022

Guy Fursdon
Chief Building Official
City of North Ridgeville
7307 Avon Belden Road
North Ridgeville, OH 44039

Dear Guy:

This letter serves as authorization to waive any fees associated with the Application for New Business for The Maker Lab.

If you have any questions, please contact my office at (440) 353-0811.

Sincerely,

A handwritten signature in blue ink, appearing to be "K. Corcoran", written over a light blue circular stamp.

Mayor Kevin Corcoran

City of North Ridgeville

7307 Avon Belden Rd

North Ridgeville, OH 44039

(440) 353-0822

(440) 353-0823

Invoice For PlanRevi PPZ2022-0160

Print Date: 12/14/2022

Pay by Account In Full



Pay by Account In Full

JASON FRINDT

6000 DENISE DR

N RIDGEVILLE OH 44039

\$ 0.00

		Invoice No	Invoice Date	PlanReview Numbe	Address	Amount Due
		00022447	12/14/22	PPZ2022-0160	6000 DENISE DR	\$ 0.00
Fee Details:	Quantity	Description			Amount Cost	Balance
	0.000	Misc. Fee			\$.00	\$ 0.00
Total Amount Due						\$ 0.00

Planning Commission Application



SUBMITTAL INSTRUCTIONS AND PROCEDURES

Plan reviews will be carried out according to the processes described in the City's Zoning Code.

- **Pre-Application.** Prior to making application, applicants are recommended to contact the city to discuss their development project. City staff will outline the review process and provide a checklist of required submittals.
- **Application Submittal.** Following the pre-application meeting, the applicant shall submit this completed application, fee and ten (10) sets of all required exhibits. All submissions shall be made in hard copy to the Building Department. Plans shall be collated, folded and easily legible.
- **Staff Review.** The applicant shall attend a staff review meeting and may be required to submit additional information and/or revised plans based on staff input.
- **Variances.** Where zoning variances are sought by the applicant, review by the Board of Zoning and Building Appeals will be necessary prior to consideration by the Planning Commission, requiring a separate application.
- **Decision or Referral.** Following staff review, complete submittals for Administrative Review projects may be considered for approval. For Council Review projects, complete submittals shall be referred to the next available Planning Commission meeting, which are held the second Tuesday of each month.

PROJECT INFORMATION

35557 Center Ridge Road

Location address

0700021117086; 0700021117088

Parcel number

B3-Highway Commercial District

Current zoning

New Community Health Center with medical and dental offices.

Proposed project

APPLICANT/AGENT INFORMATION

Christine Raymond / Kaczmar architects incorporated

Name/Company

1468 W. 9th St. Suite 400; Cleveland, OH 44113

Applicant address

(216) 687-1555

Applicant phone

christine@kaczarch.com

Applicant email

PROPERTY OWNER INFORMATION

Lorain County Health & Dentistry

Name/Company

1205 Broadway Ave. Lorain, OH 44052

Property owner address

(440) 233-0159

Property owner phone

Stephanie.Wiersma@lorainhealth-dentistry.org

Property owner email

AUTHORIZATION AND ACKNOWLEDGEMENT

Applicant signature

Property owner signature

I hereby authorize the City of North Ridgeville, including Planning Commission members, to view the premises and consent to their entry onto the property for the purpose of observing the conditions related to review of my application.

OFFICE	PPZ No. PPZ2022-0156	Date Received DEC 07 2022	ACTION
	Planning Fee Paid MC \$150.00 *125351048	Engineering Fee Paid MC \$1,125.00 *125351048	



Planning Review

December 5, 2022

Project: Lorain County Health & Dentistry
Location: 35557 Center Ridge Road
PPN: 07-00-021-117-086 and 07-00-021-117-088
District: B-3 Highway Commercial District

Project Summary:

The proposal consists of constructing a new community health center with medical and dental offices on a vacant 1.5-acre commercial lot. The property is zoned B-3 Highway Commercial District, as is the property to the north and east. The lot to the west is zoned B-1 Neighborhood Business District and the lot to the south is zoned R-1 Residence District.

The 7,750 square foot building will comply with all lot coverage and setback requirements, with the exception of the front building setback. Code requires 50 feet and the applicant shows the building 28'7" from the right-of-way. This setback is proposed in order to keep the building in line with other commercial buildings in the vicinity on Center Ridge Road. A variance will be required.

The building will be comprised of brick veneer with composite metal panel emphasizing the main entrance. An aluminum storefront system is proposed for windows and doors. The dumpster enclosure is located at the southeast corner of the parking lot and will be 8-feet high, comprised of composite material. One ground sign is proposed in the landscaped area east of the curb but. The sign base will match the building materials.

A substantial amount of the property in the rear yard is within the 100-year floodplain. This area will not be developed in any way. Because the property to the south is zoned residential (currently open space owned by St. Peter's Church), a buffer strip is required. In this case, the depth of the buffer far exceeds the required 10 feet. The 10 feet closest to the property line is the actual waterway. Due to the ditch, the existing vegetation in the floodplain will not be disturbed. Existing mature trees will be supplemented with plantings in the rear yard, around the dumpster enclosure and in the side yards. Ornamental landscaping is proposed along the building frontage and between the building and parking lot.

Two existing concrete curb aprons will be removed and one full access curb cut is proposed. While 49 parking spaces are required, plans show 56 total spaces. Parking is set back from the ROW consistent with the front building setback, maintaining a lawn area for an attractive road frontage. A pedestrian path has been provided between the public sidewalk and building. A 16 by 16 picnic patio is shown south of the parking lot. Bike racks are provided. Parking lot lighting appears code compliant.

Recommendations:

- Provide cut sheets of building lights and update photometric plan with all on-site light sources.

Planning Commission Comment Sheet



PROJECT INFORMATION

Lorain County Health & Dentistry medical/dental office building

Proposed project

35557 Center Ridge Rd

Location

January 10, 2023

Meeting date

07-00-021-117-086, 07-00-021-117-088

Parcel number

December 29, 2022

Comments due

RECOMMENDATIONS

Type comments here. Attach additional sheets as necessary.

1. 1268.04 (b)(1) B-3 zoning requires a 50 foot front yard. Applicant proposing a 28 foot 7 inch front yard requiring a 21 foot 5 inch variance.
2. Sign information was limited.
3. All else appears code compliant.

SUBMITTED BY

Guy M. Fursdon

Administrative officer signature

Chief Building Official

Title

Planning Commission Bylaws Article V Section 2 – Administrative Review. All applications including those plans and maps submitted to the Commission shall be referred to Administrative Officers. Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Secretary not later than ten (10) calendar days after receipt. Administrative Officers who have not acted within the allotted time shall be deemed to have concurred with plans as submitted.

Planning Commission Comment Sheet



PROJECT INFORMATION

Lorain County Health & Dentistry medical/dental office building

Proposed project

35557 Center Ridge Rd

Location

07-00-021-117-086, 07-00-021-117-088

Parcel number

January 10, 2023

Meeting date

December 29, 2022

Comments due

RECOMMENDATIONS

Please contact Asst. Chief Mike Uhnak of the North Ridgeville Fire Department to discuss the following code requirements of the Ohio Fire Code and Ch. 16 Fire Prevention of the Codified Ordinance of North Ridgeville.

North Ridgeville Fire Department

Fire Prevention

(440)653-6362

- 1- OFC Rule 5 Fire Service Features-
 - Section 506: Fire Department Lock Box.
 - Section 503: Fire Access Roads.
 - Section 507: Fire Protection Water Supply
- 2- OFC Rule 33 Fire Safety During Construction
- 3- NFPA 241 Standards for Safeguarding Construction Operations.
- 4- Chapter 16 Fire Prevention NR Ordinance.
 - 1640.01: Fire Hydrants

Respectfully

Asst. Chief Mike Uhnak

SUBMITTED BY

Administrative officer signature

Assistant Fire Chief

Title

Planning Commission Bylaws Article V Section 2 – Administrative Review. All applications including those plans and maps submitted to the Commission shall be referred to Administrative Officers. Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Secretary not later than ten (10) calendar days after receipt. Administrative Officers who have not acted within the allotted time shall be deemed to have concurred with plans as submitted.

Staff Meeting Bulletin

Meeting Date: December 14, 2022

Project: Lorain County Health & Dentistry, 35557 Center Ridge Rd

Applicant: Christine Raymond, Kaczmar Architects Inc., 1468 W. 9th St, Suite 400, Cleveland, OH 44113

Zoning: B-3 Highway Commercial District

In Attendance: Mayor Kevin Corcoran
Guy Fursdon, Chief Building Official
Kim Lieber, Planning and Economic Development Director
Toni Morgan, Assistant Law Director
Michael Freeman, Police Chief
John Reese, Fire Chief
Tina Wieber, Deputy Clerk of Council
Stephanie Wiersma, President of Lorain County Health & Dentistry
Troy Chafflin, CEO of Lorain County Health & Dentistry
Christine Raymond, Kaczmar Architects Inc.
Brandon Wilkens, Karpinski Engineering
Josh Kocsis, Krill Project Manager

Project Introduction

- Christine explained that the proposal consisted of consolidating two parcels to make a 1.5-acre lot to construct a 7,750 square foot health center for Lorain County Health & Dentistry that would have six dental operational rooms, seven medical rooms and a couple rooms for behavioral health with 56 parking spaces. She discussed that it would be a one story structure that would be brick, metal and glass. She stated that due to the flood plain on the rear yard of the property and in order to be visible, they were going to ask for a 25 foot front yard setback. She stated that the entrance would be located to the north and staff would park to the south. She discussed that the trash enclosure would be at the rear of the site. She explained that there would be a monument sign near the driveway and one building mounted sign on the north face. She mentioned that grading was tricky with the flood plain but that they were able to make it work. She stated that the landscape plan would be keeping as many trees as possible but that grading would affect some. She added that the site would have six 15 foot light poles with two and a half foot bases and that there would be building mounted lighting for staff for entering and leaving when dark. She commented that the east and the south of the building would have mounted lighting. She stated that there would be a patio area for staff or for a lunch area.
- Chief Freeman asked if they were a private practice and what type of medical care they would be providing. He also asked if they would be providing transportation from their facility to another. Stephanie stated that it would be primary care with no x-rays but possibly some blood draw. She added that there would also be some mental health screenings. She explained that they were private with no affiliation with Lorain County other than in their name. She stated there would be some substance abuse care as well and might be transportation to another facility but that would be rare.

Staff Comments

- Kim remarked that regarding the 25 foot front setback variance, every building in that area had a reduced setback so that would keep it in line with the other buildings. She stated that the grading plan appeared to have rather steep slopes off the east side. Brandon mentioned that he believed it was 3 to 1 or flatter, not so steep as to not be mowable. Kim asked if there would be a retaining wall. Brandon stated that it would be mostly fill and curbing.
- Kim said the building lighting wasn't included in the photometric calculations and asked that they submit an updated lighting plan.

- Mayor commented that it looked very similar to their Elyria building and asked how long it would be before construction. Josh stated that it would be about eleven months of construction time and that they would hopefully start March 1.
- Chief Freeman asked if their monument sign would be away from the walking path or bike path. Christine stated that it would be twelve feet beyond the walking path and that there would probably be a flag pole twelve feet away as well.

Next Steps

- The applicant will submit any updated plans by or at the December 22 meeting.



LETTER OF TRANSMITTAL

To: Planning Commission **Date:** 12/1/2022
Building Department
7307 Avon Belden Road
North Ridgeville, OH 44039 **Enclosure:**

Attn: Tina Weber, Secretary

Re: Lorain County Health & Dentistry
35557 Center Ridge Rd.
BZBA Application **CC:**

WE ARE SENDING YOU: ☒ Attached ☐ Under Separate Cover via
☒ Shop Drawings ☐ Prints ☐ Specifications ☐ AutoCad Files
☐ Other

COPIES	DATE	NO.	DESCRIPTION
1			Planning Commission Application
10	12.1.22		24x36 Drawing Package

THESE ARE TRANSMITTED AS CHECKED BELOW:

☐ For Review and Comment ☒ For Approval ☐ As Requested ☐ For Your Use
☐ Approved as Submitted ☐ Approved as Noted ☐ Returned for Corrections

• REMARKS:

SIGNED Christine M. Raymond, RA, AIA, NCARB, LEED AP BD+C, CDT
If enclosures are not as noted, kindly notify us at once.



Lorain County
Health & Dentistry

UPDATED



NEW COMMUNITY HEALTH CENTER

35557 CENTER RIDGE RD, NORTH RIDGEVILLE, OHIO

PC APPLICATION

DECEMBER 15, 2022

Prepared for:

OWNER:
Lorain County Health & Dentistry
1205 Broadway Ave.
Lorain, OH 44052

Prepared by:

ARCHITECT:
Kaczmar architects incorporated
1468 W. 9th St. Suite 400
Cleveland, OH 44113
p: 216.687.1555 fax: 216.687.1558

MECHANICAL / ELECTRICAL ENGINEER
Denk Associates, Inc.
503 E. 200th St.
Cleveland, OH 44119
p: 216.531.8880 f: 216.531.5144

CIVIL ENGINEER
Karpinski Engineering
3135 Euclid Ave.
Cleveland, OH 44115
p: 216.391.3700

STRUCTURAL ENGINEER
Thorson Baker + Associates
3030 West Streetsboro Rd. Richfield, OH 44286
p: 330.659.6686

LANDSCAPE ARCHITECT
James S. McKnight, Landscape Architecture
P.O. Box 14158
Cleveland, OH 44114
p: 216.952.2408

CONSTRUCTION MANAGER
The Krill Co., Inc.
1275 Main Avenue
Cleveland, OH 44113



LOCATION PLAN



BUILDING INFORMATION

- I. PROJECT LOCATION:** LORAIN COUNTY HEALTH & DENTISTRY
35557 CENTER RIDGE RD
NORTH RIDGEVILLE, OHIO
ZONING DISTRICT: B3-Highway Commercial District
- II. DESCRIPTION & CLASSIFICATION OF BUILDING**
- | | |
|-----------------------|---|
| A. NATURE OF PROJECT: | CONSTRUCTION OF NEW MEDICAL / DENTAL OFFICE BUILDING |
| B. USE GROUP: | "B" BUSINESS |
| C. CONSTRUCTION TYPE: | VB COMBUSTIBLE |
| D. FIRE PROTECTION: | FULLY SUPPRESSED WITH AUTOMATIC FIRE SUPPRESSION SYSTEM PER NFPA 13 |
| E. BUILDING AREA: | 7,750 SF |
- III. REFERENCED CODES:**
2017 OHIO BUILDING CODE
- IV. HEIGHT AND AREA LIMITATIONS:**
- | | | |
|--|--|---------------|
| HEIGHT LIMIT PER TABLE 504.3: | 60'-0" | HEIGHT SHOWN: |
| ALLOWABLE NUMBER OF STORIES PER TABLE 504.4: | 3 | |
| AREA LIMIT PER TABLE 506.2: | 36,000 SF, ONE STORY WITH AUTOMATIC SPRINKLER SYSTEM | |
- V. FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS PER TABLE 601 CONSTRUCTION TYPE VB:**
- | | |
|---|---------|
| PRIMARY STRUCTURAL FRAME | 0 HOURS |
| BEARING WALLS | |
| INTERIOR | 0 HOURS |
| EXTERIOR | 0 HOURS |
| NONBEARING EXTERIOR WALL (TABLE 602) | |
| SEPARATION LESS THAN 5' | 0 HOUR |
| SEPARATION GREATER THAN 30' | 0 HOUR |
| NONBEARING INTERIOR WALLS AND PARTITIONS | 0 HOURS |
| FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS | 0 HOURS |
| ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS | 0 HOURS |
- VI. OCCUPANCY:**
MAXIMUM OCCUPANCY (100 SF / PERSON) = 78

Kaczmar
architects incorporated
cleveland • ohio
1468 West 9th Street, Suite 400, Cleveland, OH 44113
p. 216.687.1555 | f. 216.687.1558 | www.kaczarch.com

DRAWING INDEX

1 of 2	BOUNDARY SURVEY
2 of 2	EXISTING CONDITIONS SITE PLAN
C1.01	SITE DEMOLITION PLAN
C1.02	SITE LAYOUT PLAN
C1.03	SITE UTILITY PLAN
C1.04	SITE GRADING PLAN
SD-101	ARCHITECTURAL SITE PLAN
L-101	LANDSCAPE PLAN
E-101	SITE ELECTRICAL AND PHOTOMETRIC PLANS
A-101	FLOOR & ROOF PLAN
A-201	EXTERIOR ELEVATIONS

PC APPLICATION

DECEMBER 15, 2022

NEW COMMUNITY HEALTH CENTER

OWNERS ACCEPTANCE

I, REPRESENTATIVE OF LORAIN COUNTY HEALTH & DENTISTRY, AN OHIO NON-PROFIT CORPORATION, OWNERS OF THE LANDS SHOWN HEREON, DO HEREBY ACCEPT THIS LOT CONSOLIDATION AS SHOWN HEREON.

SIGNATURE

NOTARY PUBLIC

COUNTY OF LORAIN
STATE OF OHIO
BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED REPRESENTATIVE OF LORAIN COUNTY HEALTH & DENTISTRY, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT, AND THAT IT WAS OF FREE ACT AND DEED PERSONALLY. IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT _____, OHIO, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC

MY COMMISSION EXPIRES

OWNERSHIP

1 PPN 07-00-021-117-083
CITY OF NORTH RIDGEVILLE
O.R. VOL. 1117, PG. 415 L.C.D.R.
"60-WDV"

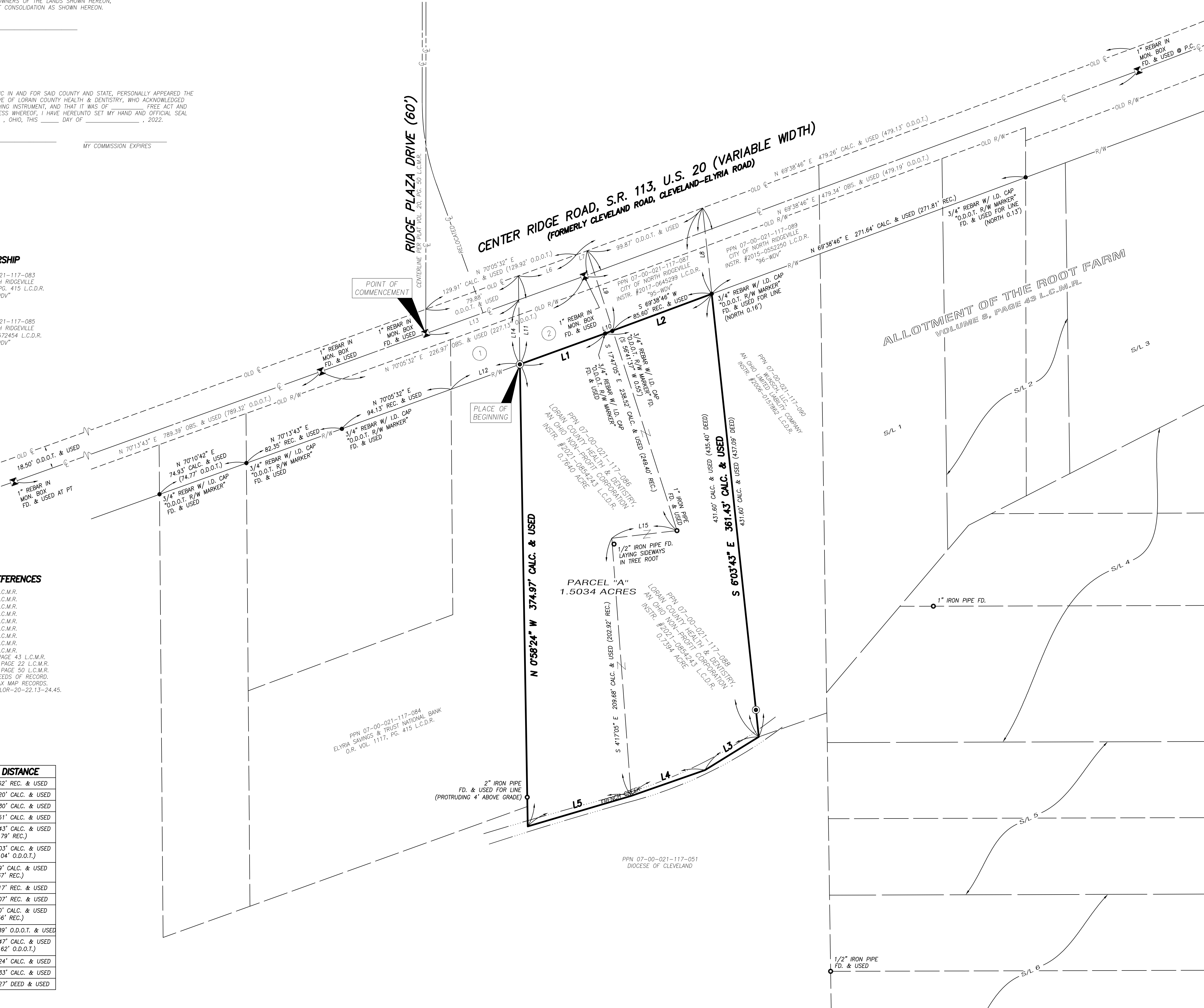
2 PPN 07-00-021-117-085
CITY OF NORTH RIDGEVILLE
INSTR. #2016-0572454 L.C.D.R.
"94-WDV"

SURVEY REFERENCES

- SURVEY #32366 L.C.M.R.
- SURVEY #32369 L.C.M.R.
- SURVEY #35647 L.C.M.R.
- SURVEY #42736 L.C.M.R.
- SURVEY #42908 L.C.M.R.
- SURVEY #43081 L.C.M.R.
- SURVEY #43091 L.C.M.R.
- SURVEY #43128 L.C.M.R.
- SURVEY #44477 L.C.M.R.
- PLAT VOLUME 8, PAGE 43 L.C.M.R.
- PLAT VOLUME 10, PAGE 22 L.C.M.R.
- PLAT VOLUME 20, PAGE 50 L.C.M.R.
- LORAIN COUNTY DEEDS OF RECORD.
- LORAIN COUNTY TAX MAP RECORDS.
- O.D.O.T. PROJECT LOR-20-22.13-24.45.

LINE DATA

LINE	BEARING	DISTANCE
L1	N 70°05'32" E	73.62' REC. & USED
L2	N 69°38'46" E	92.20' CALC. & USED
L3	S 58°18'50" W	51.30' CALC. & USED
L4	S 70°43'45" W	63.51' CALC. & USED
L5	S 73°34'02" W	87.43' CALC. & USED (85.79' REC.)
L6	N 70°05'32" E	50.03' CALC. & USED (50.04' O.D.O.T.)
L7	N 69°38'46" E	9.39' CALC. & USED (9.37' REC.)
L8	S 6°03'43" E	70.17' REC. & USED
L9	S 17°47'05" E	68.07' REC. & USED
L10	N 69°38'46" E	6.60' CALC. & USED (6.58' REC.)
L11	S 0°58'24" E	71.89' O.D.O.T. & USED
L12	N 70°05'32" E	59.47' CALC. & USED (59.62' O.D.O.T.)
L13	N 70°05'32" E	80.24' CALC. & USED
L14	S 0°58'24" E	52.33' CALC. & USED
L15	S 83°22'55" W	53.27' DEED & USED



BOUNDARY SURVEY

FOR

35557 CENTER RIDGE ROAD

KNOWN AS BEING PART OF TOWN 6, RANGE 16 OF THE CONNECTICUT WESTERN RESERVE SURVEY, PART OF ORIGINAL RIDGEVILLE TOWNSHIP LOT NO. 21, NOW SITUATED IN THE

CITY OF NORTH RIDGEVILLE
COUNTY OF LORAIN - STATE OF OHIO

McSteen

LAND SURVEYORS

1415 East 286th Street Wickliffe, OH 44092
Phone: 440.585.9800 www.mcsteen.com

THIS SURVEY IS A BOUNDARY SURVEY PREPARED IN ACCORDANCE WITH CHAPTER 4733-37, OHIO ADMINISTRATIVE CODE. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. ALL IRON PINS SHOWN AS SET ARE 30" LONG 5/8" REBAR WITH AN IDENTIFICATION CAP STAMPED "MCSTEEN CA 02236".

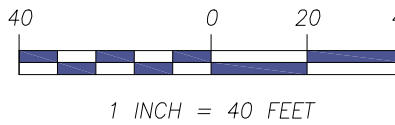
MATTHEW A. HILDEBRANDT REG. PROF. SURV. No. 8817

JOB NO.: 22-204
FIELD DATE: AUGUST 24, 2022
SURVEY DATE: SEPTEMBER 13, 2022
DRAWN BY: HKS

BASIS OF BEARING

BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATES SYSTEM, NORTH ZONE (3401), NAD83 (2011), 2010.0 EPOCH, AS DERIVED FROM GNSS OBSERVATIONS PER THE O.D.O.T. RTN (REAL-TIME-NETWORK).

GRAPHIC SCALE



INDEX OF SHEETS

SHEET 1: CERTIFICATION, BOUNDARY SURVEY, AREA OF SURVEYED PREMISES, AND SURVEY REFERENCES
SHEET 2: SITE PLAN AND MISCELLANEOUS NOTES

AREA OF SURVEYED PREMISES

PPN 07-00-021-117-086 0.7640 ACRE
PPN 07-00-021-117-088 0.7394 ACRE
TOTAL AREA 1.5034 ACRES

LEGEND

- REBAR FOUND AS NOTED
- ⊙ 5/8" DIAMETER X 30" LONG REBAR WITH "MCSTEEN CA 02236" ID CAP SET
- ✕ MONUMENT BOX FOUND AS NOTED
- PIPE FOUND AS NOTED
- ⤵ CENTERLINE
- R/W RIGHT-OF-WAY
- OLD ⤵ OLD CENTERLINE
- OLD R/W OLD RIGHT-OF-WAY
- CALC. CALCULATED DISTANCE OR ANGLE
- REC. RECORD DISTANCE OR ANGLE
- OBS. OBSERVED DISTANCE OR ANGLE
- FD. FOUND
- MON. MONUMENT
- L.C.M.R. LORAIN COUNTY MAP RECORDS
- L.C.D.R. LORAIN COUNTY DEED RECORDS
- O.D.O.T. OHIO DEPARTMENT OF TRANSPORTATION
- EDGE OF WATER

SITE PLAN
FOR
35557 CENTER RIDGE ROAD

KNOWN AS BEING PART OF TOWN 6, RANGE 16 OF THE
CONNECTICUT WESTERN RESERVE SURVEY, PART OF ORIGINAL
RIDGEVILLE TOWNSHIP LOT NO. 21, NOW SITUATED IN THE

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Matthew A. Hildebrandt
MATTHEW A. HILDEBRANDT

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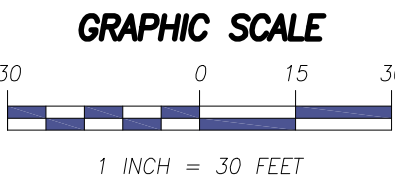
DRAWN BY: HKS



INDEX OF SHEETS

SHEET 1: CERTIFICATION, BOUNDARY SURVEY, AREA OF
SURVEYED PREMISES, AND SURVEY REFERENCES

SHEET 2: SITE PLAN AND MISCELLANEOUS NOTES



MISCELLANEOUS NOTES

- SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
- DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
- ALL OF THE VARIOUS SURVEY MONUMENTS SHOWN ON THIS PLAT AS FOUND OR USED ARE IN GOOD CONDITION, APPARENTLY UNDISTURBED, UNLESS OTHERWISE NOTED.
- THE VERTICAL RELIEF WAS PERFORMED BY GROUND SURVEY WITH A ONE (1) FOOT CONTOUR INTERVAL. THE VERTICAL DATUM USED FOR THIS SURVEY IS N.A.V.D. 88, DERIVED FROM GNSS OBSERVATIONS THROUGH THE O.D.O.T. REAL TIME NETWORK.

UTILITY NOTE

INFORMATION FROM THE SOURCES PROVIDED, WAS COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYORS ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

ITEMS SHOWN HEREON ARE BASED ON THE FOLLOWING INFORMATION:
A. PAINT MARKINGS OBSERVED DURING THE PROCESS OF CONDUCTING FIELDWORK.
B. PLANS SUPPLIED TO THE SURVEYOR FROM O.U.P.S. TICKET NUMBERS B225001548-00B & B225001549-00B.

UPON REQUEST, SURVEYOR SHALL SUPPLY COPIES OF THE OBTAINED RECORDS.

LEGEND

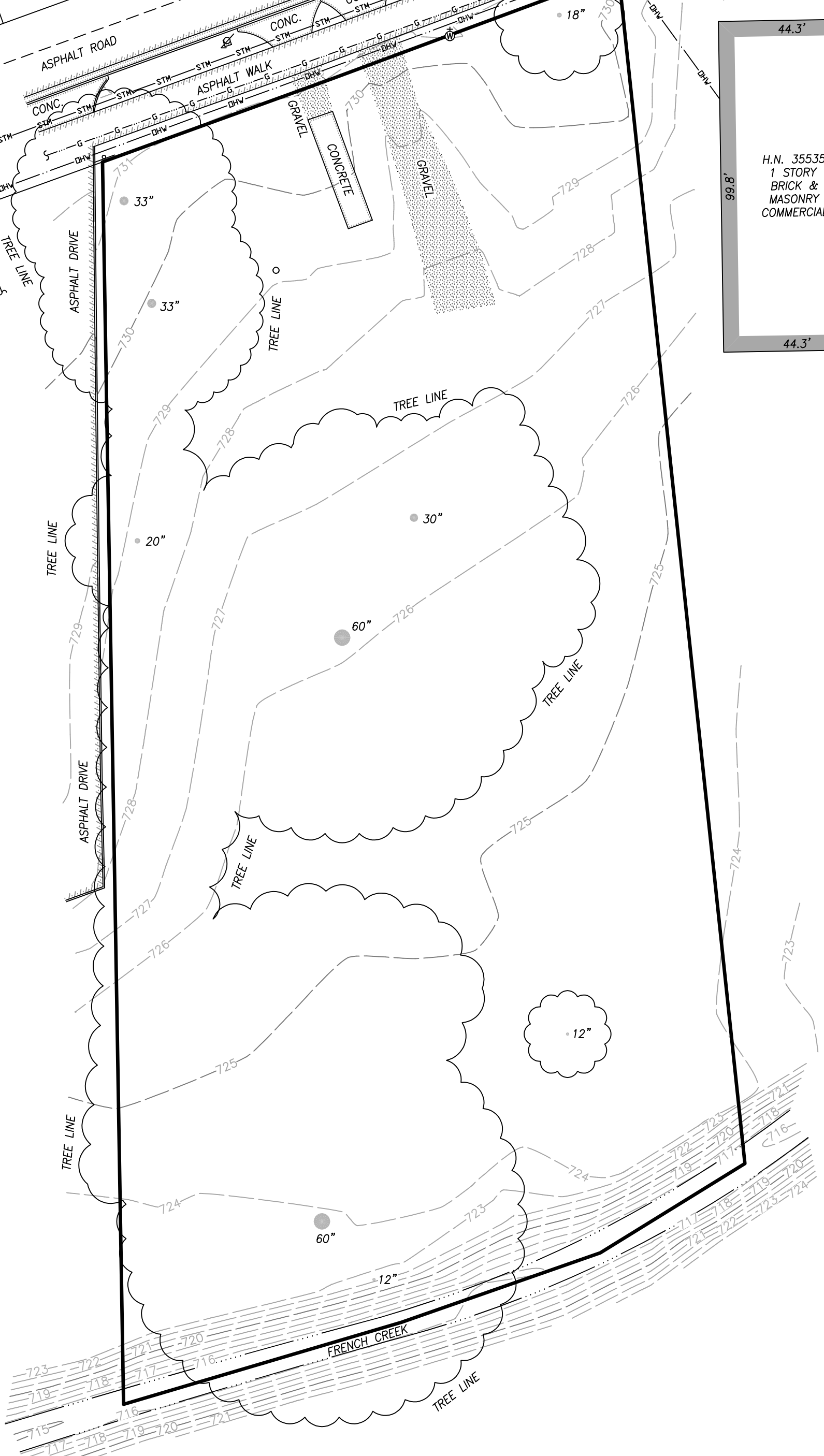
	CURB INLET BASIN
	CLEAN OUT
	GUY WIRE
	LIGHT POLE
	SANITARY MANHOLE
	STORM MANHOLE
	SIGN
	TREE
	UTILITY POLE
	WATER VALVE
	MAG NAIL SET
	CENTERLINE
	RIGHT-OF-WAY
	OLD CENTERLINE
	OLD RIGHT-OF-WAY
	OHIO DEPARTMENT OF TRANSPORTATION
	EDGE OF WATER
	OVERHEAD UTILITY WIRES
	GAS LINES
	SANITARY LINES
	STORM LINES
	MAJOR CONTOURS
	MINOR CONTOURS
	CONCRETE
	ASPHALT
	GRAVEL

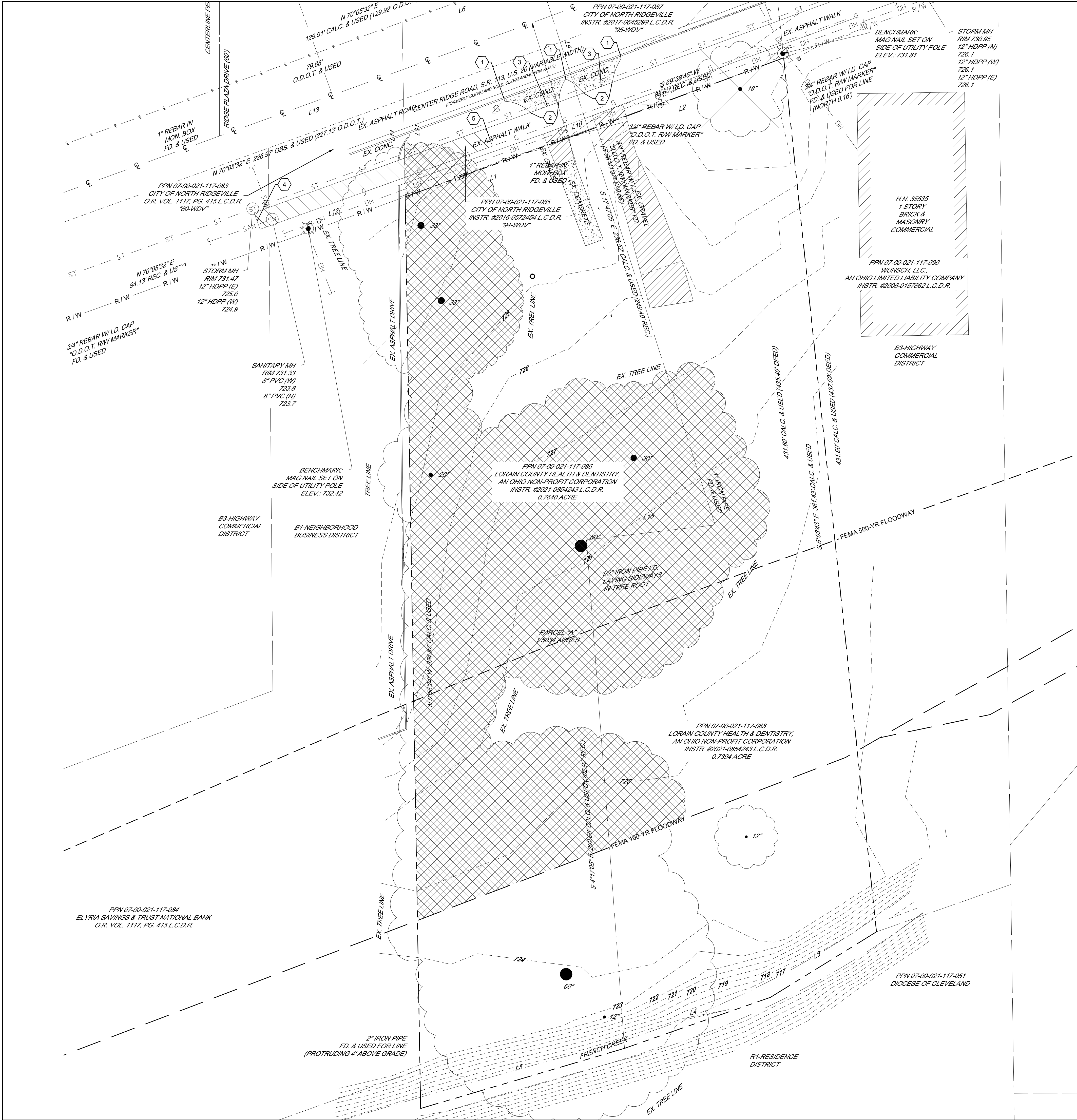
CENTER RIDGE ROAD, S.R. 113, U.S. 20 (VARIABLE WIDTH)
(FORMERLY CLEVELAND ROAD, CLEVELAND-ELYRIA ROAD)

RIDGE PLAZA DRIVE (60')

CENTERLINE PER PLAT VOL. 20, PG. 50 L.C.M.R.

44.3'
99.8'
H.N. 35535
1 STORY
BRICK &
MASONRY
COMMERCIAL
44.3'





LEGEND

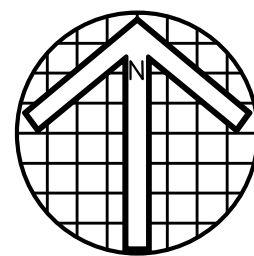
- GRAVEL REMOVAL
- CONCRETE REMOVAL
- TREE LINE REMOVAL (VERIFY TREES TO REMAIN WITH LANDSCAPE PLAN)
- ASPHALT REMOVAL (TO BE REPLACED WITH EQUIVALENT)
- TREE AND STUMP REMOVAL CITY MAY RELOCATE TREES COORDINATE WITH CITY PRIOR TO REMOVAL

PLAN NOTES

- BEING CURB REMOVAL
- END CURB REMOVAL
- NEATLY SAW CUT EXISTING CONCRETE
- BEGIN ASPHALT WALKWAY REMOVAL
- END ASPHALT WALKWAY REMOVAL

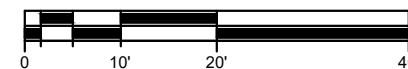
DEMOLITION NOTES

- THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC. SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- ALL EXISTING STRUCTURES INCLUDING PAVEMENT AS CALLED FOR TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE IS PROHIBITED.
- ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION/ EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN IN THESE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS AND RESTORATION OF AREAS DISTURBED BY UTILITY SERVICE INSTALLATION.



FULL SIZE SHEET (24"x36")

SCALE: 1" = 20'-0"



Project Team:

STRUCTURAL ENGINEER
Thorson Baker + Associates
3030 West Streetsboro Rd.
Richfield, OH 44286
p. 330.659.6688

MECHANICAL / ELECTRICAL ENGINEER
Denk Associates, Inc.
503 E. 200th St.
Cleveland, OH 44119
p. 216.531.8880 f. 216.531.5144

CIVIL ENGINEER
Karpinski Engineering
3135 Euclid Ave.
Cleveland, OH 44115
p. 216-391-3700

CONSTRUCTION MANAGER
The Krill Co., Inc.
1275 Main Avenue
Cleveland OH 44113

REVISED CITY COMMENTS 12.12.22

ISSUE	DATE
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PROJECT:

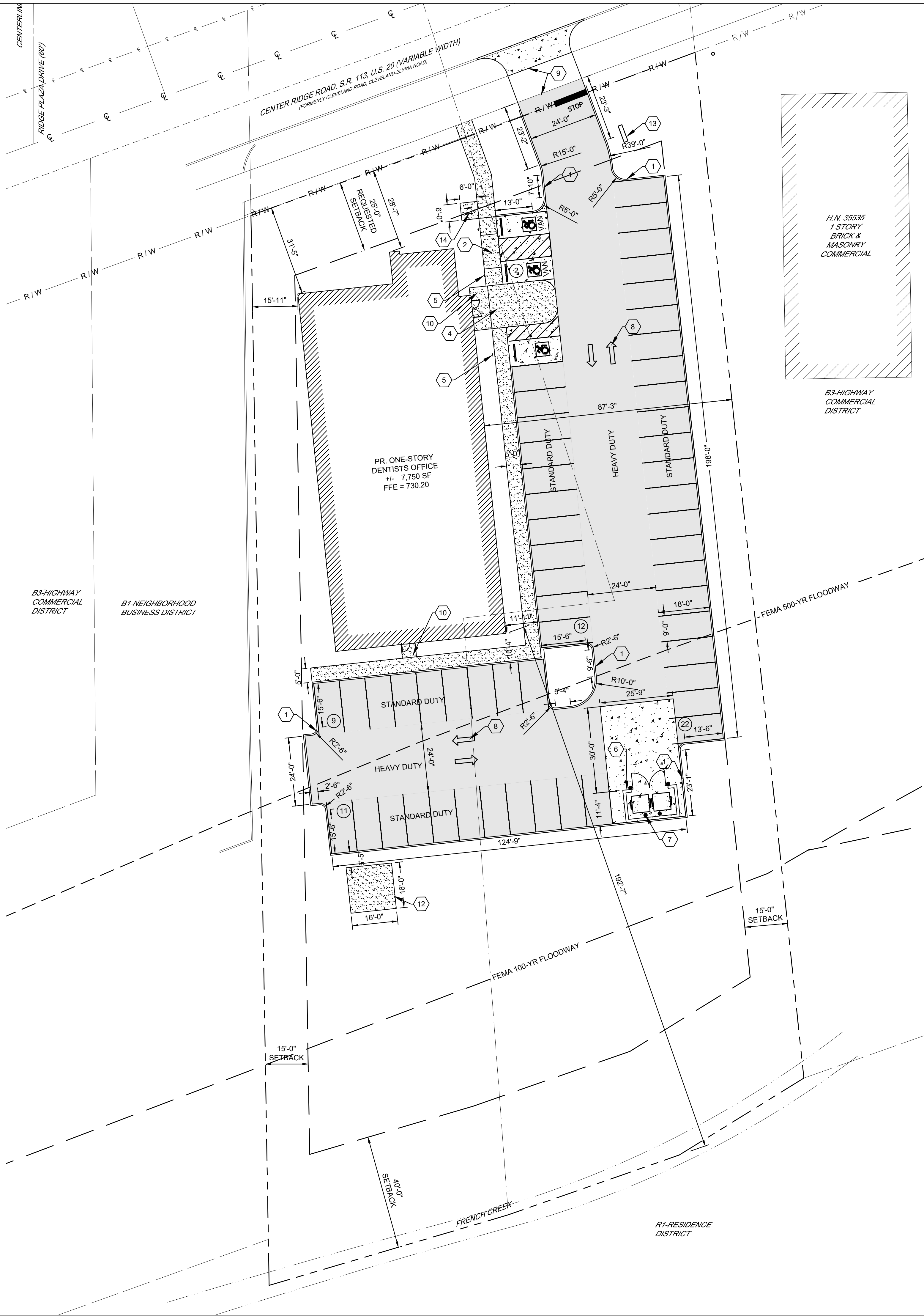


NEW COMMUNITY HEALTH CENTER
35557 CENTER RIDGE RD
NORTH RIDGEVILLE, OHIO 44035

CLIENT:
LORAIN COUNTY HEALTH & DENTISTRY
1205 Broadway Ave.
Lorain, OH 44052

SITE DEMOLITION PLAN

Scale:	1"=20'	Sheet:	C1.01
Date:	12/01/2022		



LEGEND

- HEAVY DUTY ASPHALT PAVEMENT IN ACCESS AISLES
- STANDARD DUTY ASPHALT PAVEMENT IN PAKING STALLS
- 8" REINFORCED CONCRETE PAVEMENT DRIVE APRONS AND DUMPSTER AREA
- 6" REINFORCED CONCRETE AT ADA SPACES
- 4" CONCRETE SIDEWALK AND PICNIC PATIO
- NUMBER OF PARKING SPACES

PLAN NOTES

- ODOT TYPE 6 CURB
- CURB RAMP
- ALL DIMENSIONS ARE TO THE FACE OF CURB
- INTEGRAL CURB AND WALK ALONG EAST BUILDING FACE WITH ZERO (0) IN CURB REVEAL WHERE SHOWN ON THE GRADING PLAN FOR ADA ACCESSIBILITY PURPOSES
- ADA SIGN
- SEE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAIL
- BOLLARD
- DIRECTIONAL ARROW
- SEAL ALL JOINTS WHERE ASPHALT ABUTS CONCRETE, CURBS AND EXISTING ASPHALT PAVEMENT.
- INSTALL FROST SLAB AT ALL DOORS
- UNDERGROUND STORAGE CHAMBERS FINAL LOCATION AND SIZE TBD
- 16'X16' PICNIC PATIO
- MONUMENT SIGN
- BIKE RACK, TYP. OF 2

GENERAL NOTES

- THE INTENT OF THIS PLAN IS TO CONSTRUCT A 7,750 S.F. HEALTH AND DENTISTRY CLINIC. PROJECT TO BE SERVED BY MUNICIPAL SEWER AND WATER. THIS CLINIC WILL OWN THE PARCEL. EXISTING CONSOLIDATED TWO PARCELS ARE VACANT.
- ZONING DISTRICT: B3 HIGHWAY COMMERCIAL DISTRICT
CODE BUILDING SETBACKS (MIN.):
FRONT SETBACK = 25'-0" VARIANCE SOUGHT
SIDE SETBACK = 15'-0"
REAR SETBACK = 40'-0"
CODE MAX. BUILDING HEIGHT = 65'-0" (PROPOSED BUILDING HEIGHT 19'-6")
- FLOOD ZONE:
FEMA FLOOD ZONE = AE SPECIAL FLOOD HAZARD AREA WITH ESTABLISHED BFE.
- PARKING CALCULATIONS:
CLINICS 1 SPACE FOR EACH 200 SF FLOOR AREA: 7,750 SF /200 = 39 SPACES
PLUS 1 SPACE FOR EACH EMPLOYEE: 10 EA /1 = 10 SPACES
REQUIRED PARKING SPACE 9'x18'
PROVIDED SPACE = (9'x18')
REQUIRED NUMBER OF PARKING STALLS = 49
PROVIDED STANDARD STALLS = 53
PROVIDED VAN ADA ACCESSIBLE PARKING STALLS = 2
PROVIDED STANDARD ADA ACCESSIBLE PARKING STALLS = 1
TOTAL PARKING STALLS PROVIDED = 56
- ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND REGULATIONS, ODOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/ OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE CITY ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED AND GRANTED.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (O. M.U.T.C.D.) AND ODOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING APPLICATIONS AND MATERIAL SHALL COMPLY WITH DETAILS AND SPECIFICATIONS.
- ALL STOP BARS SHALL BE 12" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC FLOW ARROWS SHALL BE PAINTED IN A COLOR OF YELLOW.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF THE MASONRY, UNLESS OTHERWISE NOTED.
- THE STORMWATER POLLUTION PREVENTION PLAN (SWP3) SHALL COMPLY WITH THE OHIO CONSTRUCTION GENERAL PERMIT (CGP) PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CGP DEFINES "COMMENCEMENT OF CONSTRUCTION" AS THE INITIAL DISTURBANCE OF SOILS ASSOCIATED WITH CLEARING, GRUBBING, GRADING, PLACEMENT OF FILL, OR EXCAVATING ACTIVITIES OR OTHER CONSTRUCTION ACTIVITIES. SUBMITTAL OF THE COMPLETED CGP CHECKLIST IS REQUIRED FOR A FULL STORMWATER REVIEW OF THE PROPOSAL; THEREFORE, IT SHALL BE SUBMITTED IN ORDER FOR THE CITY TO ISSUE A LIST OF REQUIRED STORMWATER CORRECTIONS. SUBMITTAL OF THE CGP NOTICE OF INTENT (NOI) SHALL NOT PRECEDED CITY APPROVAL OF THE SWP3.
- LOT COVERAGE:
TOTAL ACREAGE = 1.50 AC
ALLOWABLE BUILDING COVERAGE = 0.375 AC (25.00%)
EX. BUILDING = 0.00 AC (0.00%)
EX. IMPERVIOUS = 0.04 AC (2.67%)
EX. OPEN SPACE = 1.46 AC (97.33%)
PR. BUILDING = 0.18 AC (12.00%)
PR. IMPERVIOUS = 0.85 AC (43.33%)
PR. OPEN SPACE = 0.85 AC (56.67%)

Karpinski
ENGINEERING

3135 Euclid Ave.
Cleveland, OH 44115
216-391-3700 | karpinskieng.com

Kaczmar
architects incorporated
cleveland • ohio

1468 West 9th Street, Suite 400, Cleveland, OH 44113
p. 216.687.1555 | f. 216.687.1550 | www.kaczmararch.com

Project Team:

STRUCTURAL ENGINEER
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3030 West Streetsboro Rd.
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1275 Main Avenue
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REVISED CITY COMMENTS 12.12.22

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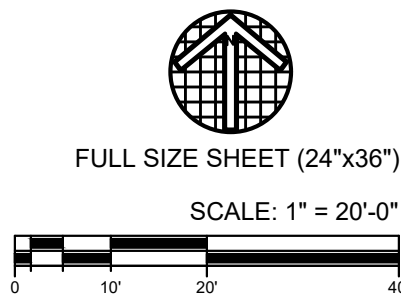
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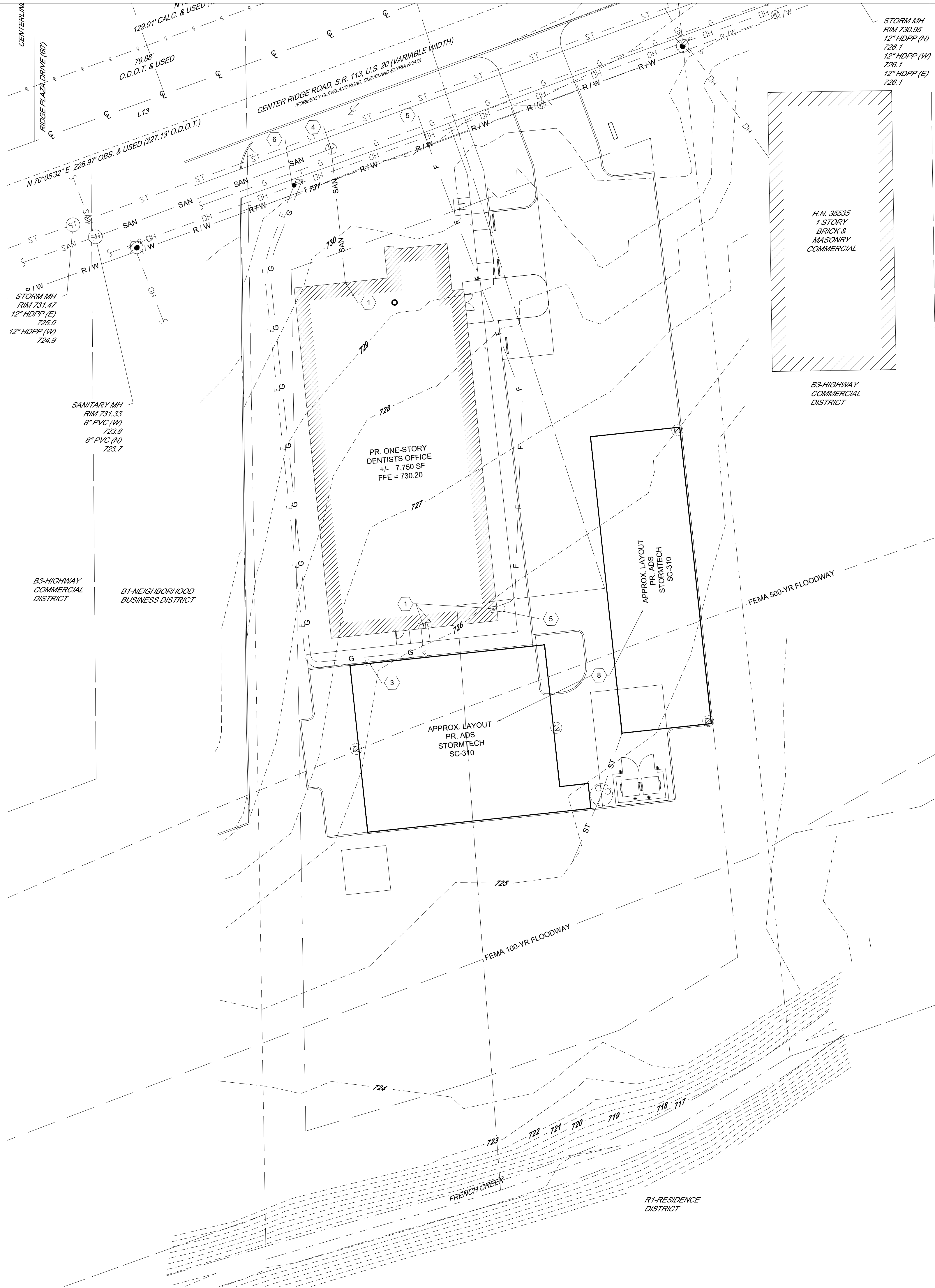
NEW COMMUNITY HEALTH CENTER
35557 CENTER RIDGE RD
NORTH RIDGEVILLE, OHIO 44035

CLIENT:
LORAIN COUNTY HEALTH & DENTISTRY
1205 Broadway Ave.
Lorain, OH 44052

SITE LAYOUT PLAN



Scale:	1"=20'	Sheet:
Date:	12/01/2022	C1.02



PLAN NOTES

1. SEE BUILDING PLUMBING PLAN FOR CONTINUATION OF WATER AND SANITARY SEWER
2. SEE ARCHITECT FLOOR PLAN AND ELEVATION FOR FINAL DOWNSPOUT LOCATION
3. SEE ELECTRICAL PLAN FOR UNDERGROUND CONNECTION.
4. PR. SANITARY EXTENSION WITH NEW SANITARY MANHOLE. CONTRACTOR TO REPLACE EX. ASPHALT WALKWAY WITH EQUIVALENT. SANITARY CONNECTION TO BE CONFIRMED WITH CITY BEFORE CONSTRUCTION.
5. PR. FIRE LINE (SIZE PER MEP DRAWINGS), DOMESTIC WATER LINE TO BE METERED IN MECHANICAL ROOM. PUBLIC MAIN WAS NOT FIELD LOCATED. TIE-IN TO PUBLIC WATER MAIN TO BE VERIFIED WITH CITY.
6. PR. UTILITY POLE. COORDINATE LOCATION WITH UTILITY COMPANY.
7. VERIFY TREES TO REMAIN WITH LANDSCAPE PLAN AND DEMO PLAN BEFORE CONSTRUCTION OF UTILITIES.
8. FINAL STORMWATER MANAGEMENT SYSTEM TO BE DESIGNED IN COORDINATION WITH CITY ENGINEERING DEPT. BEFORE CONSTRUCTION PERMIT APPROVAL.

PRELIM. PIPE MATERIAL NOTES

1. WATER: 2" TYPE K COPPER
2. FIRE : 4" D.I.P. CLASS 52 CEMENT LINED
3. STORM SEWER: ADS HDPE N-12
4. STORM CONNECTIONS: 6-INCH HDPE N-12
5. UNDERDRAIN - 6" PERF. PVC SDR 35
6. SANITARY CONNECTIONS: 6-INCH PVC SDR 35
7. NATURAL GAS SERVICE BY COLUMBIA GAS
8. ELECTRIC - SEE SITE ELECTRICAL PLANS
9. COMMUNICATIONS - SEE SITE ELECTRICAL PLANS

ABBREVIATIONS

S = SANITARY
STM = STORM
W = WATER
G = GAS MAIN BY OTHERS
COMB = COMBINED
OH = OVERHEAD LINES

GENERAL NOTES

1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER KARPINSKI ENGINEERING OR MCSTEEN LAND SURVEYORS NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION BY CALLING OHIO UTILITY PROTECTION SERVICE.
2. PLANS SUPPLIED TO THE SURVEYOR FROM O.U.P.S. TICKET NUMBERS B225001548-00B & B225001549-00B

CONSTRUCTION STAKING NOTE

THE CONTRACTOR'S REGISTERED SURVEYOR SHALL CONTACT THE ENGINEER OF RECORD TO OBTAIN A COPY OF THE AUTOCAD FILE FOR CONSTRUCTION STAKING.

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REVISED CITY COMMENTS 12.12.22

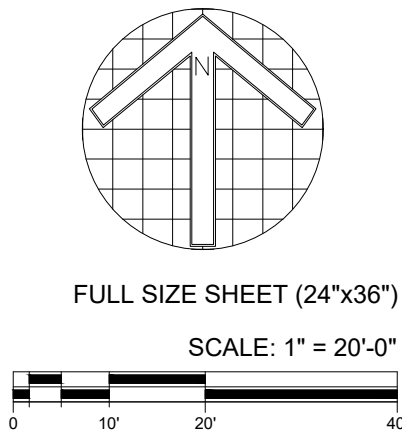
ISSUE	DATE
PROJECT:	



NEW COMMUNITY HEALTH CENTER
35557 CENTER RIDGE RD
NORTH RIDGEVILLE, OHIO 44035

CLIENT:
LORAIN COUNTY HEALTH & DENTISTRY
1205 Broadway Ave.
Lorain, OH 44052

SITE UTILITY PLAN



Scale: 1"=20'	Sheet:
Date: 12/01/2022	C1.03





3135 Euclid Ave.
Cleveland, OH 44115
216-391-3700 | karpinskieng.com



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CONSTRUCTION MANAGER
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1275 Main Avenue
Cleveland OH 44113

REVISIED CITY COMMENTS 12.12.22

ISSUE	DATE
PROJECT:	
	
NEW COMMUNITY HEALTH CENTER 35557 CENTER RIDGE RD NORTH RIDGEVILLE, OHIO 44035	
CLIENT: LORAIN COUNTY HEALTH & DENTISTRY 1205 Broadway Ave. Lorain, OH 44052	
SITE GRADING PLAN	
Scale: 1"=20'	Sheet: C1.04
Date: 12/01/2022	



Stanley J. Kaczmar, License #4988
Expiration Date: 12/31/2023



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CONSTRUCTION MANAGER
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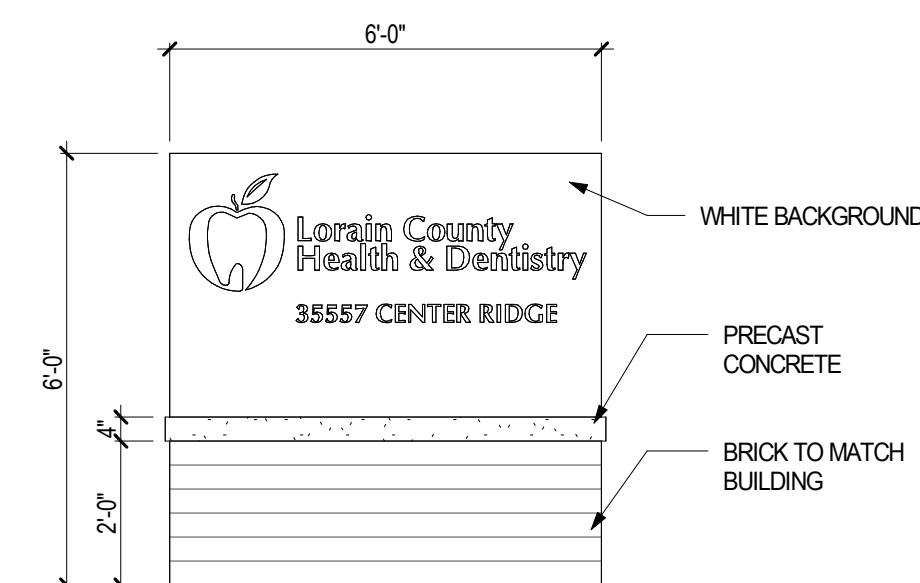
PROJECT DATA:

DESCRIPTION AND CLASSIFICATION OF BUILDING:
A. NATURE OF PROJECT: NEW HEALTH CLINIC
B. USE GROUP: "B" BUSINESS
C. CONSTRUCTION TYPE: VB COMBUSTIBLE
D. FIRE PROTECTION: SYSTEM PER NFPA 13
E. BUILDING AREA: 7,750 SF
F. ZONING DISTRICT: B3-Highway Commercial District

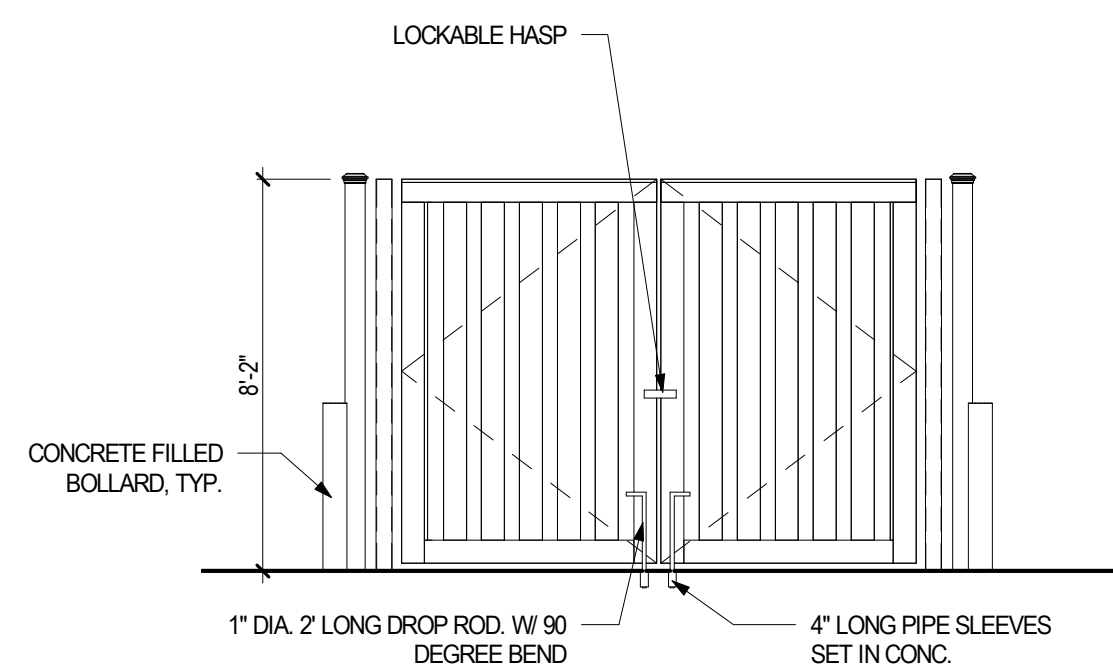
PARKING ANALYSIS:
MEDICAL OR DENTAL CLINICS:
1 / 200 SF OF FLOOR AREA = 7,750 / 200 = 39
PLUS ONE PARKING SPACE FOR EACH EMPLOYEE = 10
TOTAL REQUIRED: 49
PARKING PROVIDED: 56

1 SITE PLAN KEYED NOTES

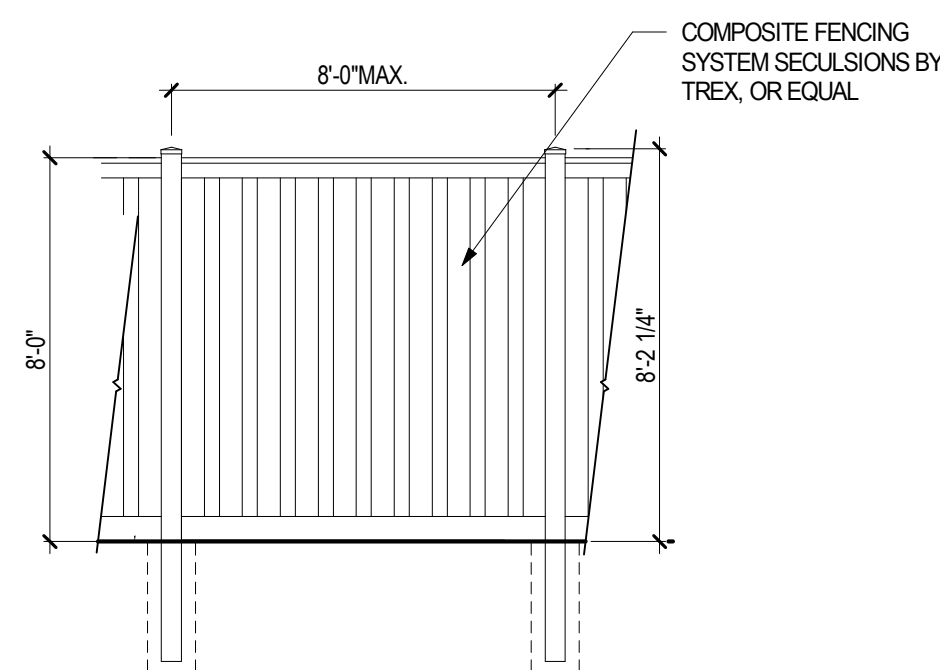
- | # | NOTE |
|----|---|
| 1 | NEW CONCRETE APRON AND CURB CUT |
| 2 | NEW CONCRETE SIDEWALK |
| 3 | ACCESSIBLE SIDEWALK RAMP |
| 4 | PARKING SIGN & POST TYPICAL ALL ACCESSIBLE PARKING STALLS, SEE CIVIL DWGS. FOR DETAIL |
| 5 | 25' H FLAG POLE & AMERICAN FLAG |
| 6 | BIKE RACK, TYP. OF TWO (2) |
| 7 | DASHED LINES INDICATE CANOPY ABOVE |
| 9 | LIGHT POLE & BASE, SEE ELECT. DWGS. |
| 10 | MONUMENT SIGN, INTERNALLY ILLUMINATED ON MASONRY BASE, BRICK TO MATCH BUILDING. |
| 11 | CONCRETE PATIO |
| 12 | CONCRETE DUMPSTER PAD |
| 13 | DUMPSTER ENCLOSURE, PRIVACY FENCE AND GATES, 6' H. |



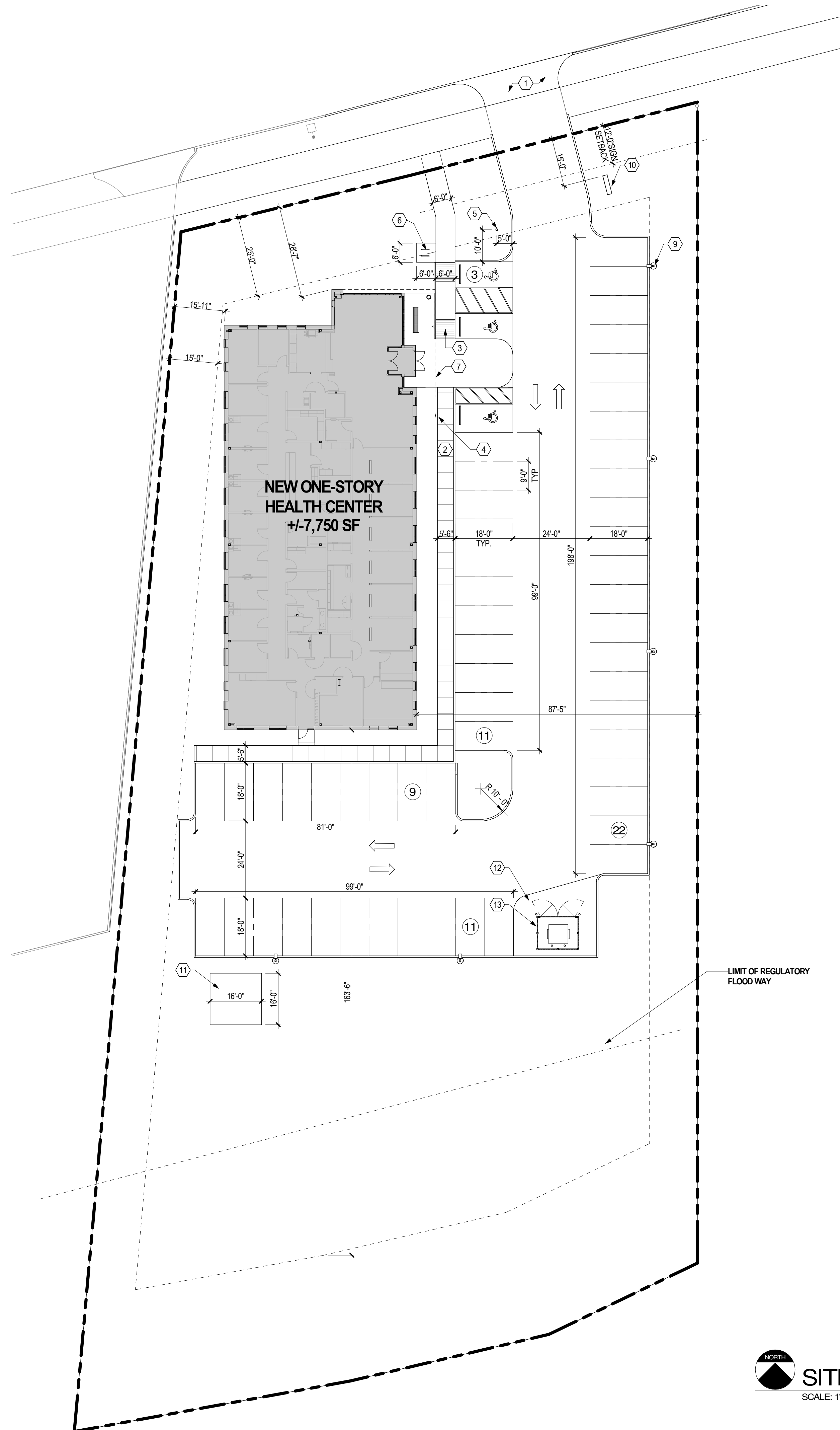
2 MONUMENT SIGN
SD-101 3/8" = 1'-0"



4 DUMPSTER ENCLOSURE GATES
SD-101 1/4" = 1'-0"



3 FENCE ELEVATION
SD-101 1/4" = 1'-0"



SITE PLAN
SCALE: 1" = 20'-0"

ISSUE	DATE
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PROJECT:



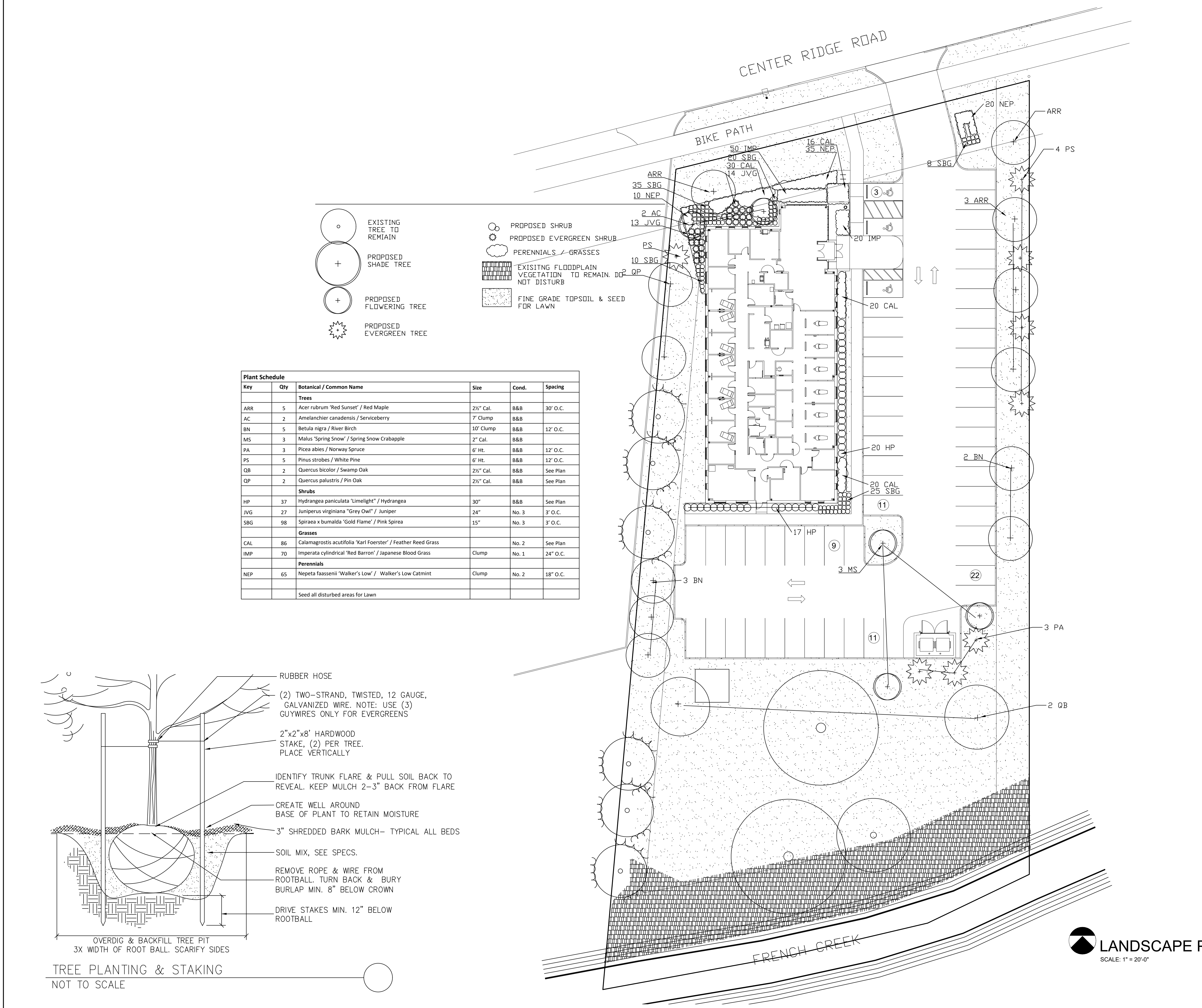
NEW COMMUNITY HEALTH CENTER
35557 CENTER RIDGE RD,
NORTH RIDGEVILLE, OHIO

CLIENT:
LORAIN COUNTY HEALTH & DENTISTRY
1205 Broadway Ave.
Lorain, OH 44052

ARCHITECTURAL SITE PLAN

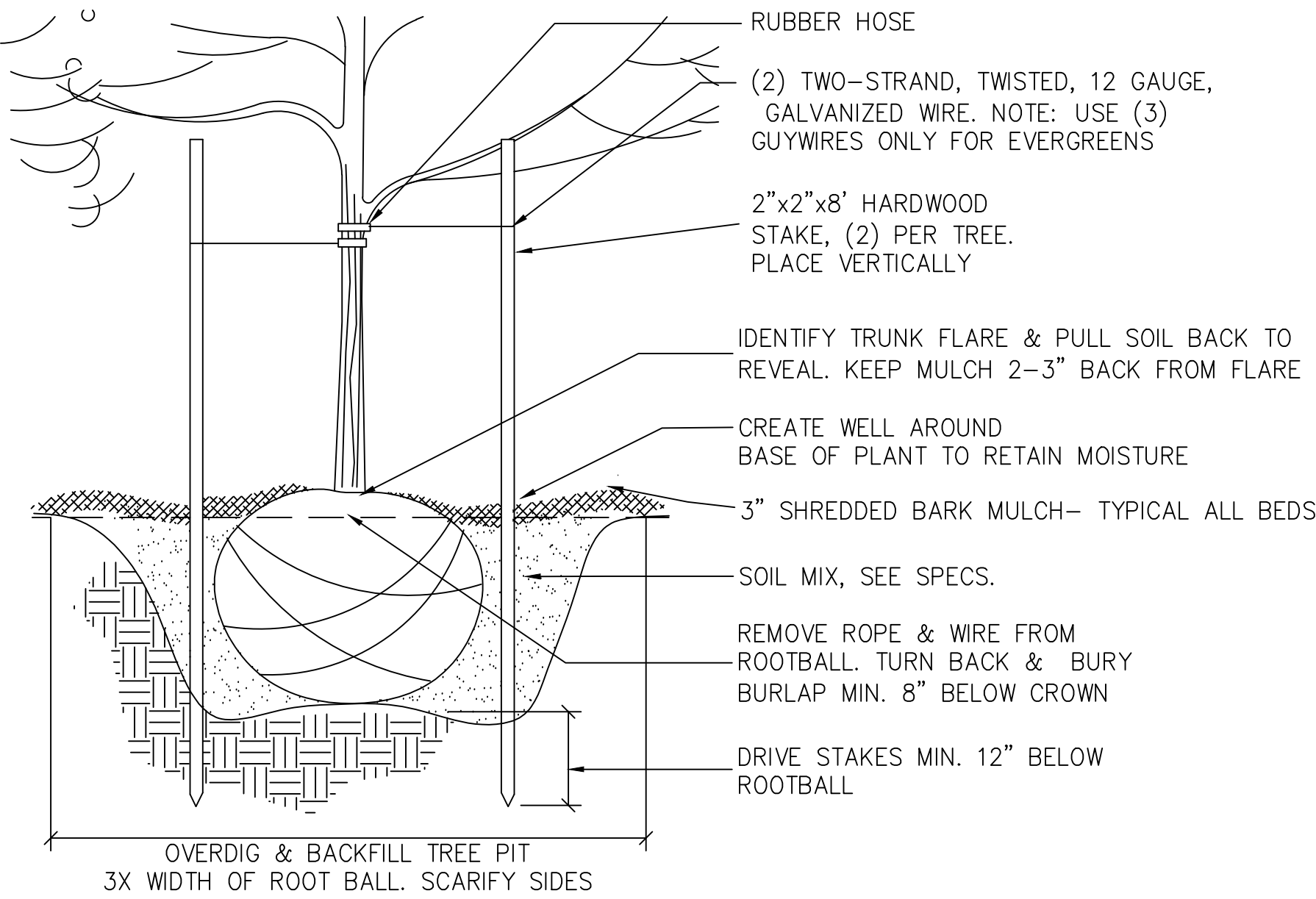
Scale:
As indicated
Date:
12/15/22

Sheet:
SD-101



- EXISTING TREE TO REMAIN
- PROPOSED SHADE TREE
- PROPOSED FLOWERING TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB
- PROPOSED EVERGREEN SHRUB
- PERENNIALS / GRASSES
- EXISTING FLOODPLAIN VEGETATION TO REMAIN. DO NOT DISTURB
- FINE GRADE TOPSOIL & SEED FOR LAWN

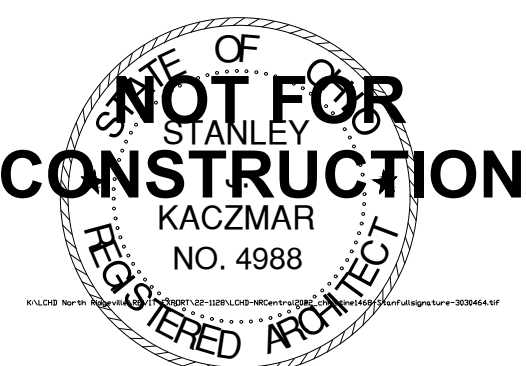
Plant Schedule					
Key	Qty	Botanical / Common Name	Size	Cond.	Spacing
Trees					
ARR	5	Acer rubrum "Red Sunset" / Red Maple	2 1/2" Cal.	B&B	30' O.C.
AC	2	Amelanchier canadensis / Serviceberry	7" Clump	B&B	
BN	5	Betula nigra / River Birch	10' Clump	B&B	12' O.C.
MS	3	Malus "Spring Snow" / Spring Snow Crabapple	2" Cal.	B&B	
PA	3	Picea abies / Norway Spruce	6' Ht.	B&B	12' O.C.
PS	5	Pinus strobes / White Pine	6' Ht.	B&B	12' O.C.
QB	2	Quercus bicolor / Swamp Oak	2 1/2" Cal.	B&B	See Plan
QP	2	Quercus palustris / Pin Oak	2 1/2" Cal.	B&B	See Plan
Shrubs					
HP	37	Hydrangea paniculata "Limelight" / Hydrangea	30"	B&B	See Plan
JVG	27	Juniperus virginiana "Grey Owl" / Juniper	24"	No. 3	3' O.C.
SBG	98	Spiraea x bumalda "Gold Flame" / Pink Spirea	15"	No. 3	3' O.C.
Grasses					
CAL	86	Calamagrostis acutifolia "Karl Foerster" / Feather Reed Grass		No. 2	See Plan
IMP	70	Imperata cylindrical "Red Barron" / Japanese Blood Grass	Clump	No. 1	24" O.C.
Perennials					
NEP	65	Nepeta faassenii "Walker's Low" / Walker's Low Catmint	Clump	No. 2	18" O.C.
Seed all disturbed areas for Lawn					



TREE PLANTING & STAKING
NOT TO SCALE



JAMES S. MCKNIGHT, LA 8300504
EXPIRATION DATE 12/31/2022



Stanley J. Kaczmar, License #4988
Expiration Date: 12/31/2023

James S. McKnight
LANDSCAPE
ARCHITECTURE
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(216) 952 2408
jsm@mcknightla.com

PROJECT DATA:

DESCRIPTION AND CLASSIFICATION OF BUILDING:
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PARKING ANALYSIS:

MEDICAL OR DENTAL CLINICS:
1 / 200 SF OF FLOOR AREA = 7,750 / 200 = 39
PLUS ONE PARKING SPACE FOR EACH EMPLOYEE = 10
TOTAL REQUIRED: 49

PARKING PROVIDED: 56

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CONSTRUCTION MANAGER
The Krill Co., Inc.
1275 Main Avenue
Cleveland, OH 44113

ISSUE	DATE
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PROJECT:

NEW COMMUNITY HEALTH
CENTER

35557 CENTER RIDGE RD.
NORTH RIDGEVILLE, OHIO

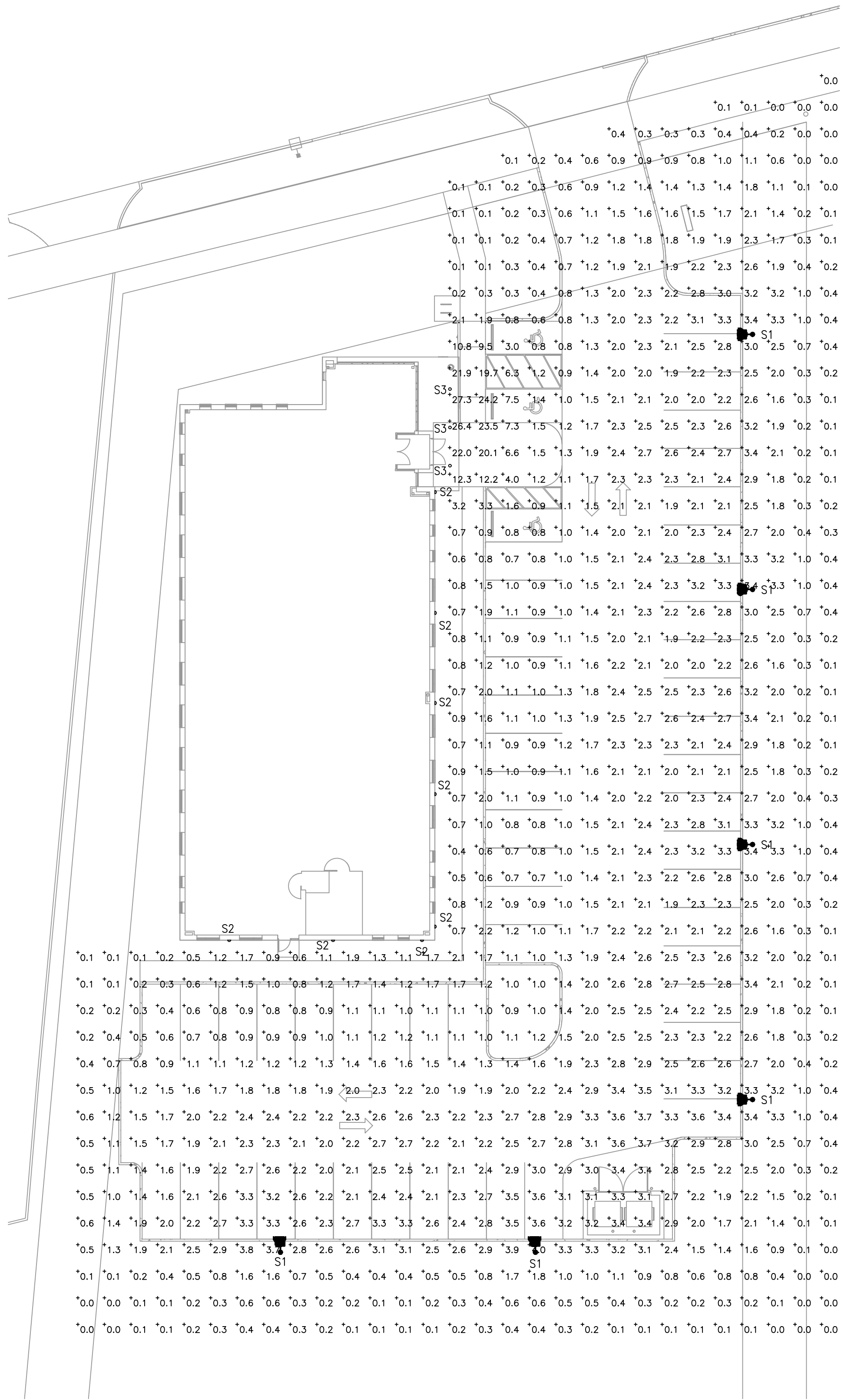
CLIENT:

LORAIN COUNTY HEALTH & DENTISTRY
1205 Broadway Ave.
Lorain, OH 44052

LANDSCAPE
PLAN

Scale:
1" = 20'-0"
Date:
12/01/22

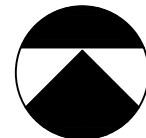
Sheet:
L-101



PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.8 fc	27.3 fc	0.0 fc	N/A	N/A

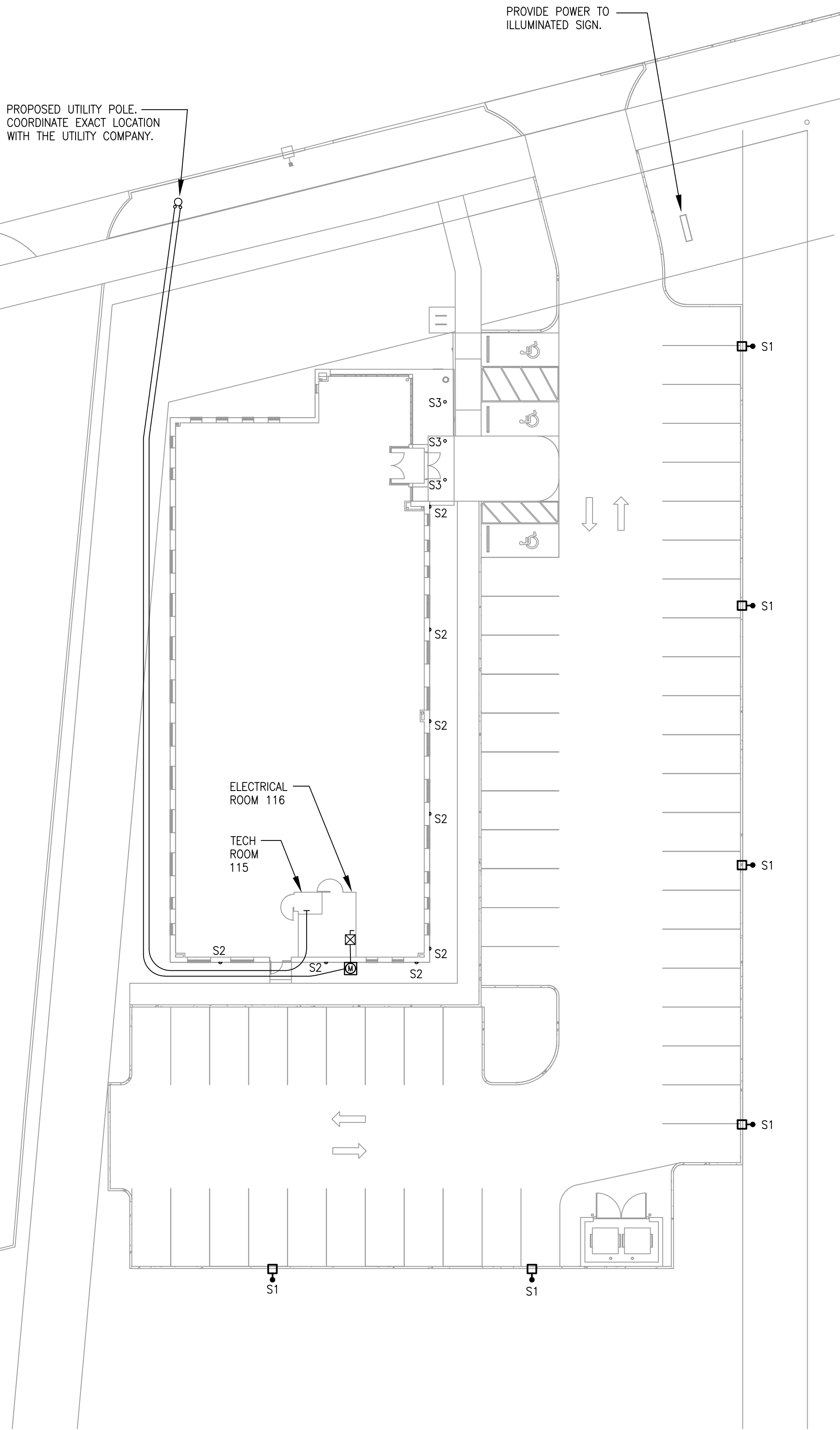


ELECTRICAL SITE PLAN

SCALE: 1" = 20'-0"

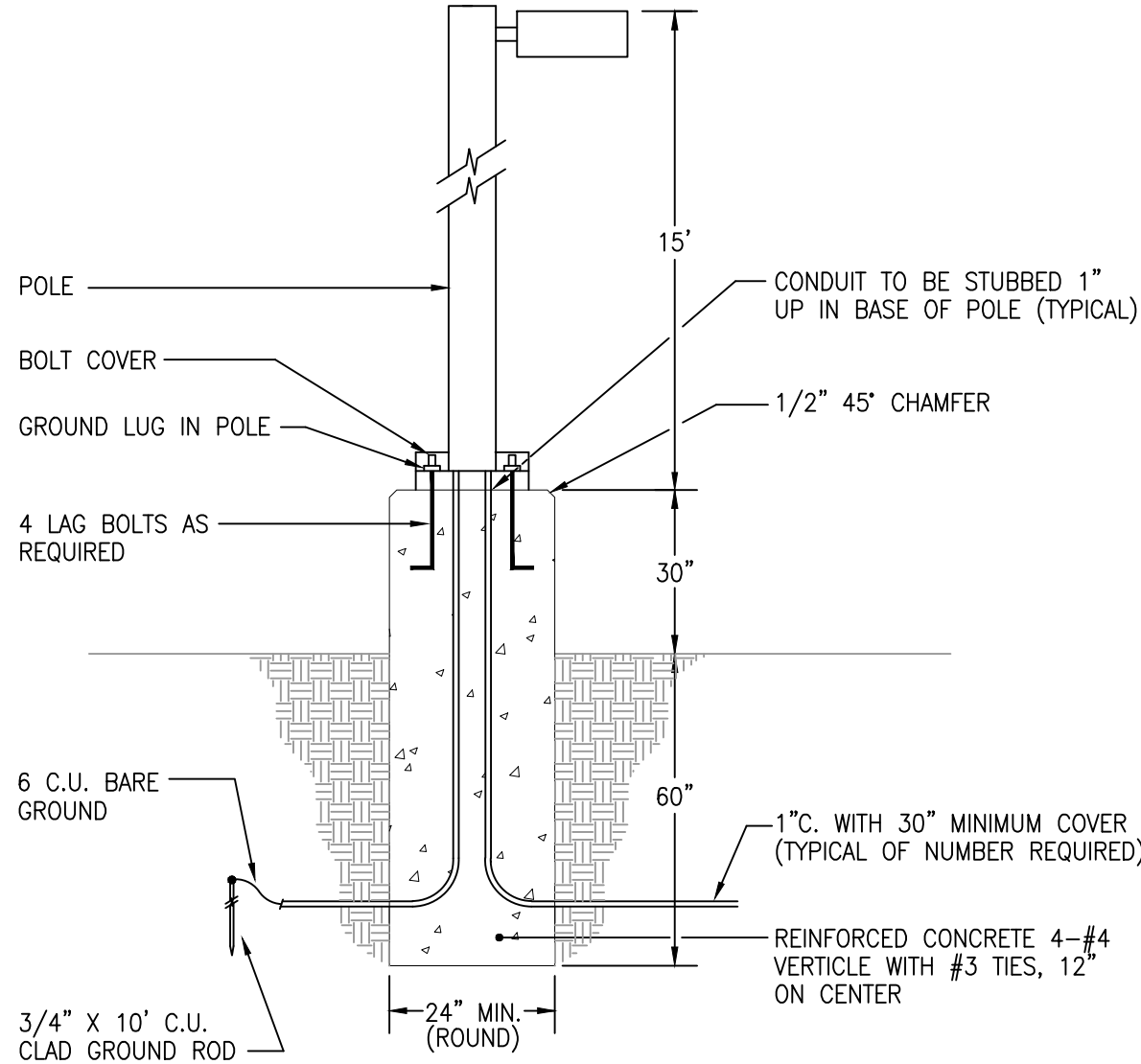
SITE PLAN GENERAL NOTES:

1. WIRE POLES WITH 2 #10, 1 #10 G. IN 3/4" CONDUIT AT 18" BELOW GRADE MINIMUM. DEPTH SHALL BE 24" BELOW PARKING LOT/DRIVE WAY. ROUTE BRANCH CIRCUIT THROUGH TIME CLOCK IN MECHANICAL ROOM. TYPICAL.



LIGHTING FIXTURE SCHEDULE

TYPE	WATTAGE		DESCRIPTION	CATALOG NO.
	LAMP	FIXTURE		
S1	LED 3500K 10000L	84	LED POLE MOUNTED FIXTURE WITH TYPE 4 OPTICS, BACK LIGHT CONTROL, 120V. MOUNTED ON 15' SQUARE STRAIGHT STEEL POLE. STANDARD COLOR TO BE SELECTED BY THE ARCHITECT.	HUBBELL VP1-36L-85-35K7- 4F-UNV-A-COLOR-BC POLE: 15' SSS
S2	LED 3500K 2700L	18	LED WALL MOUNTED SCONCE. 1/2 ROUND WITH ACRYLIC DIFFUSER.	TLI GRDW24-L18-ZE500- U-COLOR-35K
S3	LED 3500K 4000L	51	LED 6" APERTURE DOWNLIGHT WITH LENS. WET LOCATION LISTED	PRESCOLITE LTR-6RD-HL- LTR-6RD-T-SH-HL



TYPE "S1" POLE BASE DETAIL

SCALE: NONE



VIPER Area/Site

VIPER LUMINAIRE

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 15G.
- Control options including photo control, occupancy sensing, NX Lighting Controls™, wiSCAPE and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped



CONTROL TECHNOLOGY

NX LIGHTING CONTROLS™

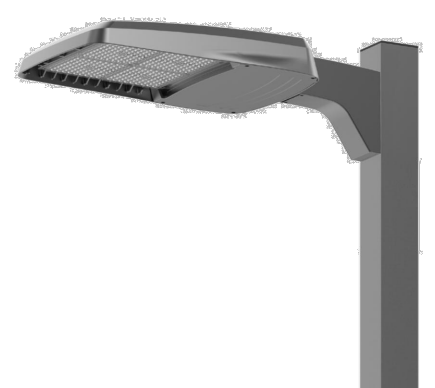
wiSCAPE™

DATE: _____ LOCATION: _____

TYPE: S1 PROJECT: _____

CATALOG #: _____

MICROSTRIKE | STRIKE



GUARDIAN W LED 26"

Architectural Outdoor



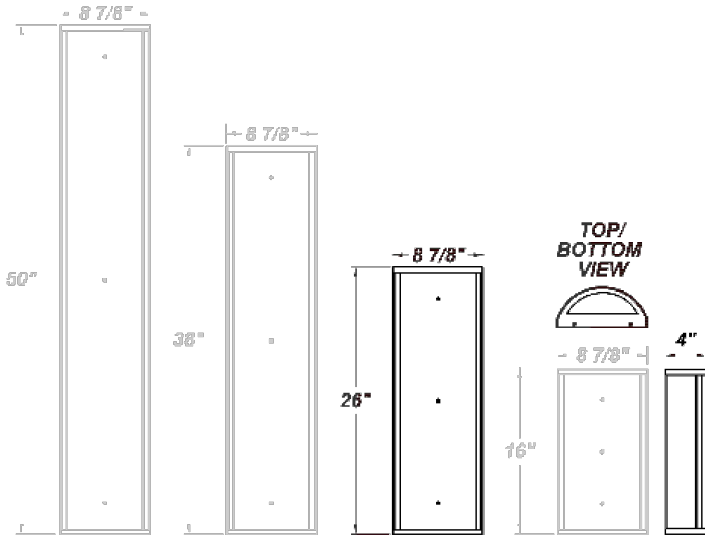
PROJECT: _____
TYPE: S2 _____
QTY: _____
POI: _____
COMMENTS: _____

FEATURES

- 120V - 277V, Plus 347V For Selected Wattages
- Aluminum LED Mounting Plate
- CSA Listed Wet Location Vertical Position Only
- CSA Listed Damp Location Horizontal Position
- Die Cast Aluminum End Caps w/ Matte Silver Polyester Powder Coat Finish
- Emergency Battery Available
- Extruded Aluminum Housing w/ Matte Silver Polyester Powder Coat Finish
- Fixture Mounts Directly to Surface w/ Two Wall Anchors (Not Included)
- High Impact White Acrylic Diffuser (50% DR Acrylic)
- LED Light Fixture
- Over-Voltage, Over-Current, and Short-Circuit Protection w/ Auto Recovery (For 24.5W Only)
- Recessed Stainless Steel Screws
- Surge Protector (For L24.5, L12.0 and L18.0 Only)
- Vandal Resistant

LINE DRAWING

LINE DRAWING NOT TO SCALE



FINISHES

Antique Copper Antique Silver Bronze Mist Matte Silver Sand Swedish Steel

DISCLAIMER:
NO CLAIM IS MADE FOR THE ACCURACY OF THE INFORMATION ON THIS DRAWING (IN DIGITAL OR HARD COPY FORM). THE INFORMATION ON THIS DRAWING IS PROVIDED FOR THE USER'S CONVENIENCE ONLY. ANY AND ALL USERS MUST VERIFY ALL DIMENSIONS IN THE FIELD. USERS MUST ASSUME ALL RISK AND LIABILITY FOR ANY ALTERATION OF THIS INFORMATION



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p. 216.391.3700

CONSTRUCTION MANAGER

The Krill Co., Inc.
1275 Main Avenue
Cleveland, OH 44113

REVISED CITY COMMENTS 12.12.22

ISSUE _____ DATE _____

PROJECT:



NEW COMMUNITY HEALTH CENTER

35557 CENTER RIDGE RD
NORTH RIDGEVILLE, OHIO 44035

CLIENT:

LORAIN COUNTY HEALTH & DENTISTRY
1205 BROADWAY AVENUE
LORAIN, OH 44052

ELECTRICAL SITE AND PHOTOMETRIC PLAN

Scale:

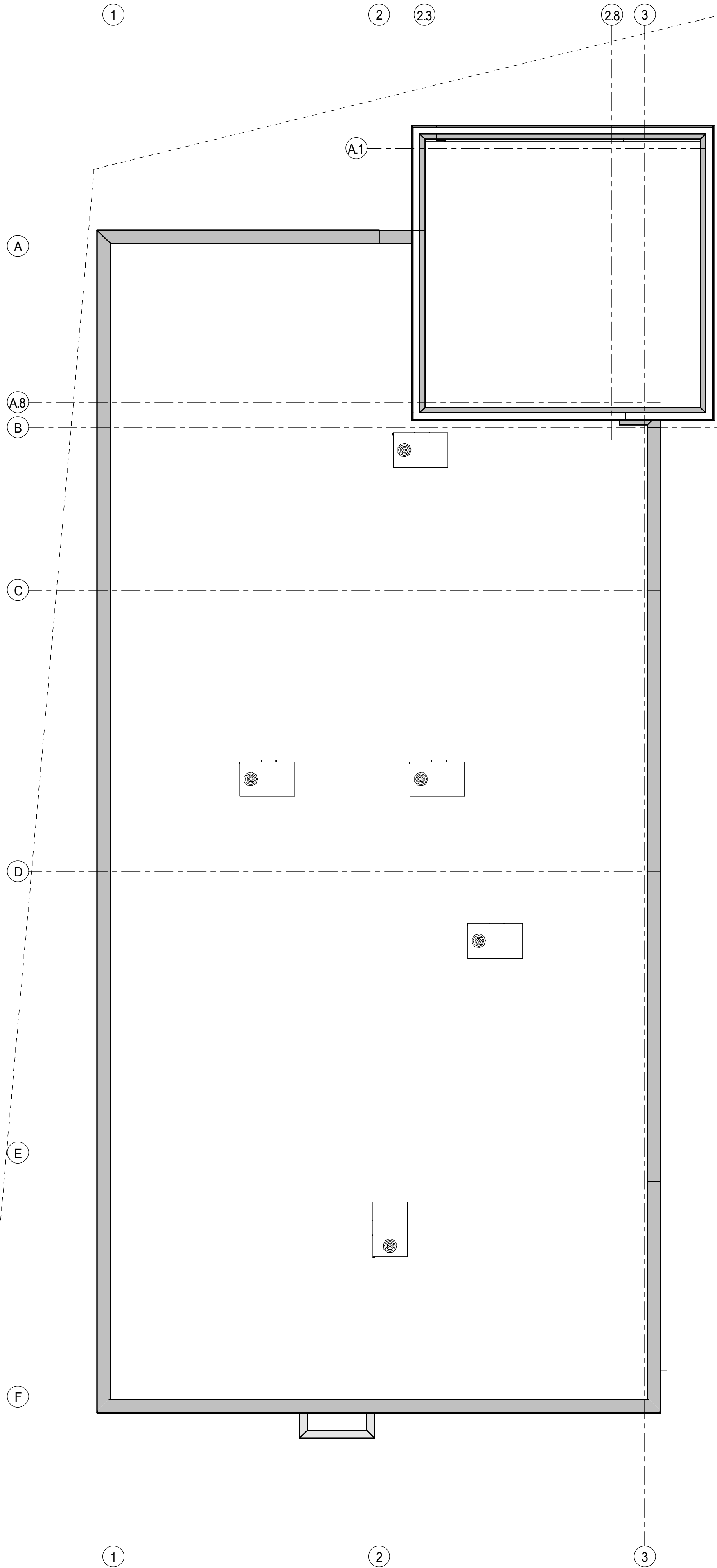
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Date:

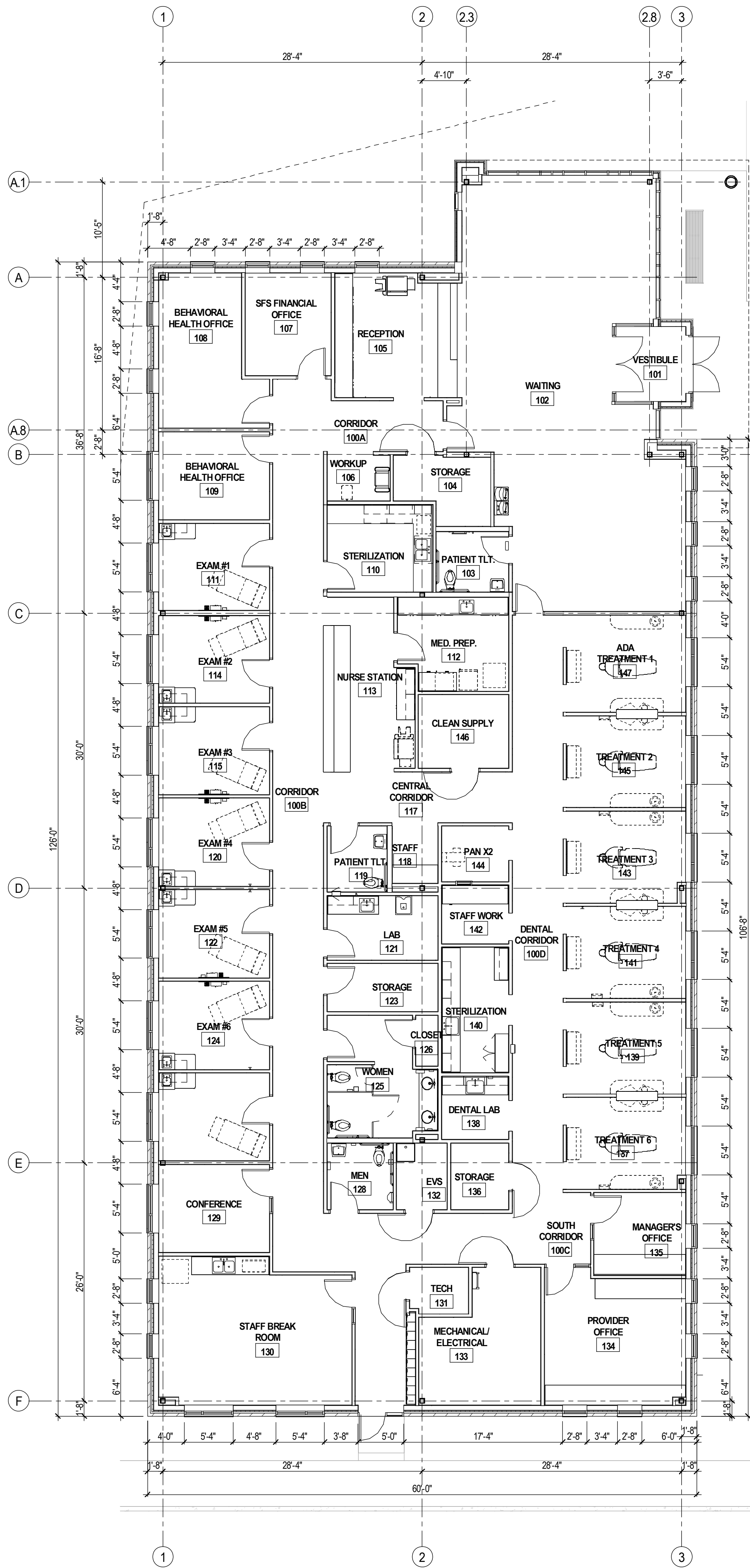
12/01/2022

Sheet:

E-101



ROOF PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

ALL WALLS ARE DRAWN AND DIMENSIONED TO A 5" NOMINAL WIDTH TYPICAL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE CLEAR DIMENSIONS FROM FACE OF GYPSUM BOARD TO FACE OF GYPSUM BOARD

ALL WALLS ARE TYPE 1A TIGHT TO UNDERSIDE OF EXISTING DECK WITH ACOUSTIC BATT INSULATION U.N.O.

ALL EXAM ROOM WALLS TO BE FULL HEIGHT ACOUSTIC PARTITIONS WITH MIN. STC RATING OF 50.

ALL SUB-CONTRACTORS (I.E. FIRE PROTECTION, HVAC, FIRE ALARM, ELECTRICAL, ETC.) TO DESIGN AND INSTALL SYSTEM PER TENANT / OWNER REQUIREMENTS AND IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE CODES.

ALL FLOOR, WALL, CEILING, AND MISC. FIRE RESISTIVE ASSEMBLIES AND CONSTRUCTION SHALL BE OF THE FIRE RATING CALLED FOR ON THE DRAWINGS AND / OR AS REQUIRED BY CODE. ALL EXISTING FIRE RESISTIVE ASSEMBLIES SHALL BE MAINTAINED AND THE RATING NOT COMPROMISED. FIRE RATED ASSEMBLIES AND CONSTRUCTION INCLUDING ALL FIRE STOPPING, FIRE RATED DOORS AND MISC. FIRE RESISTIVE REQUIREMENTS SHALL BE LEFT UNCONCEALED AS REQUIRED FOR INSPECTION BY THE BUILDING OFFICIAL.

DASHED FURNITURE AND EQUIPMENT ITEMS SHOWN FOR REFERENCE ONLY. THESE ITEMS TO BE PROVIDED AND INSTALLED BY OWNER. CONTRACTOR TO COORDINATE SPECIFIC FIXTURE AND EQUIPMENT REQUIREMENTS AS NOTED.

PROVIDE WINDOW TREATMENTS AT ALL WINDOWS.

ALL WINDOWS TO RECEIVE SOLID SURFACE WINDOW SILLS.

PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS. OG-1 UNLESS NOTED OTHERWISE.

PROVIDE CONCEALED IN-WALL REINFORCING / BLOCKING FOR ALL WALL MOUNTED CASEWORK, ACCESSORIES, AND / OR EQUIPMENT AS REQUIRED. COORDINATE LOCATIONS IN FIELD WITH ARCHITECT AND OWNER.

WALL MOUNTED EQUIPMENT AND ACCESSORIES IN EACH EXAM ROOM INCLUDE SOAP DISPENSER, PAPER TOWEL DISPENSER, SHARPS CONTAINER, GLOVE DISPENSER, OTO-SPHYGMOMANOMETER, MIRROR & CLOTHES HOOKS. COORDINATE FINAL LOCATIONS IN FIELD WITH ARCHITECT AND OWNER DURING WALL BLOCKING INSTALLATION FOR EACH DEPARTMENT

- ◆ PARTITION TYPE, SEE SHEET
- DOOR NUMBER, SEE SHEET A-301
- ◻ WINDOW ELEVATION, SEE SHEET A-301

FLOOR PLAN KEYED NOTES

NOTE



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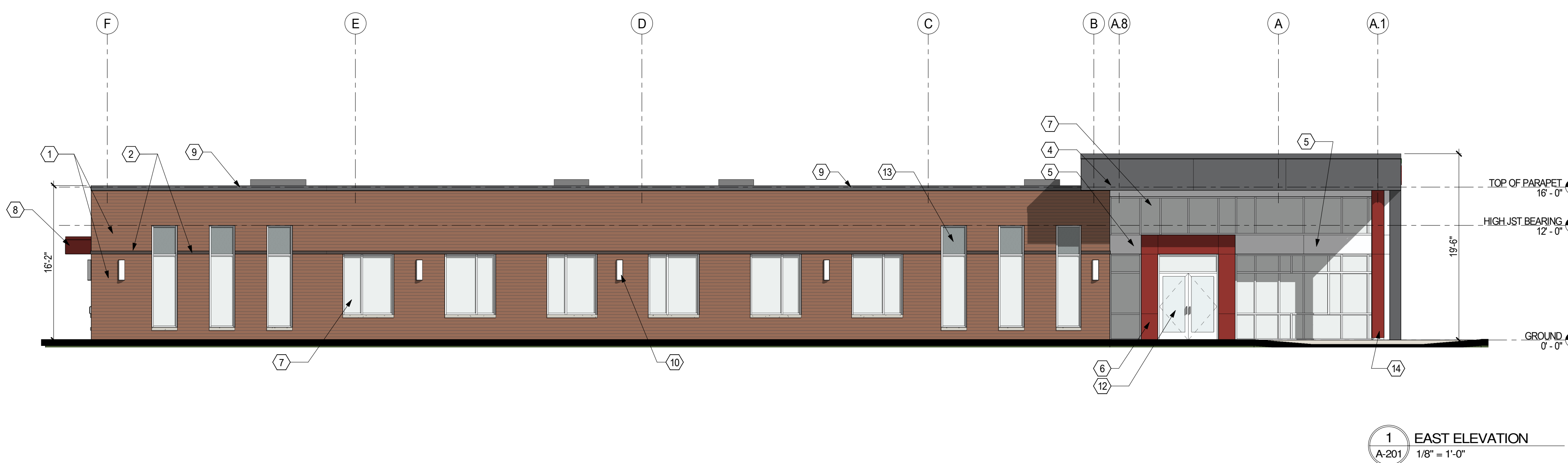
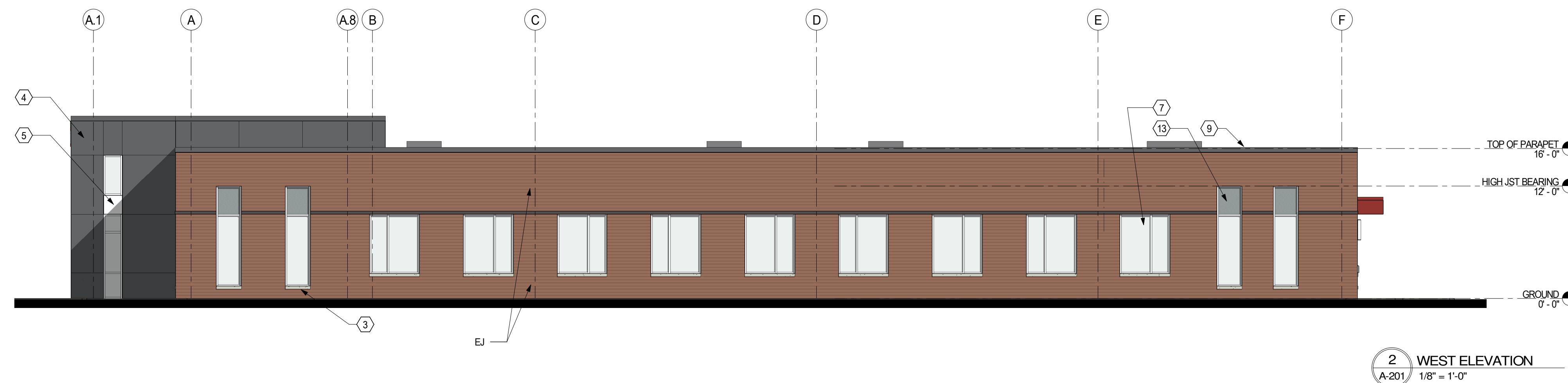
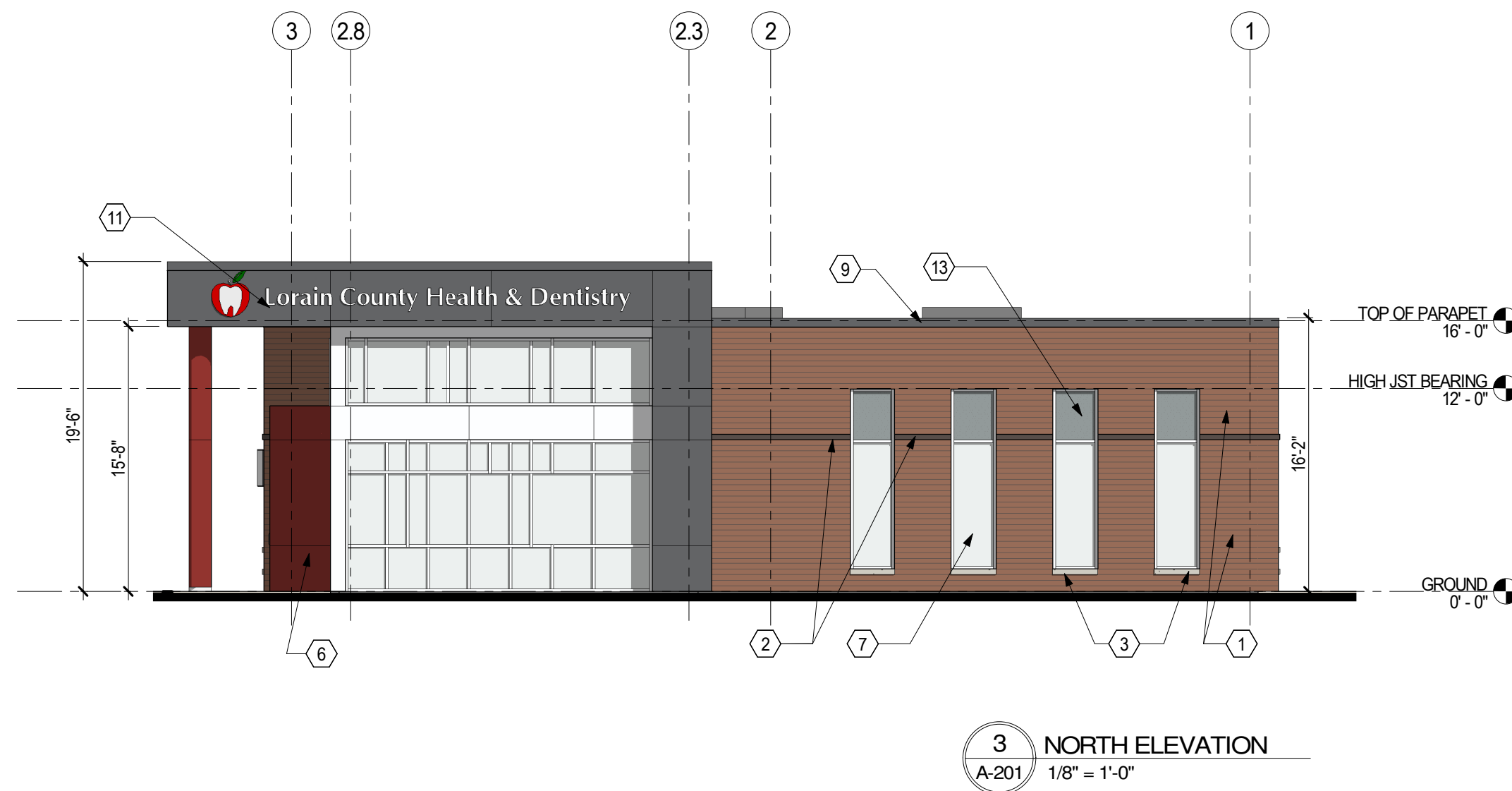
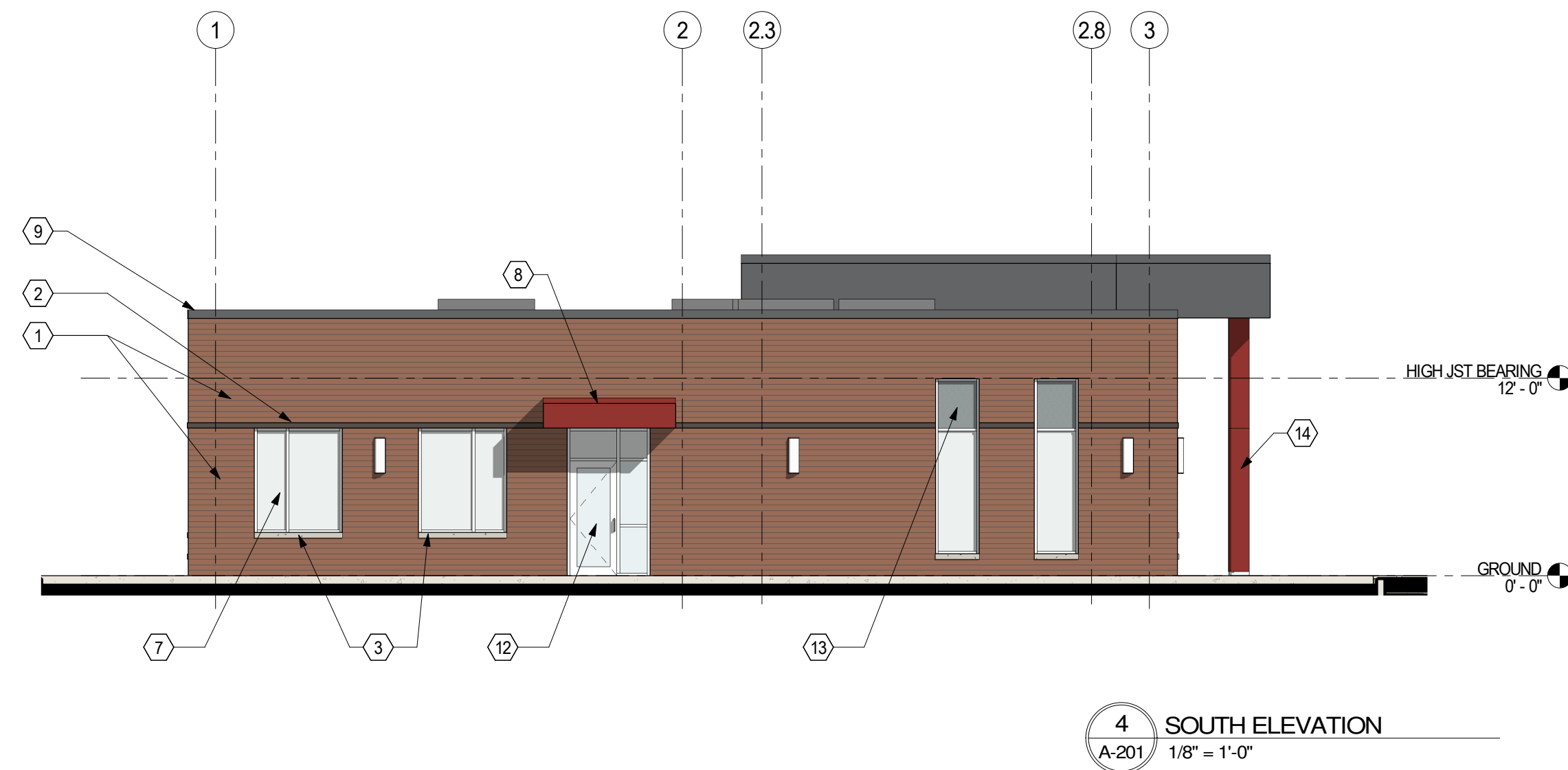
NEW COMMUNITY HEALTH CENTER
35557 CENTER RIDGE RD,
NORTH RIDGEVILLE, OHIO

CLIENT:
LORAIN COUNTY HEALTH & DENTISTRY
1205 Broadway Ave.
Lorain, OH 44052

FLOOR & ROOF PLAN

Scale:
As indicated
Date:
12/01/22

Sheet:
A-101



- # EXTERIOR ELEVATION KEY NOTES
- 1 BRICK VENEER, 4X4X8 SIZE
 - 2 PROJECTED BRICK BAND, COLOR "B"
 - 3 CAST STONE CHAMFERED SILL, 4" H X 48" L UNITS
 - 4 FLUSH ALUMINUM COMPOSITE METAL PANEL, COLOR DARK GRAY "ACM-1"
 - 5 FLUSH ALUMINUM COMPOSITE METAL PANEL, COLOR "ACM-3"
 - 6 FLUSH ALUMINUM COMPOSITE METAL PANEL, COLOR RED "ACM-2"
 - 7 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED CLEAR GLASS
 - 8 EXTERIOR METAL CANOPY WITH ACM PANELS, COLOR "ACM-3"
 - 9 METAL COPING - COLOR TO MATCH ACM-1
 - 10 WALL MOUNTED LIGHT FIXTURE
 - 11 BUILDING MOUNTED SIGNAGE, INTERNALLY ILLUMINATED
 - 12 ALUMINUM STOREFRONT ENTRANCE
 - 13 SPANDREL GLASS IN ALUMINUM STOREFRONT
 - 14 METAL COLUMN COVER, ROUND, COLOR TO MATCH ACM-3

MASONRY NOTES:
EJ - INDICATES VERTICAL EXPANSION JOINT WITH BACKER ROD AND SEALANT, SPACING AS SHOWN ON DRAWINGS, SPACING NOT TO EXCEED 24". MULTIPLE SEALANT COLORS, MATCH SURROUNDING MASONRY

PROVIDE SLP PLANE FORMED BY FLASHING ABOVE AND BELOW STEEL UNTELS AT OPENINGS.

NOT FOR CONSTRUCTION

Stanley J. Kaczmar, License #4988
Expiration Date: 12/31/2023

Kaczmar Architects Incorporated

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Cleveland, OH 44113

ISSUE DATE

PROJECT:

Lorain County Health & Dentistry

NEW COMMUNITY HEALTH CENTER
35557 CENTER RIDGE RD,
NORTH RIDGEVILLE, OHIO

CLIENT:
LORAIN COUNTY HEALTH & DENTISTRY
1205 Broadway Ave.
Lorain, OH 44052

EXTERIOR ELEVATIONS

Scale: 1/8" = 1'-0"
Date: 12/15/22

Sheet: A-201



NEW COMMUNITY HEALTH CENTER

35557 CENTER RIDGE RD, NORTH RIDGEVILLE, OHIO

PC APPLICATION DECEMBER 1, 2022

Prepared for:

OWNER:
Lorain County Health & Dentistry
1205 Broadway Ave.
Lorain, OH 44052

Prepared by:

ARCHITECT:
Kaczmar architects incorporated
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LANDSCAPE ARCHITECT
James S. McKnight, Landscape Architecture
P.O. Box 14158
Cleveland, OH 44114
p: 216.952.2408

CONSTRUCTION MANAGER
The Krill Co., Inc.
1275 Main Avenue
Cleveland, OH 44113





Kaczmar

architects incorporated

cleveland • ohio

1468 West 9th Street, Suite 400, Cleveland, OH 44113
p. 216.687.1555 | f. 216.687.1558 | www.kaczarch.com

DRAWING INDEX

C1.01	SITE DEMOLITION PLAN
C1.02	SITE LAYOUT PLAN
C1.03	SITE UTILITY PLAN
C1.04	SITE GRADING PLAN
SD-101	ARCHITECTURAL SITE PLAN
L-101	LANDSCAPE PLAN
E-101	SITE ELECTRICAL AND PHOTOMETRIC PLANS
A-101	FLOOR & ROOF PLAN
A-201	EXTERIOR ELEVATIONS

LOCATION PLAN



BUILDING INFORMATION

- I. PROJECT LOCATION: LORAIN COUNTY HEALTH & DENTISTRY
35557 CENTER RIDGE RD
NORTH RIDGEVILLE, OHIO
ZONING DISTRICT: B3-Highway Commercial District
- II. DESCRIPTION & CLASSIFICATION OF BUILDING
A. NATURE OF PROJECT: CONSTRUCTION OF NEW MEDICAL / DENTAL OFFICE BUILDING
B. USE GROUP: "B" BUSINESS
C. CONSTRUCTION TYPE: VB COMBUSTIBLE
D. FIRE PROTECTION: FULLY SUPPRESSED WITH AUTOMATIC FIRE SUPPRESSION SYSTEM PER NFPA 13
E. BUILDING AREA: 7,750 SF
- III. REFERENCED CODES:
2017 OHIO BUILDING CODE
- IV. HEIGHT AND AREA LIMITATIONS:
HEIGHT LIMIT PER TABLE 504.3: 60'-0" HEIGHT SHOWN:
ALLOWABLE NUMBER OF STORIES PER TABLE 504.4: 3
AREA LIMIT PER TABLE 506.2: 36,000 SF, ONE STORY WITH AUTOMATIC SPRINKLER SYSTEM
- V. FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS PER TABLE 601 CONSTRUCTION TYPE VB:
PRIMARY STRUCTURAL FRAME: 0 HOURS
BEARING WALLS
INTERIOR: 0 HOURS
EXTERIOR: 0 HOURS
NONBEARING EXTERIOR WALL (TABLE 602)
SEPARATION LESS THAN 5': 0 HOUR
SEPARATION GREATER THAN 30': 0 HOUR
NONBEARING INTERIOR WALLS AND PARTITIONS: 0 HOURS
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS: 0 HOURS
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS: 0 HOURS
- VI. OCCUPANCY:
MAXIMUM OCCUPANCY (100 SF / PERSON) = 78

OWNERS ACCEPTANCE

I, REPRESENTATIVE OF LORAIN COUNTY HEALTH & DENTISTRY, AN OHIO NON-PROFIT CORPORATION, OWNERS OF THE LANDS SHOWN HEREON, DO HEREBY ACCEPT THIS LOT CONSOLIDATION AS SHOWN HEREON.

SIGNATURE

NOTARY PUBLIC

COUNTY OF LORAIN
STATE OF OHIO
BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED REPRESENTATIVE OF LORAIN COUNTY HEALTH & DENTISTRY, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT, AND THAT IT WAS OF FREE ACT AND DEED PERSONALLY. IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT _____, OHIO, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC

MY COMMISSION EXPIRES

OWNERSHIP

1 PPN 07-00-021-117-083
CITY OF NORTH RIDGEVILLE
O.R. VOL. 1117, PG. 415 L.C.D.R.
"60-WDV"

2 PPN 07-00-021-117-085
CITY OF NORTH RIDGEVILLE
INSTR. #2016-0572454 L.C.D.R.
"94-WDV"

SURVEY REFERENCES

- SURVEY #32366 L.C.M.R.
- SURVEY #32369 L.C.M.R.
- SURVEY #35647 L.C.M.R.
- SURVEY #42736 L.C.M.R.
- SURVEY #42908 L.C.M.R.
- SURVEY #43081 L.C.M.R.
- SURVEY #43091 L.C.M.R.
- SURVEY #43128 L.C.M.R.
- SURVEY #44477 L.C.M.R.
- PLAT VOLUME 8, PAGE 43 L.C.M.R.
- PLAT VOLUME 10, PAGE 22 L.C.M.R.
- PLAT VOLUME 20, PAGE 50 L.C.M.R.
- LORAIN COUNTY DEEDS OF RECORD.
- LORAIN COUNTY TAX MAP RECORDS.
- O.D.O.T. PROJECT LOR-20-22.13-24.45.

LINE DATA

LINE	BEARING	DISTANCE
L1	N 70°05'32" E	73.62' REC. & USED
L2	N 69°38'46" E	92.20' CALC. & USED
L3	S 58°18'50" W	51.30' CALC. & USED
L4	S 70°43'45" W	63.51' CALC. & USED
L5	S 73°34'02" W	87.43' CALC. & USED (85.79' REC.)
L6	N 70°05'32" E	50.03' CALC. & USED (50.04' O.D.O.T.)
L7	N 69°38'46" E	9.39' CALC. & USED (9.37' REC.)
L8	S 6°03'43" E	70.17' REC. & USED
L9	S 17°47'05" E	68.07' REC. & USED
L10	N 69°38'46" E	6.60' CALC. & USED (6.58' REC.)
L11	S 0°58'24" E	71.89' O.D.O.T. & USED
L12	N 70°05'32" E	59.47' CALC. & USED (59.62' O.D.O.T.)
L13	N 70°05'32" E	80.24' CALC. & USED
L14	S 0°58'24" E	52.33' CALC. & USED
L15	S 83°22'55" W	53.27' DEED & USED

LOT CONSOLIDATION SURVEY

FOR

35557 CENTER RIDGE ROAD

KNOWN AS BEING PART OF TOWN 6, RANGE 16 OF THE CONNECTICUT WESTERN RESERVE SURVEY, PART OF ORIGINAL RIDGEVILLE TOWNSHIP LOT NO. 21, NOW SITUATED IN THE

CITY OF NORTH RIDGEVILLE
COUNTY OF LORAIN - STATE OF OHIO

McSteen

LAND SURVEYORS

1415 East 286th Street Wickliffe, OH 44092
Phone: 440.585.9800 www.mcsteen.com

THIS SURVEY IS A BOUNDARY SURVEY PREPARED IN ACCORDANCE WITH CHAPTER 4733-37, OHIO ADMINISTRATIVE CODE. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. ALL IRON PINS SHOWN AS SET ARE 30" LONG 5/8" REBAR WITH AN IDENTIFICATION CAP STAMPED "MCSTEEN CA 02236".

Matthew A. Hildebrandt

MATTHEW A. HILDEBRANDT

REG. PROF. SURV. No. 8817

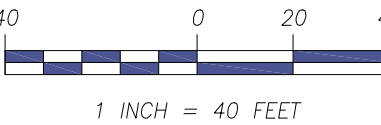


JOB NO.: 22-204
FIELD DATE: AUGUST 24, 2022
SURVEY DATE: SEPTEMBER 13, 2022
DRAWN BY: HKS

BASIS OF BEARING

BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATES SYSTEM, NORTH ZONE (3401), NAD83 (2011), 2010.0 EPOCH, AS DERIVED FROM GNSS OBSERVATIONS PER THE O.D.O.T. RTN (REAL-TIME-NETWORK).

GRAPHIC SCALE



INDEX OF SHEETS

SHEET 1: CERTIFICATION, BOUNDARY SURVEY, AREA OF SURVEYED PREMISES, AND SURVEY REFERENCES
SHEET 2: SITE PLAN AND MISCELLANEOUS NOTES

AREA OF SURVEYED PREMISES

PPN 07-00-021-117-086 0.7640 ACRE
PPN 07-00-021-117-088 0.7394 ACRE
TOTAL AREA 1.5034 ACRES

LEGEND

- REBAR FOUND AS NOTED
- ⊙ 5/8" DIAMETER X 30" LONG REBAR WITH "MCSTEEN CA 02236" ID CAP SET
- ⊠ MONUMENT BOX FOUND AS NOTED
- PIPE FOUND AS NOTED
- ⌒ CENTERLINE
- R/W RIGHT-OF-WAY
- OLD ⌒ OLD CENTERLINE
- OLD R/W OLD RIGHT-OF-WAY
- CALC. CALCULATED DISTANCE OR ANGLE
- REC. RECORD DISTANCE OR ANGLE
- OBS. OBSERVED DISTANCE OR ANGLE
- FD. FOUND
- MON. MONUMENT
- L.C.M.R. LORAIN COUNTY MAP RECORDS
- L.C.D.R. LORAIN COUNTY DEED RECORDS
- O.D.O.T. OHIO DEPARTMENT OF TRANSPORTATION
- EDGE OF WATER

OWNERS ACCEPTANCE

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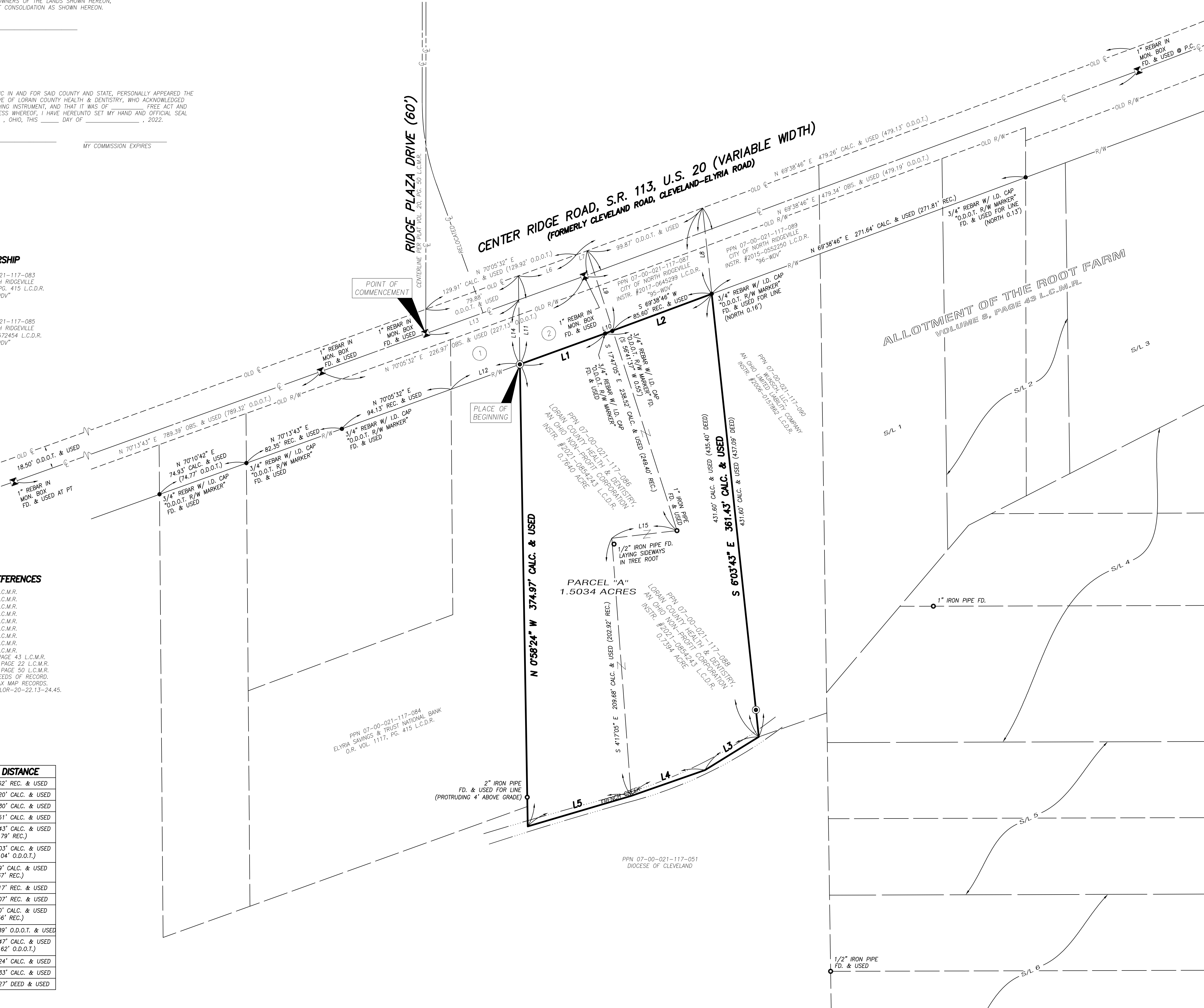
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BOUNDARY SURVEY

FOR

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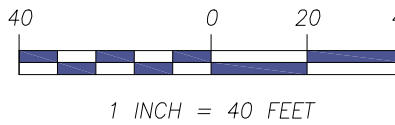
MATTHEW A. HILDEBRANDT
REG. PROF. SURV. No. 8817

JOB NO.: 22-204
FIELD DATE: AUGUST 24, 2022
SURVEY DATE: SEPTEMBER 13, 2022
DRAWN BY: HKS

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SITE PLAN

FOR

35557 CENTER RIDGE ROAD

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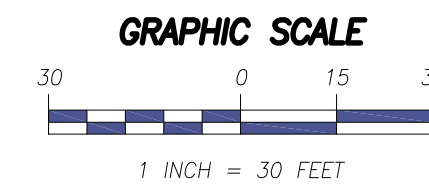
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MISCELLANEOUS NOTES

- SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
- DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
- ALL OF THE VARIOUS SURVEY MONUMENTS SHOWN ON THIS PLAT AS FOUND OR USED ARE IN GOOD CONDITION, APPARENTLY UNDISTURBED, UNLESS OTHERWISE NOTED.
- THE VERTICAL RELIEF WAS PERFORMED BY GROUND SURVEY WITH A ONE (1) FOOT CONTOUR INTERVAL. THE VERTICAL DATUM USED FOR THIS SURVEY IS N.A.V.D. 88, DERIVED FROM GNSS OBSERVATIONS THROUGH THE O.D.O.T. REAL TIME NETWORK.

UTILITY NOTE

INFORMATION FROM THE SOURCES PROVIDED, WAS COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYORS ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

ITEMS SHOWN HEREON ARE BASED ON THE FOLLOWING INFORMATION:
A. PAINT MARKINGS OBSERVED DURING THE PROCESS OF CONDUCTING FIELDWORK.
B. PLANS SUPPLIED TO THE SURVEYOR FROM O.U.P.S. TICKET NUMBERS B225001548-00B & B225001549-00B.

UPON REQUEST, SURVEYOR SHALL SUPPLY COPIES OF THE OBTAINED RECORDS.

LEGEND

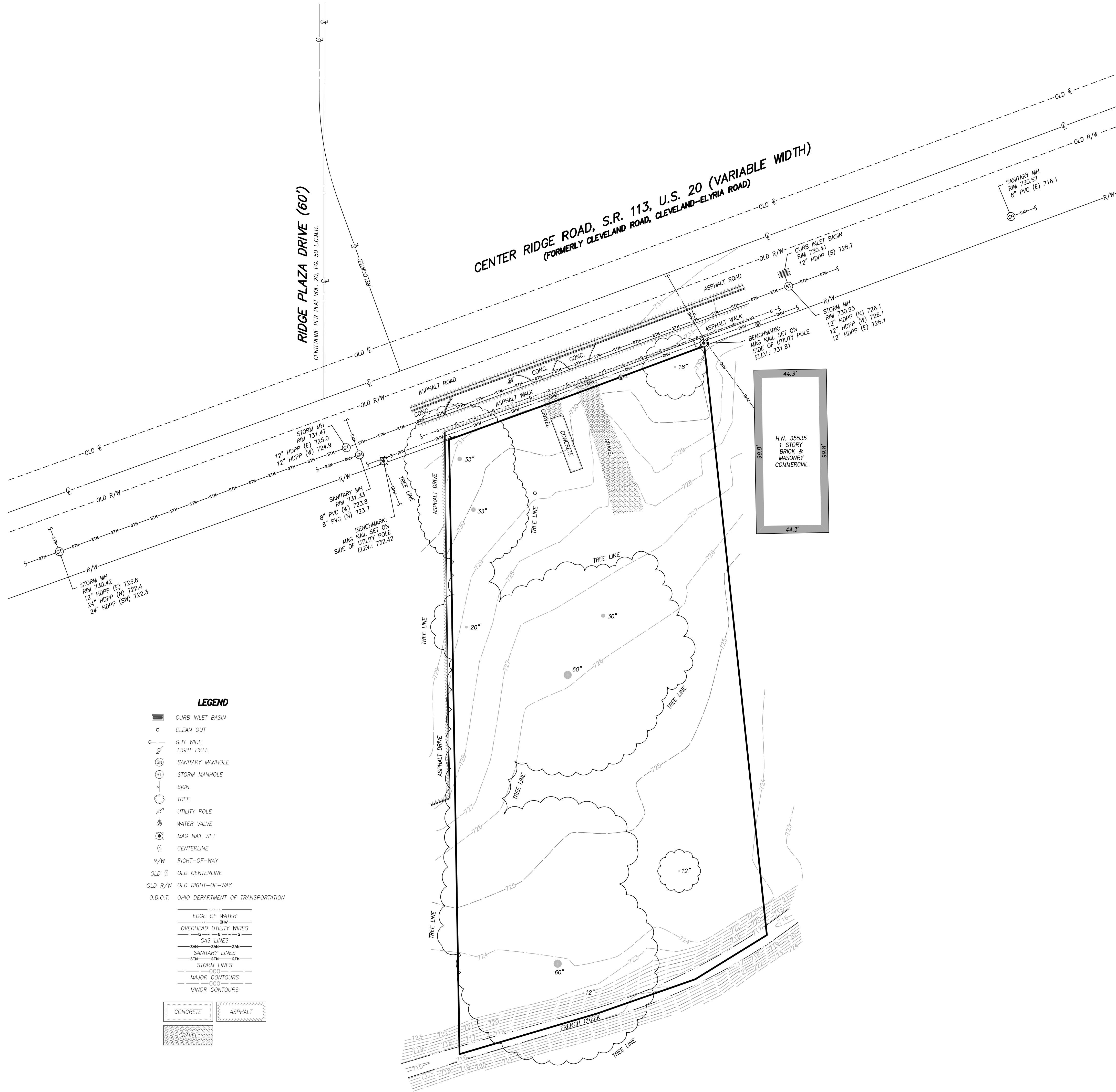
	CURB INLET BASIN
	CLEAN OUT
	GUY WIRE
	LIGHT POLE
	SANITARY MANHOLE
	STORM MANHOLE
	SIGN
	TREE
	UTILITY POLE
	WATER VALVE
	MAG NAIL SET
	CENTERLINE
	RIGHT-OF-WAY
	OLD CENTERLINE
	OLD RIGHT-OF-WAY
	O.D.O.T. OHIO DEPARTMENT OF TRANSPORTATION
	EDGE OF WATER
	OVERHEAD UTILITY WIRES
	GAS LINES
	SANITARY LINES
	STORM LINES
	MAJOR CONTOURS
	MINOR CONTOURS
	CONCRETE
	ASPHALT
	GRAVEL

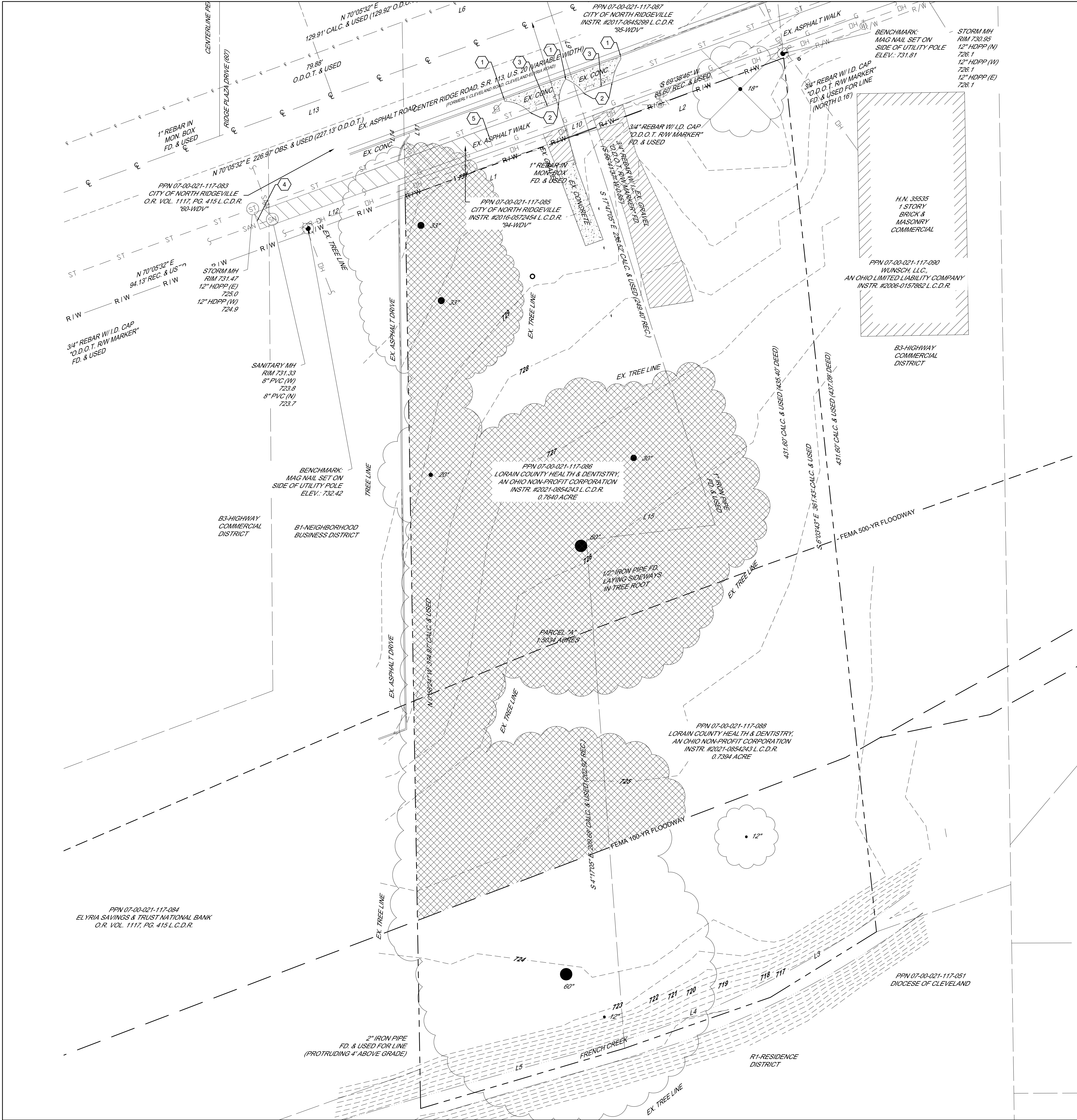
CENTER RIDGE ROAD, S.R. 113, U.S. 20 (VARIABLE WIDTH)
(FORMERLY CLEVELAND ROAD, CLEVELAND-ELYRIA ROAD)

RIDGE PLAZA DRIVE (60')

CENTERLINE PER PLAT VOL. 20, PG. 50 L.C.M.R.

44.3'
99.8'
H.N. 35535
1 STORY
BRICK &
MASONRY
COMMERCIAL
44.3'





LEGEND

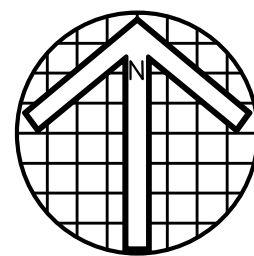
- GRAVEL REMOVAL
- CONCRETE REMOVAL
- TREE LINE REMOVAL (VERIFY TREES TO REMAIN WITH LANDSCAPE PLAN)
- ASPHALT REMOVAL (TO BE REPLACED WITH EQUIVALENT)
- TREE AND STUMP REMOVAL CITY MAY RELOCATE TREES COORDINATE WITH CITY PRIOR TO REMOVAL

PLAN NOTES

- BEING CURB REMOVAL
- END CURB REMOVAL
- NEATLY SAW CUT EXISTING CONCRETE
- BEGIN ASPHALT WALKWAY REMOVAL
- END ASPHALT WALKWAY REMOVAL

DEMOLITION NOTES

- THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC. SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- ALL EXISTING STRUCTURES INCLUDING PAVEMENT AS CALLED FOR TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE IS PROHIBITED.
- ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION/ EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN IN THESE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS AND RESTORATION OF AREAS DISTURBED BY UTILITY SERVICE INSTALLATION.



FULL SIZE SHEET (24"x36")

SCALE: 1" = 20'-0"



3135 Euclid Ave.
Cleveland, OH 44115
216-391-3700 | karpinskieng.com



1468 West 9th Street, Suite 400, Cleveland, OH 44113
p. 216.687.1555 | f. 216.687.1556 | www.kaczmararch.com

Project Team:

STRUCTURAL ENGINEER
Thorson Baker + Associates
3030 West Streetsboro Rd.
Richfield, OH 44286
p. 330.659.6688

MECHANICAL / ELECTRICAL ENGINEER
Denk Associates, Inc.
503 E. 200th St.
Cleveland, OH 44119
p. 216.531.8880 f. 216.531.5144

CIVIL ENGINEER
Karpinski Engineering
3135 Euclid Ave.
Cleveland, OH 44115
p. 216-391-3700

CONSTRUCTION MANAGER
The Krill Co., Inc.
1275 Main Avenue
Cleveland OH 44113

ISSUE	DATE
-------	------

PROJECT:



NEW COMMUNITY HEALTH CENTER

35557 CENTER RIDGE RD
NORTH RIDGEVILLE, OHIO 44035

CLIENT:
LORAIN COUNTY HEALTH & DENTISTRY
1205 Broadway Ave.
Lorain, OH 44052

SITE DEMOLITION PLAN

Scale:

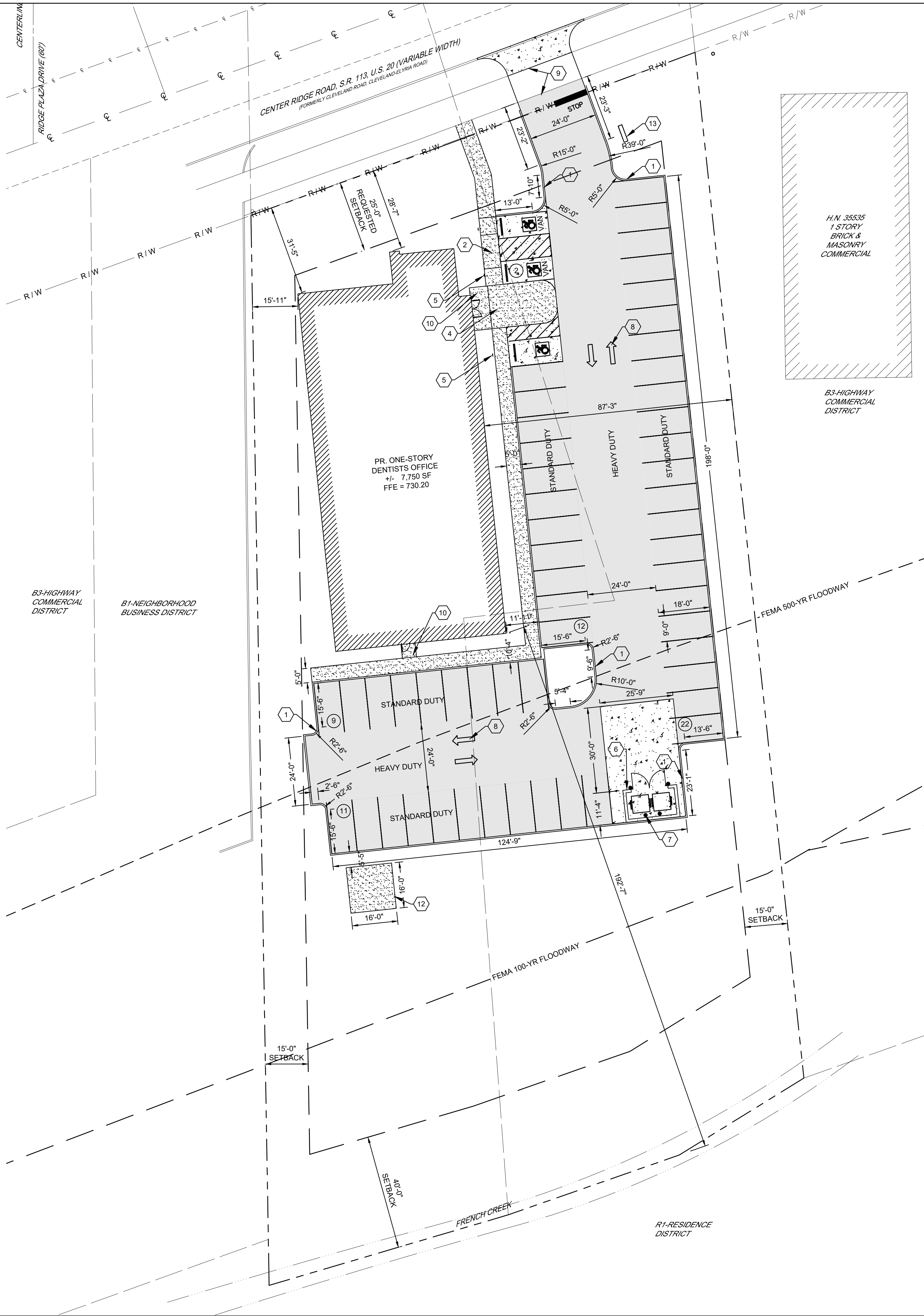
1"=20'

Date:

12/01/2022

Sheet:

C1.01



LEGEND

- HEAVY DUTY ASPHALT PAVEMENT IN ACCESS AISLES
- STANDARD DUTY ASPHALT PAVEMENT IN PAKING STALLS
- 8" REINFORCED CONCRETE PAVEMENT DRIVE APRONS AND DUMPSTER AREA
- 6" REINFORCED CONCRETE AT ADA SPACES
- 4" CONCRETE SIDEWALK AND PICNIC PATIO
- NUMBER OF PARKING SPACES

PLAN NOTES

- ODOT TYPE 6 CURB
- CURB RAMP
- ALL DIMENSIONS ARE TO THE FACE OF CURB
- INTEGRAL CURB AND WALK ALONG EAST BUILDING FACE WITH ZERO (0) IN CURB REVEAL WHERE SHOWN ON THE GRADING PLAN FOR ADA ACCESSIBILITY PURPOSES
- ADA SIGN
- SEE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAIL
- BOLLARD
- DIRECTIONAL ARROW
- SEAL ALL JOINTS WHERE ASPHALT ABUTS CONCRETE, CURBS AND EXISTING ASPHALT PAVEMENT.
- INSTALL FROST SLAB AT ALL DOORS
- UNDERGROUND STORAGE CHAMBERS FINAL LOCATION AND SIZE TBD
- 16'X16' PICNIC PATIO
- MONUMENT SIGN

GENERAL NOTES

- THE INTENT OF THIS PLAN IS TO CONSTRUCT A 7,750 S.F. HEALTH AND DENTISTRY CLINIC. PROJECT TO BE SERVED BY MUNICIPAL SEWER AND WATER. THIS CLINIC WILL OWN THE PARCEL. EXISTING CONSOLIDATED TWO PARCELS ARE VACANT.
- ZONING DISTRICT: B3 HIGHWAY COMMERCIAL DISTRICT
CODE BUILDING SETBACKS (MIN.):
FRONT SETBACK = 25'-0" VARIANCE SOUGHT
SIDE SETBACK = 15'-0"
REAR SETBACK = 40'-0"
CODE MAX. BUILDING HEIGHT = 65'-0" (PROPOSED BUILDING HEIGHT 19'-6")
- FLOOD ZONE:
FEMA FLOOD ZONE = AE SPECIAL FLOOD HAZARD AREA WITH ESTABLISHED BFE.
- PARKING CALCULATIONS:
CLINICS 1 SPACE FOR EACH 200 SF FLOOR AREA: 7,750 SF /200 = 39 SPACES
PLUS 1 SPACE FOR EACH EMPLOYEE: 10 EA /1 = 10 SPACES
REQUIRED PARKING SPACE 9'x18'
PROVIDED SPACE = (9'x18')
REQUIRED NUMBER OF PARKING STALLS = 49
PROVIDED STANDARD STALLS = 53
PROVIDED VAN ADA ACCESSIBLE PARKING STALLS = 2
PROVIDED STANDARD ADA ACCESSIBLE PARKING STALLS = 1
TOTAL PARKING STALLS PROVIDED = 56
- ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND REGULATIONS, ODOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/ OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE CITY ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED AND GRANTED.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (O. M.U.T.C.D.) AND ODOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING APPLICATIONS AND MATERIAL SHALL COMPLY WITH DETAILS AND SPECIFICATIONS.
- ALL STOP BARS SHALL BE 12" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC FLOW ARROWS SHALL BE PAINTED IN A COLOR OF YELLOW.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF THE MASONRY, UNLESS OTHERWISE NOTED.
- THE STORMWATER POLLUTION PREVENTION PLAN (SWP3) SHALL COMPLY WITH THE OHIO CONSTRUCTION GENERAL PERMIT (CGP) PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CGP DEFINES "COMMENCEMENT OF CONSTRUCTION" AS THE INITIAL DISTURBANCE OF SOILS ASSOCIATED WITH CLEARING, GRUBBING, GRADING, PLACEMENT OF FILL, OR EXCAVATING ACTIVITIES OR OTHER CONSTRUCTION ACTIVITIES. SUBMITTAL OF THE COMPLETED CGP CHECKLIST IS REQUIRED FOR A FULL STORMWATER REVIEW OF THE PROPOSAL; THEREFORE, IT SHALL BE SUBMITTED IN ORDER FOR THE CITY TO ISSUE A LIST OF REQUIRED STORMWATER CORRECTIONS. SUBMITTAL OF THE CGP NOTICE OF INTENT (NOI) SHALL NOT PRECEDE CITY APPROVAL OF THE SWP3.
- LOT COVERAGE:
TOTAL ACREAGE = 1.50 AC
ALLOWABLE BUILDING COVERAGE = 0.375 AC (25.00%)
EX. BUILDING = 0.00 AC (0.00%)
EX. IMPERVIOUS = 0.04 AC (2.67%)
EX. OPEN SPACE = 1.46 AC (97.33%)
PR. BUILDING = 0.18 AC (12.00%)
PR. IMPERVIOUS = 0.85 AC (43.33%)
PR. OPEN SPACE = 0.85 AC (56.67%)

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Cleveland OH 44113

ISSUE	DATE
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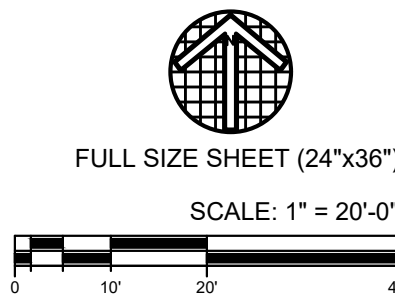
PROJECT:



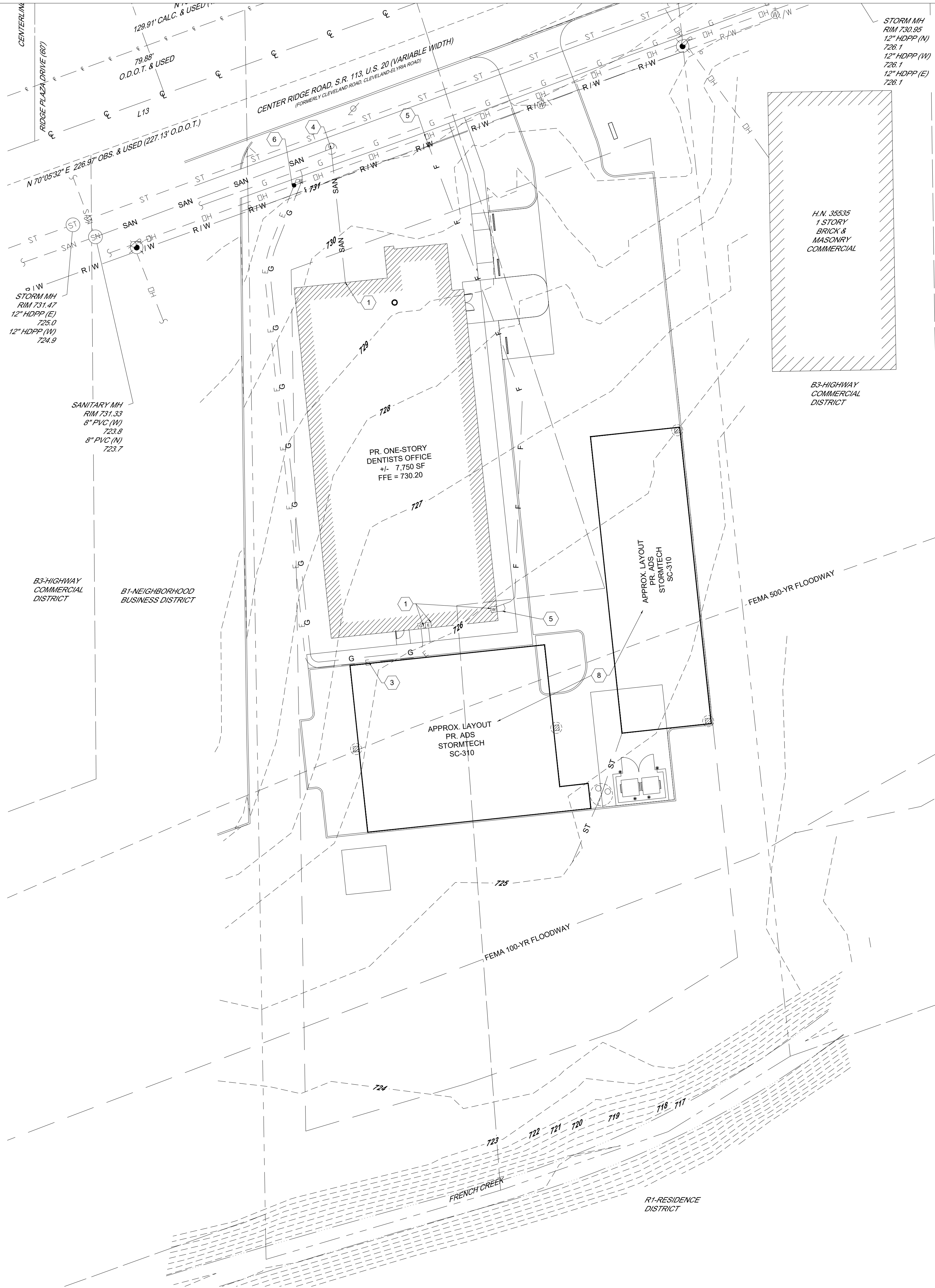
NEW COMMUNITY HEALTH CENTER
35557 CENTER RIDGE RD
NORTH RIDGEVILLE, OHIO 44035

CLIENT:
LORAIN COUNTY HEALTH & DENTISTRY
1205 Broadway Ave.
Lorain, OH 44052

SITE LAYOUT PLAN



Scale:	1"=20'	Sheet:
Date:	12/01/2022	C1.02



PLAN NOTES

1. SEE BUILDING PLUMBING PLAN FOR CONTINUATION OF WATER AND SANITARY SEWER
2. SEE ARCHITECT FLOOR PLAN AND ELEVATION FOR FINAL DOWNSPOUT LOCATION
3. SEE ELECTRICAL PLAN FOR UNDERGROUND CONNECTION.
4. PR. SANITARY EXTENSION WITH NEW SANITARY MANHOLE. CONTRACTOR TO REPLACE EX. ASPHALT WALKWAY WITH EQUIVALENT. SANITARY CONNECTION TO BE CONFIRMED WITH CITY BEFORE CONSTRUCTION.
5. PR. FIRE LINE (SIZE PER MEP DRAWINGS). DOMESTIC WATER LINE TO BE METERED IN MECHANICAL ROOM. PUBLIC MAIN WAS NOT FIELD LOCATED. TIE-IN TO PUBLIC WATER MAIN TO BE VERIFIED WITH CITY.
6. PR. UTILITY POLE. COORDINATE LOCATION WITH UTILITY COMPANY.
7. VERIFY TREES TO REMAIN WITH LANDSCAPE PLAN AND DEMO PLAN BEFORE CONSTRUCTION OF UTILITIES.
8. FINAL STORMWATER MANAGEMENT SYSTEM TO BE DESIGNED IN COORDINATION WITH CITY ENGINEERING DEPT. BEFORE CONSTRUCTION PERMIT APPROVAL.

PRELIM. PIPE MATERIAL NOTES

1. WATER: 2" TYPE K COPPER
2. FIRE : 4" D.I.P. CLASS 52 CEMENT LINED
3. STORM SEWER: ADS HDPE N-12
4. STORM CONNECTIONS: 6-INCH HDPE N-12
5. UNDERDRAIN - 6" PERF. PVC SDR 35
6. SANITARY CONNECTIONS: 6-INCH PVC SDR 35
7. NATURAL GAS SERVICE BY COLUMBIA GAS
8. ELECTRIC - SEE SITE ELECTRICAL PLANS
9. COMMUNICATIONS - SEE SITE ELECTRICAL PLANS

ABBREVIATIONS

S = SANITARY
STM = STORM
W = WATER
G = GAS MAIN BY OTHERS
COMB = COMBINED
OH = OVERHEAD LINES

GENERAL NOTES

1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER KARPINSKI ENGINEERING OR MCSTEEN LAND SURVEYORS NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION BY CALLING OHIO UTILITY PROTECTION SERVICE.
2. PLANS SUPPLIED TO THE SURVEYOR FROM O.U.P.S. TICKET NUMBERS B225001548-00B & B225001549-00B

CONSTRUCTION STAKING NOTE

THE CONTRACTOR'S REGISTERED SURVEYOR SHALL CONTACT THE ENGINEER OF RECORD TO OBTAIN A COPY OF THE AUTOCAD FILE FOR CONSTRUCTION STAKING.

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**Kaczmar**
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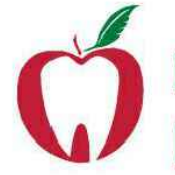
Project Team:

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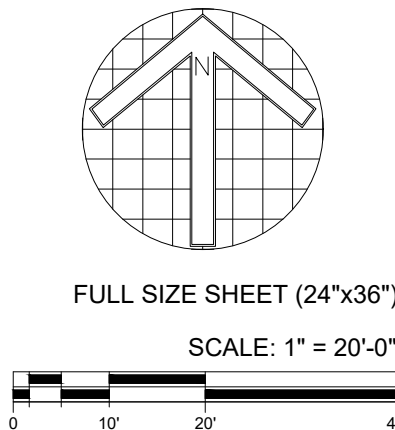
CONSTRUCTION MANAGER
The Krill Co., Inc.
1275 Main Avenue
Cleveland OH 44113

**Lorain County**
Health & Dentistry

NEW COMMUNITY HEALTH CENTER
35557 CENTER RIDGE RD
NORTH RIDGEVILLE, OHIO 44035

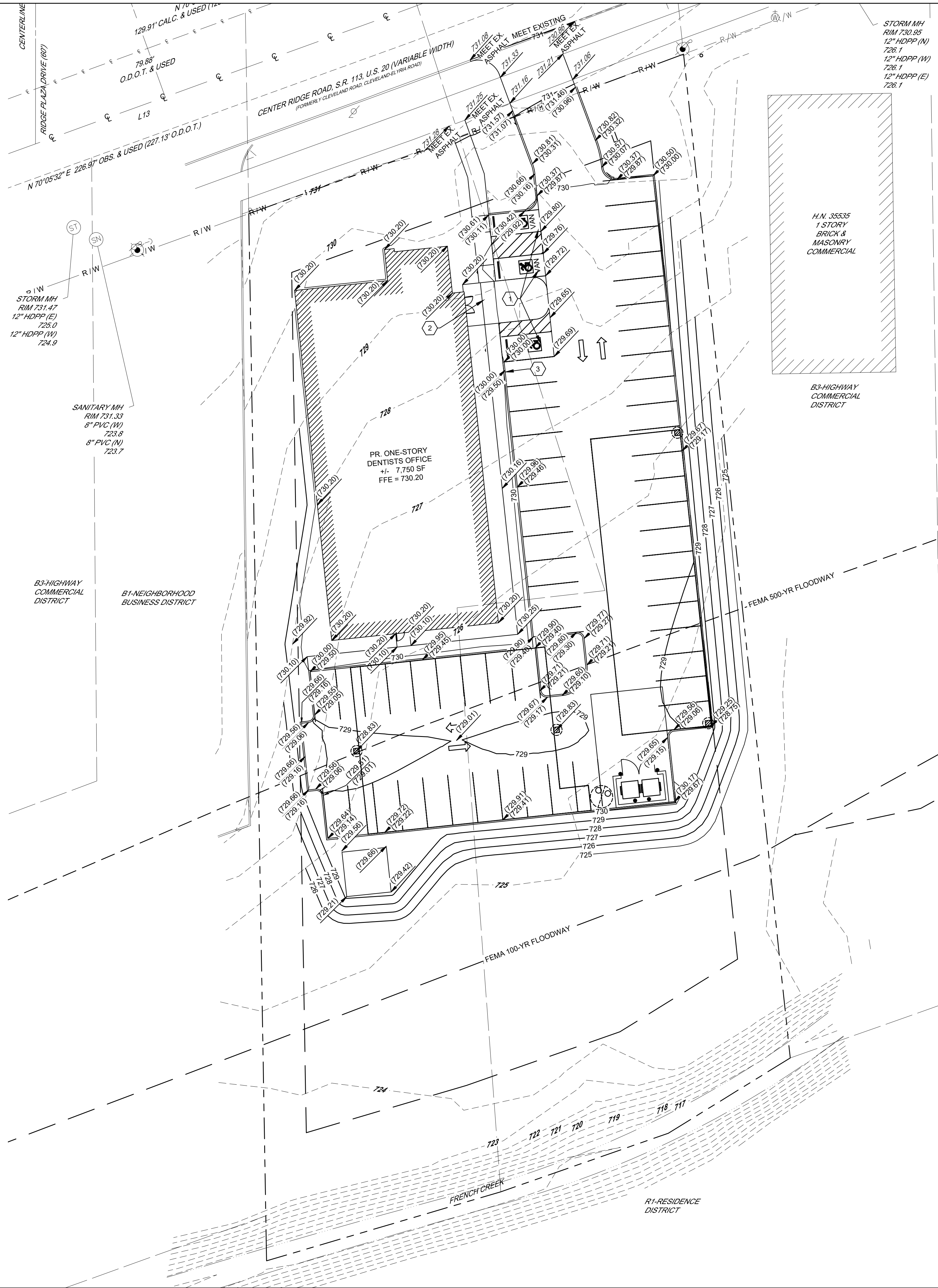
CLIENT:
LORAIN COUNTY HEALTH & DENTISTRY
1205 Broadway Ave.
Lorain, OH 44052

SITE UTILITY PLAN



Scale: 1"=20'
Date: 12/01/2022

Sheet: C1.03



LEGEND

- (810.50)
(810.00) → PROPOSED TOP OF CURB ELEVATION
PROPOSED BOTTOM OF CURB ELEVATION
- (810.75) → PROPOSED SPOT ELEVATION
- 810.00
810.50 → EXISTING TOP OF CURB ELEVATION
EXISTING BOTTOM OF CURB ELEVATION
- 810.00 → EXISTING ELEVATION

GENERAL NOTES

- ELEVATIONS SHOWN ARE TIED TO TO THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR. BENCHMARKS SHOWN ON PLAN ESTABLISHED BY OR FOUND BY MCSTEEN LAND SURVEYORS. CONDITION OF BENCHMARK MUST BE VERIFIED PRIOR TO CONSTRUCTION.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

PLAN NOTES

- SLOPE SHALL NOT EXCEED 2.00% IN ANY DIRECTION ON CONCRETE PAD IN ADA PARKING SPACES
- 0" REVEAL CURB AT ACCESSIBLE PARKING
- 3" TRANSITION TO 6" CURB



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Cleveland OH 44113

ISSUE	DATE
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PROJECT:



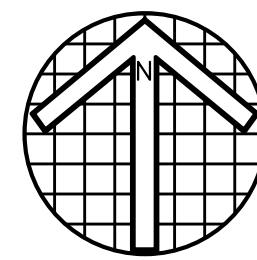
NEW COMMUNITY HEALTH CENTER

35557 CENTER RIDGE RD
NORTH RIDGEVILLE, OHIO 44035

CLIENT:
LORAIN COUNTY HEALTH & DENTISTRY
1205 Broadway Ave.
Lorain, OH 44052

SITE GRADING PLAN

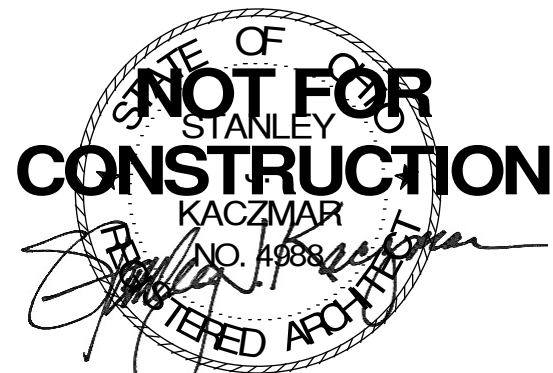
Scale: 1"=20'	Sheet: C1.04
Date: 12/01/2022	



FULL SIZE SHEET (24"x36")

SCALE: 1" = 20'-0"





Stanley J. Kaczmar, License #4988
Expiration Date: 12/31/2023



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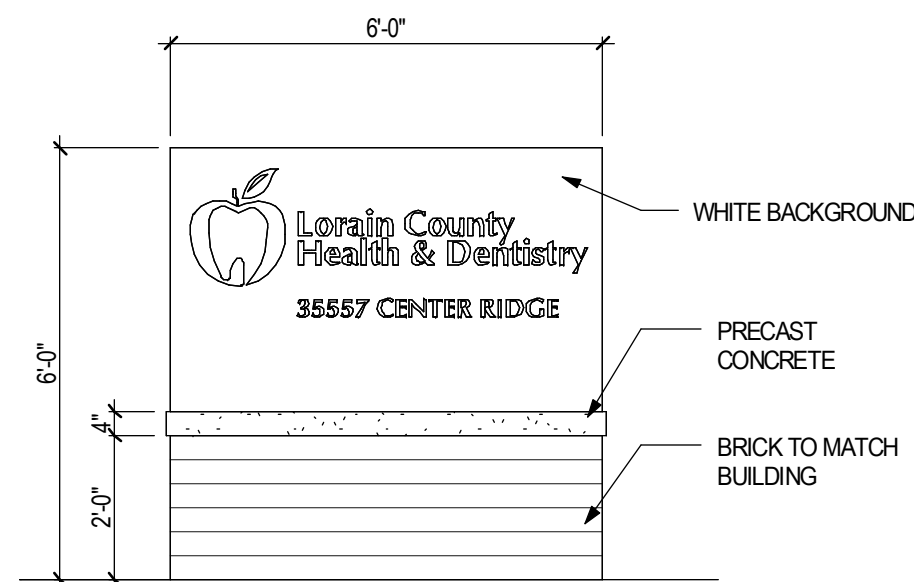
PROJECT DATA:

DESCRIPTION AND CLASSIFICATION OF BUILDING:
A. NATURE OF PROJECT: NEW HEALTH CLINIC
B. USE GROUP: "B" BUSINESS
C. CONSTRUCTION TYPE: VB COMBUSTIBLE
D. FIRE PROTECTION: SYSTEM PER NFPA 13
E. BUILDING AREA: 7,750 SF
F. ZONING DISTRICT: B3-Highway Commercial District

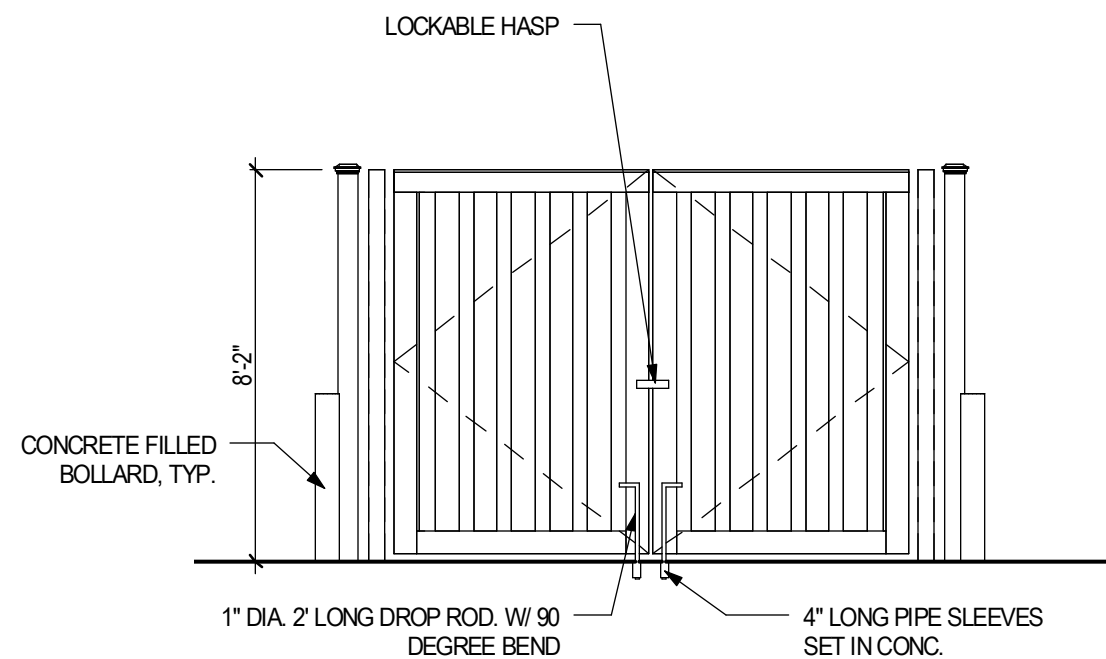
PARKING ANALYSIS:
MEDICAL OR DENTAL CLINICS:
1 / 200 SF OF FLOOR AREA = 7,750 / 200 = 39
PLUS ONE PARKING SPACE FOR EACH EMPLOYEE = 10
TOTAL REQUIRED: 49
PARKING PROVIDED: 56

(#) SITE PLAN KEYED NOTES

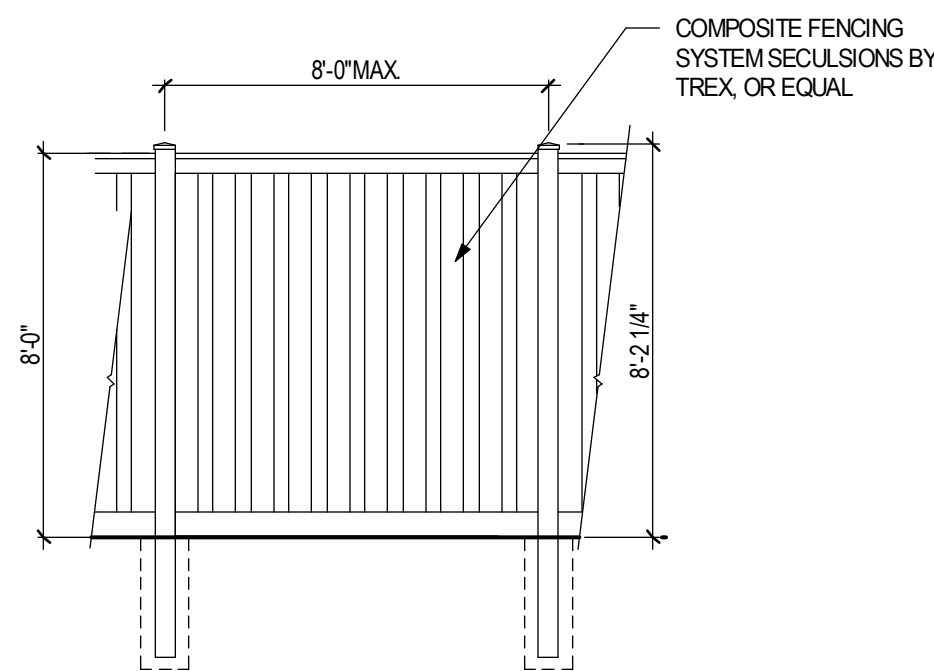
- | # | NOTE |
|----|--|
| 1 | NEW CONCRETE APRON AND CURB CUT |
| 2 | NEW CONCRETE SIDEWALK |
| 3 | ACCESSIBLE SIDEWALK RAMP |
| 4 | PARKING SIGN & POST TYPICAL ALL ACCESSIBLE PARKING STALLS. SEE CIVIL DWGS. FOR DETAIL. |
| 5 | 25' H FLAG POLE & AMERICAN FLAG |
| 6 | BIKE RACK, TYP. OF TWO (2) |
| 7 | DASHED LINES INDICATE CANOPY ABOVE |
| 9 | LIGHT POLE & BASE, SEE ELECT. DWGS. |
| 10 | MONUMENT SIGN, INTERNALLY ILLUMINATED ON MASONRY BASE. BRICK TO MATCH BUILDING. |
| 11 | CONCRETE PATIO |
| 12 | CONCRETE DUMPSTER PAD |
| 13 | DUMPSTER ENCLOSURE, PRIVACY FENCE AND GATES, 6' H. |



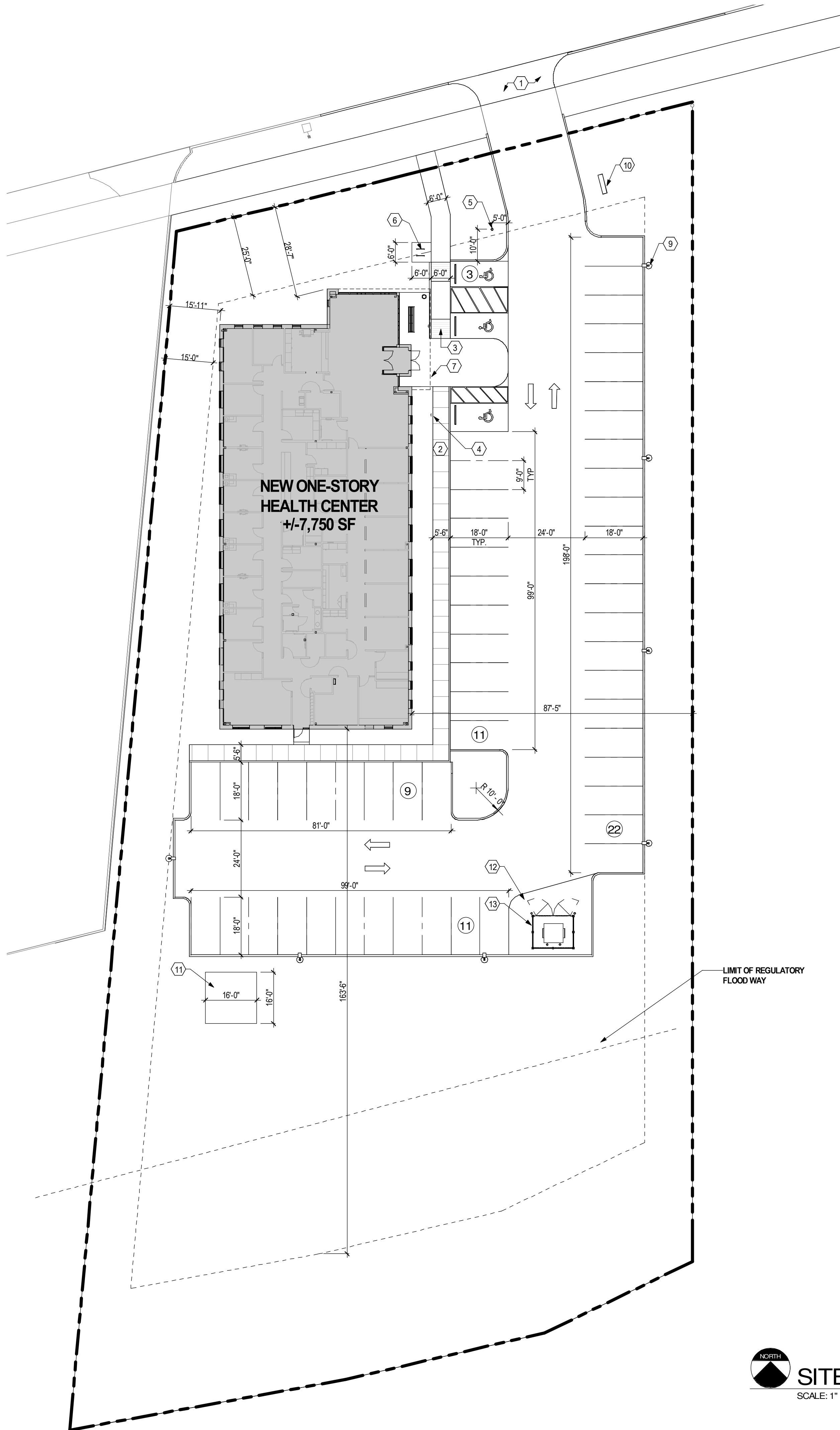
2 MONUMENT SIGN
SD-101 3/8" = 1'-0"



4 DUMPSTER ENCLOSURE GATES
SD-101 1/4" = 1'-0"



3 FENCE ELEVATION
SD-101 1/4" = 1'-0"



SITE PLAN
SCALE: 1" = 20'-0"

ISSUE	DATE
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PROJECT:



NEW COMMUNITY HEALTH CENTER
35557 CENTER RIDGE RD,
NORTH RIDGEVILLE, OHIO

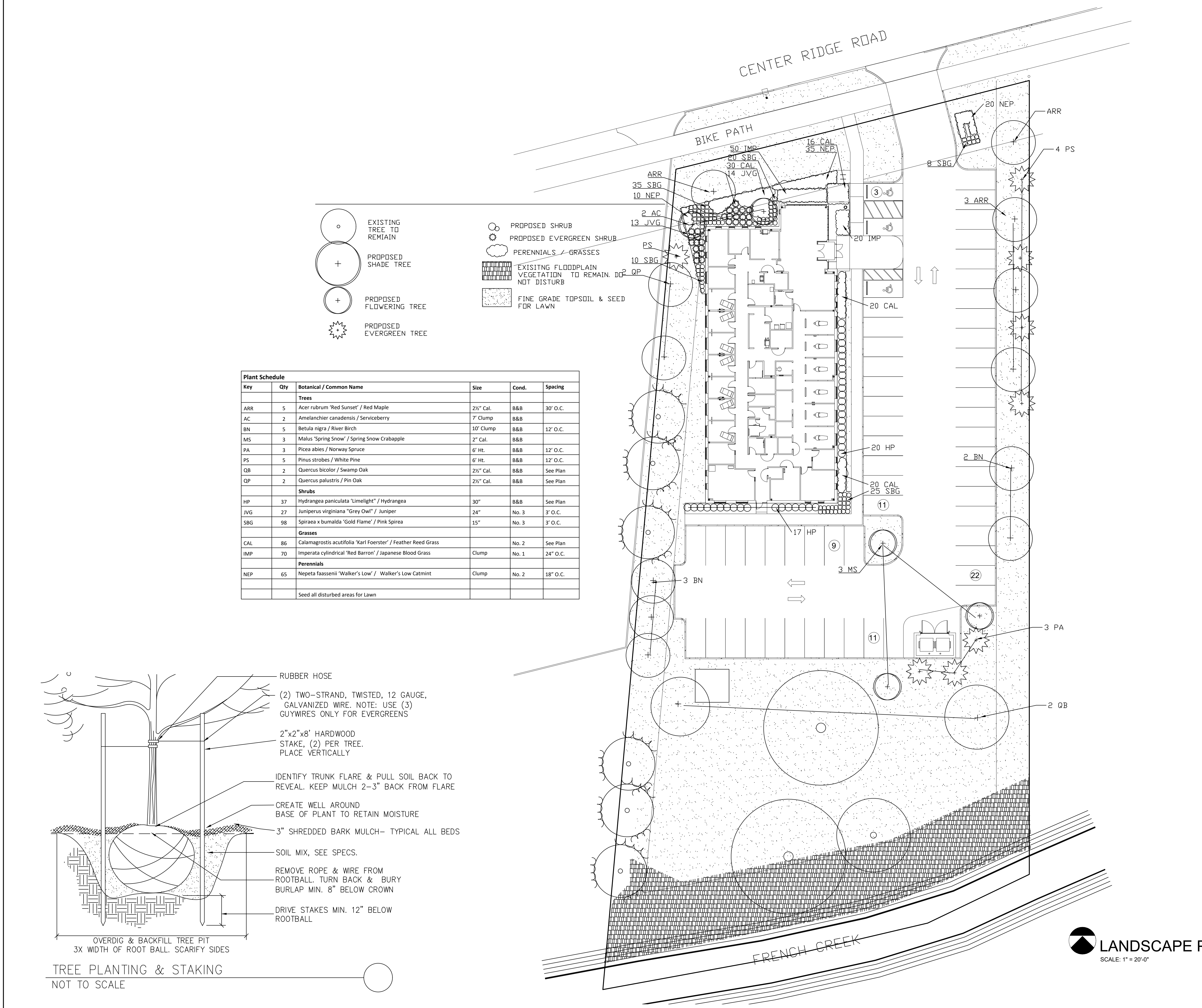
CLIENT:
LORAIN COUNTY HEALTH & DENTISTRY
1205 Broadway Ave.
Lorain, OH 44052

ARCHITECTURAL SITE PLAN

Scale:
As indicated
Date:
12/01/22

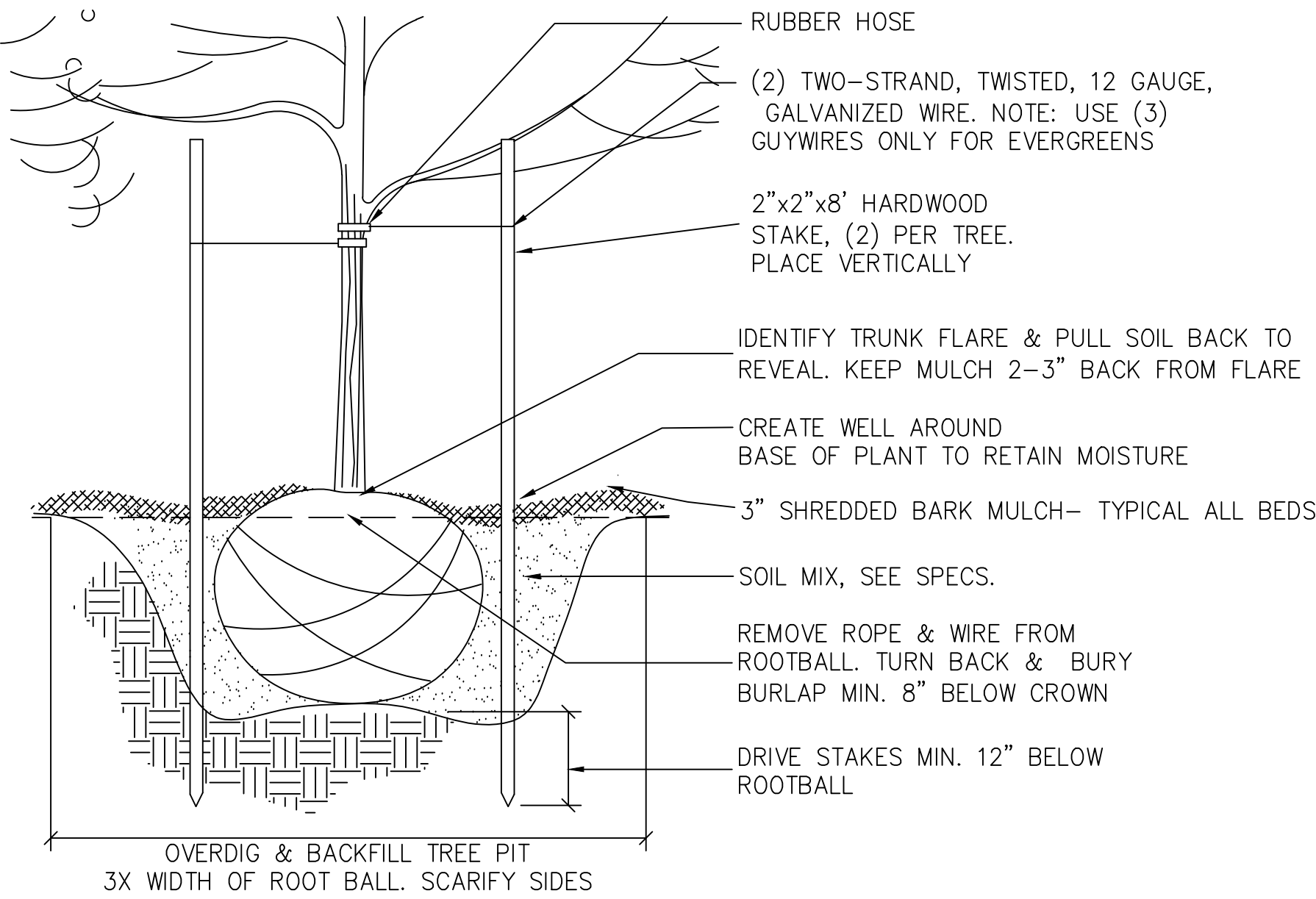
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SD-101



- EXISTING TREE TO REMAIN
- PROPOSED SHADE TREE
- PROPOSED FLOWERING TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB
- PROPOSED EVERGREEN SHRUB
- PERENNIALS / GRASSES
- EXISTING FLOODPLAIN VEGETATION TO REMAIN. DO NOT DISTURB
- FINE GRADE TOPSOIL & SEED FOR LAWN

Plant Schedule					
Key	Qty	Botanical / Common Name	Size	Cond.	Spacing
Trees					
ARR	5	Acer rubrum "Red Sunset" / Red Maple	2 1/2" Cal.	B&B	30' O.C.
AC	2	Amelanchier canadensis / Serviceberry	7" Clump	B&B	
BN	5	Betula nigra / River Birch	10' Clump	B&B	12' O.C.
MS	3	Malus "Spring Snow" / Spring Snow Crabapple	2" Cal.	B&B	
PA	3	Picea abies / Norway Spruce	6' Ht.	B&B	12' O.C.
PS	5	Pinus strobes / White Pine	6' Ht.	B&B	12' O.C.
QB	2	Quercus bicolor / Swamp Oak	2 1/2" Cal.	B&B	See Plan
QP	2	Quercus palustris / Pin Oak	2 1/2" Cal.	B&B	See Plan
Shrubs					
HP	37	Hydrangea paniculata "Limelight" / Hydrangea	30"	B&B	See Plan
JVG	27	Juniperus virginiana "Grey Owl" / Juniper	24"	No. 3	3' O.C.
SBG	98	Spiraea x bumalda "Gold Flame" / Pink Spirea	15"	No. 3	3' O.C.
Grasses					
CAL	86	Calamagrostis acutifolia "Karl Foerster" / Feather Reed Grass		No. 2	See Plan
IMP	70	Imperata cylindrical "Red Barron" / Japanese Blood Grass	Clump	No. 1	24" O.C.
Perennials					
NEP	65	Nepeta faassenii "Walker's Low" / Walker's Low Catmint	Clump	No. 2	18" O.C.
Seed all disturbed areas for Lawn					



TREE PLANTING & STAKING
NOT TO SCALE



JAMES S. MCKNIGHT, LA 8300504
EXPIRATION DATE 12/31/2022



Stanley J. Kaczmar, License #4988
Expiration Date: 12/31/2023

James S. McKnight
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ARCHITECTURE
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jsm@mcknightla.com

PROJECT DATA:

DESCRIPTION AND CLASSIFICATION OF BUILDING:
A. NATURE OF PROJECT: NEW HEALTH CLINIC
B. USE GROUP: "B" BUSINESS
C. CONSTRUCTION TYPE: VB COMBUSTIBLE
D. FIRE PROTECTION: SYSTEM PER NFPA 13
E. BUILDING AREA: 7,750 SF

PARKING ANALYSIS:

MEDICAL OR DENTAL CLINICS:
1 / 200 SF OF FLOOR AREA = 7,750 / 200 = 39
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TOTAL REQUIRED: 49

PARKING PROVIDED: 56

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ISSUE	DATE
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PROJECT:

NEW COMMUNITY HEALTH
CENTER

35557 CENTER RIDGE RD.
NORTH RIDGEVILLE, OHIO

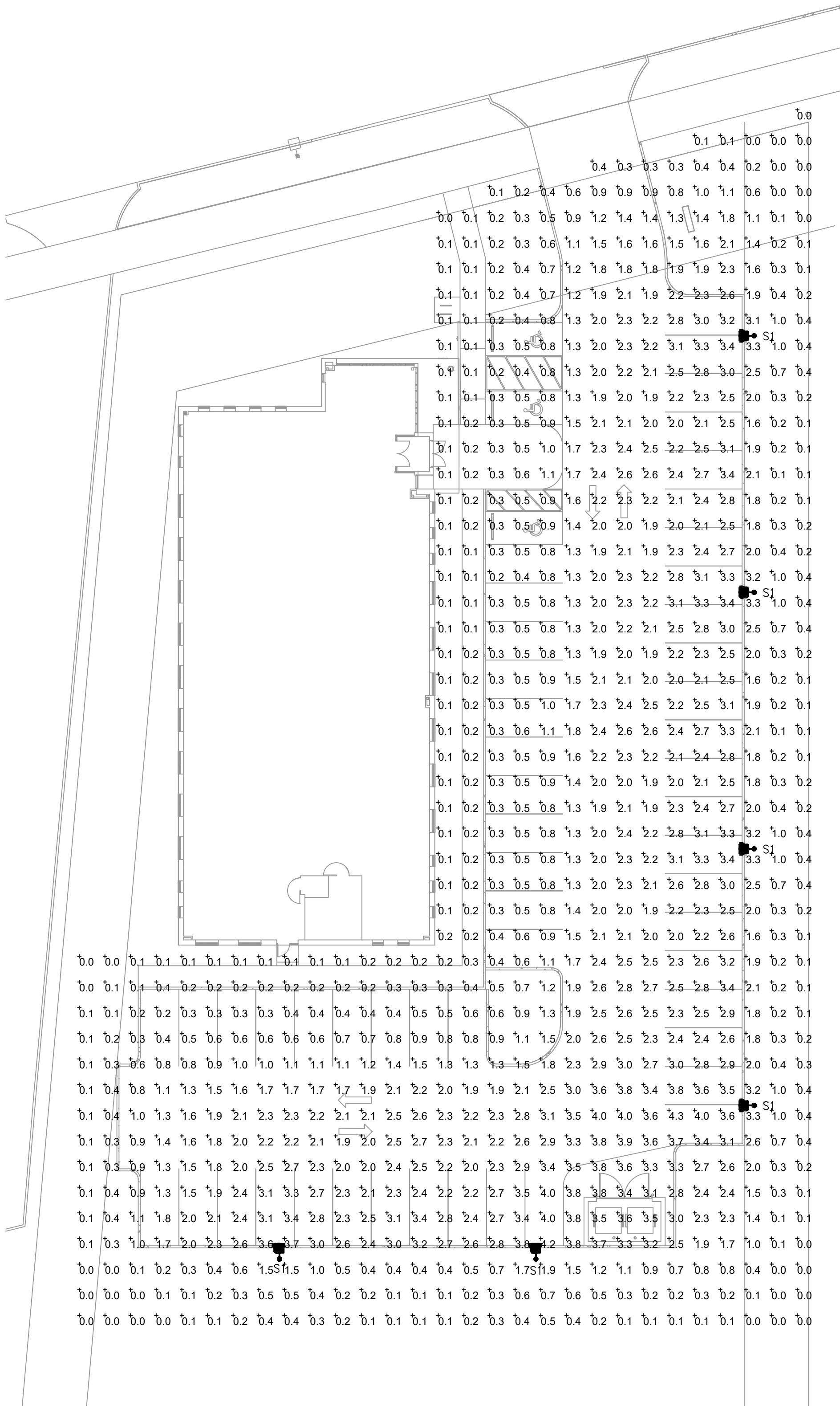
CLIENT:

LORAIN COUNTY HEALTH & DENTISTRY
1205 Broadway Ave.
Lorain, OH 44052

LANDSCAPE
PLAN

Scale:
1" = 20'-0"
Date:
12/01/22

Sheet:
L-101

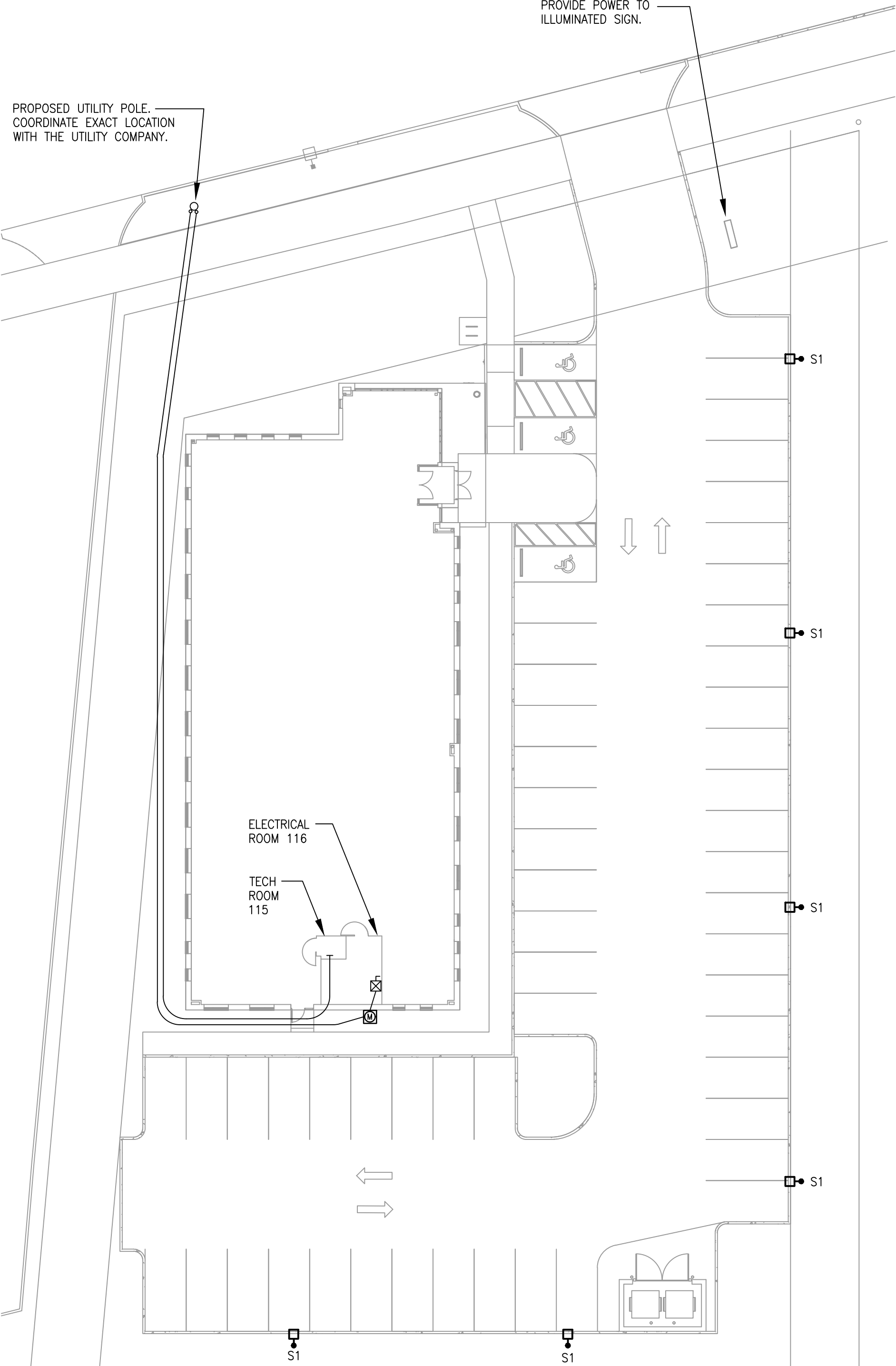


PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"

Luminaire Locations										
		Location				Aim				
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	A	239.19	102.76	18.00	18.00	270.00	0.00	239.19	102.76	0.00
2	A	239.19	42.80	18.00	18.00	270.00	0.00	239.19	42.80	0.00
3	A	239.19	-17.25	18.00	18.00	270.00	0.00	239.19	-17.25	0.00
4	A	239.19	-77.25	18.00	18.00	270.00	0.00	239.19	-77.25	0.00
6	A	189.31	-111.59	18.00	18.00	0.00	0.00	189.31	-111.59	0.00
7	A	129.32	-111.59	18.00	18.00	0.00	0.00	129.32	-111.59	0.00

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.4 fc	4.3 fc	0.0 fc	N/A	N/A



ELECTRICAL SITE PLAN

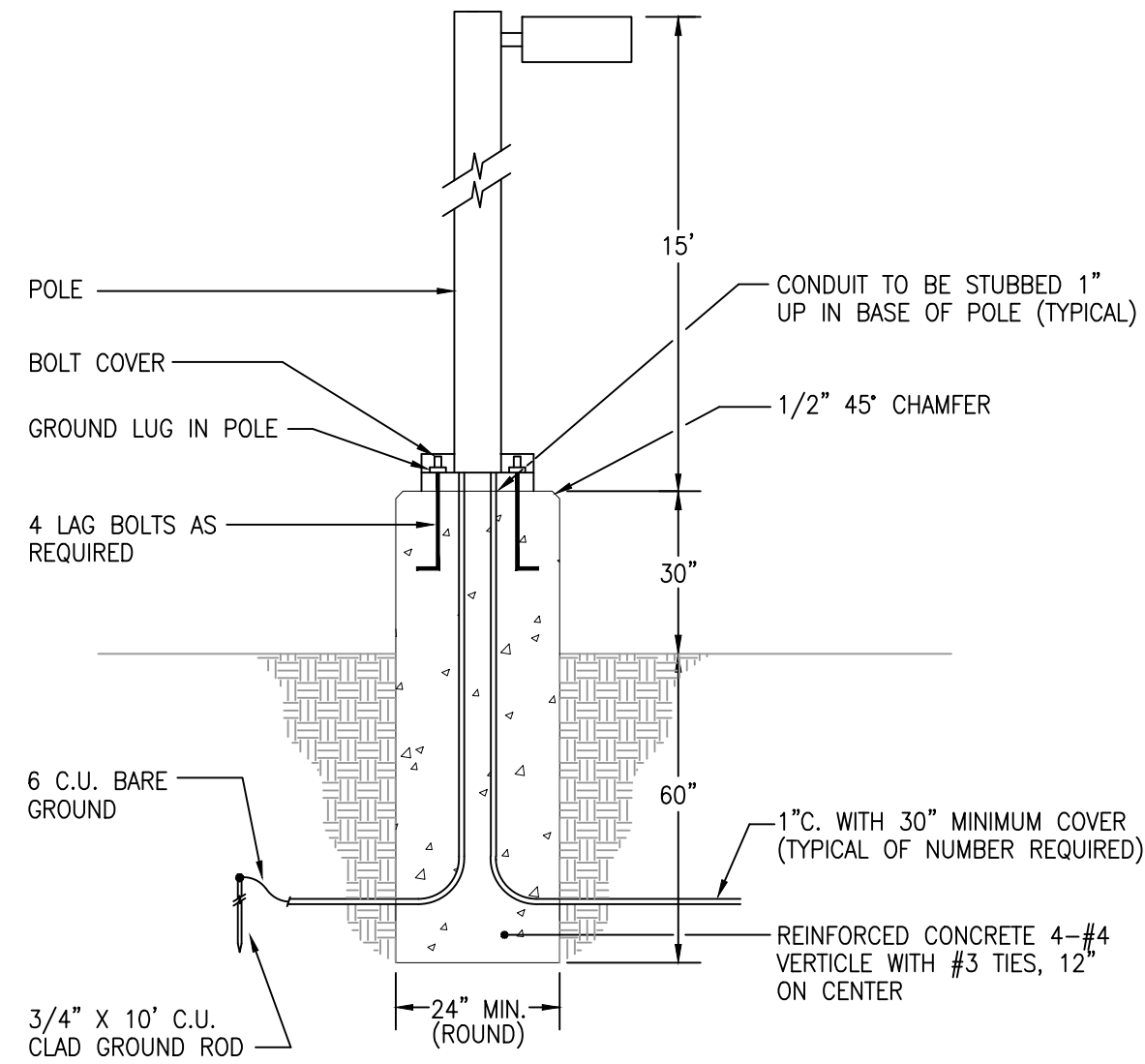
SCALE: 1" = 20'-0"

SITE PLAN GENERAL NOTES:

- WIRE POLES WITH 2 #10, 1 #10 G IN 3/4" CONDUIT AT 18" BELOW GRADE MINIMUM. DEPTH SHALL BE 24" BELOW PARKING LOT/DRIVE WAY. ROUTE BRANCH CIRCUIT THROUGH TIME CLOCK IN MECHANICAL ROOM. TYPICAL.

LIGHTING FIXTURE SCHEDULE

TYPE	WATTAGE		DESCRIPTION	CATALOG NO.	EQUIVALENT MANUFACTURER
	LAMP	FIXTURE			
S1	LED 4000K 10000L	84	LED POLE MOUNTED FIXTURE WITH TYPE 4 OPTICS, BACK LIGHT CONTROL, 120V. MOUNTED ON 15' SQUARE STRAIGHT STEEL POLE. STANDARD COLOR TO BE SELECTED BY THE ARCHITECT.	HUBBELL VP1-36L-85-4K7-4F-UNV-A-COLOR-BC POLE: 15' SSS	LUMARK LSI



TYPE 'S1' POLE BASE DETAIL

SCALE: NONE



VIPER Area/Site

VIPER LUMINAIRE

FEATURES

- Low profile LED arealight luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, NX Lighting Controls™, wISCAPE and 7-pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

OPTICS

- Micro Strike Optics (60, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to mimic the appearance of the Micro Strike Optics so both solutions can be combined on the same application. Catalog logic found on page 2

- Both optics maximize target zone illumination with minimal losses at the house side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-right at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQ) or accessory for square and round poles
- All mounting hardware included

INSTALLATION (CONTINUED)

- Knuckle arm litter option available for 2-3/8" OD lens
- For products with EPA less than 1 mounted to a pole greater than 20ft, a vibration damper is recommended
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category CS. Automatically takes fixture off-line for protection when device is compromised
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options can be combined

CONTROLS

- Photo control, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- 7-pin ANSI C136-A-2015 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)

WARRANTY

- 5 year warranty

DATE: LOCATION:

TYPE: PROJECT:

CATALOG #:

MICROSTRIKE | STRIKE



CONTROLS (CONTINUED)

- 0-10V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6' standard
- NX Lighting Controls™ available with in fixture wireless control module, features dimming and occupancy sensor
- wISCAPE® available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin configuration

CERTIFICATIONS

- ULC (Designlights Consortium Qualified), with both Premium and Standard Qualified configurations. Please refer to the ULC website for specific product qualifications at <http://www.designlights.org>
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated
- Meets ICA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11Buy American-Construction Materials under Trade Agreements effective 04/23/2020.

WARRANTY

- 5 year warranty

KEY DATA	
Lumen Range	5,000-80,000
Wattage Range	36-600
Efficacy Range (LPW)	92-155
Weight lbs. (kg)	13.7-30.9 (6.2-13.9)

Current®

currentlighting.com/beacon

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Page 1 of 18

Rev 1/10/22

BEA_VIPER_S01

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ISSUE: DATE:

PROJECT:



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35557 CENTER RIDGE RD
NORTH RIDGEVILLE, OHIO 44035

CLIENT:

LORAIN COUNTY HEALTH & DENTISTRY
1205 BROADWAY AVENUE
LORAIN, OH 44052

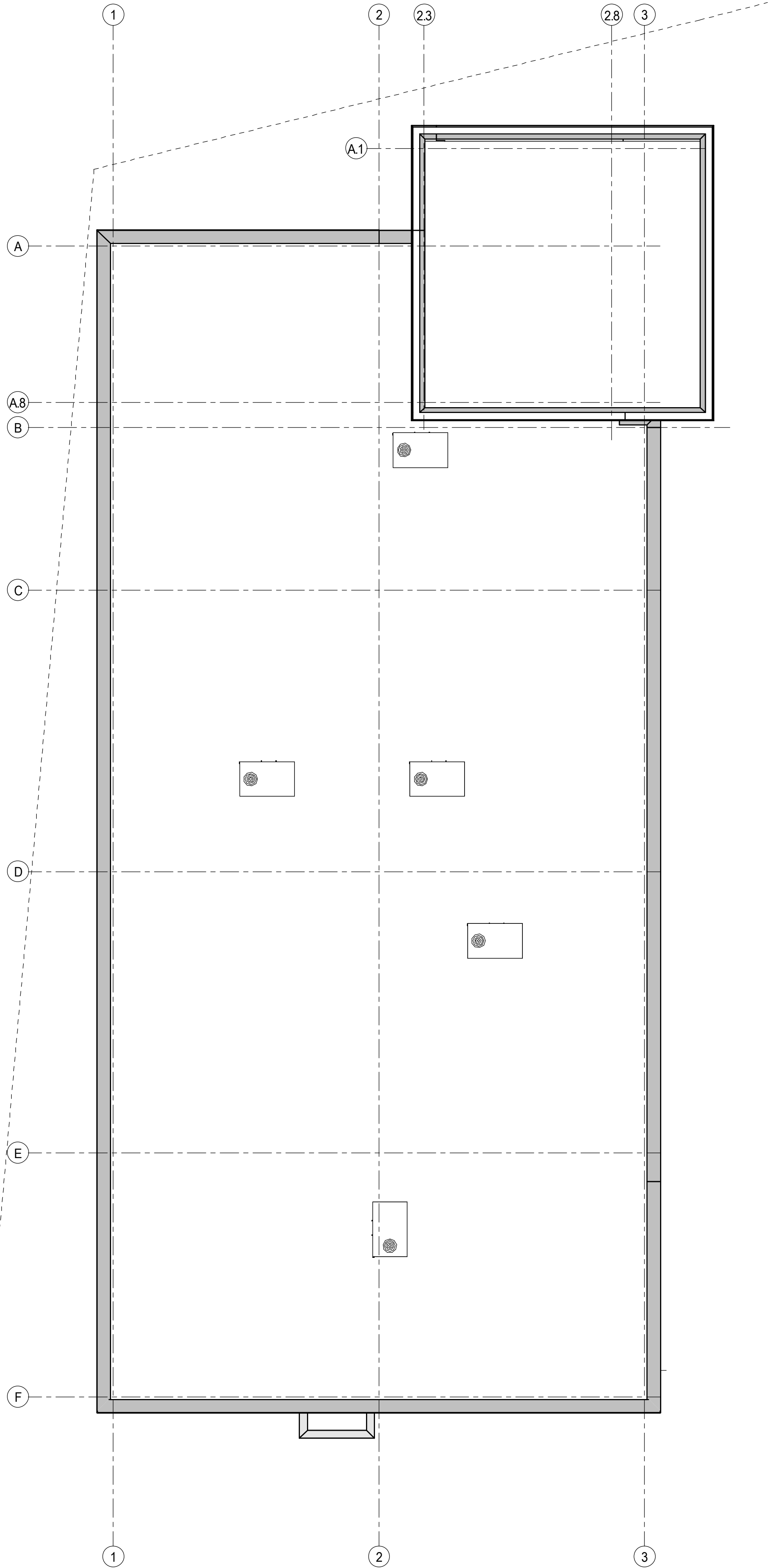
ELECTRICAL SITE AND PHOTOMETRIC PLAN

AS NOTED:

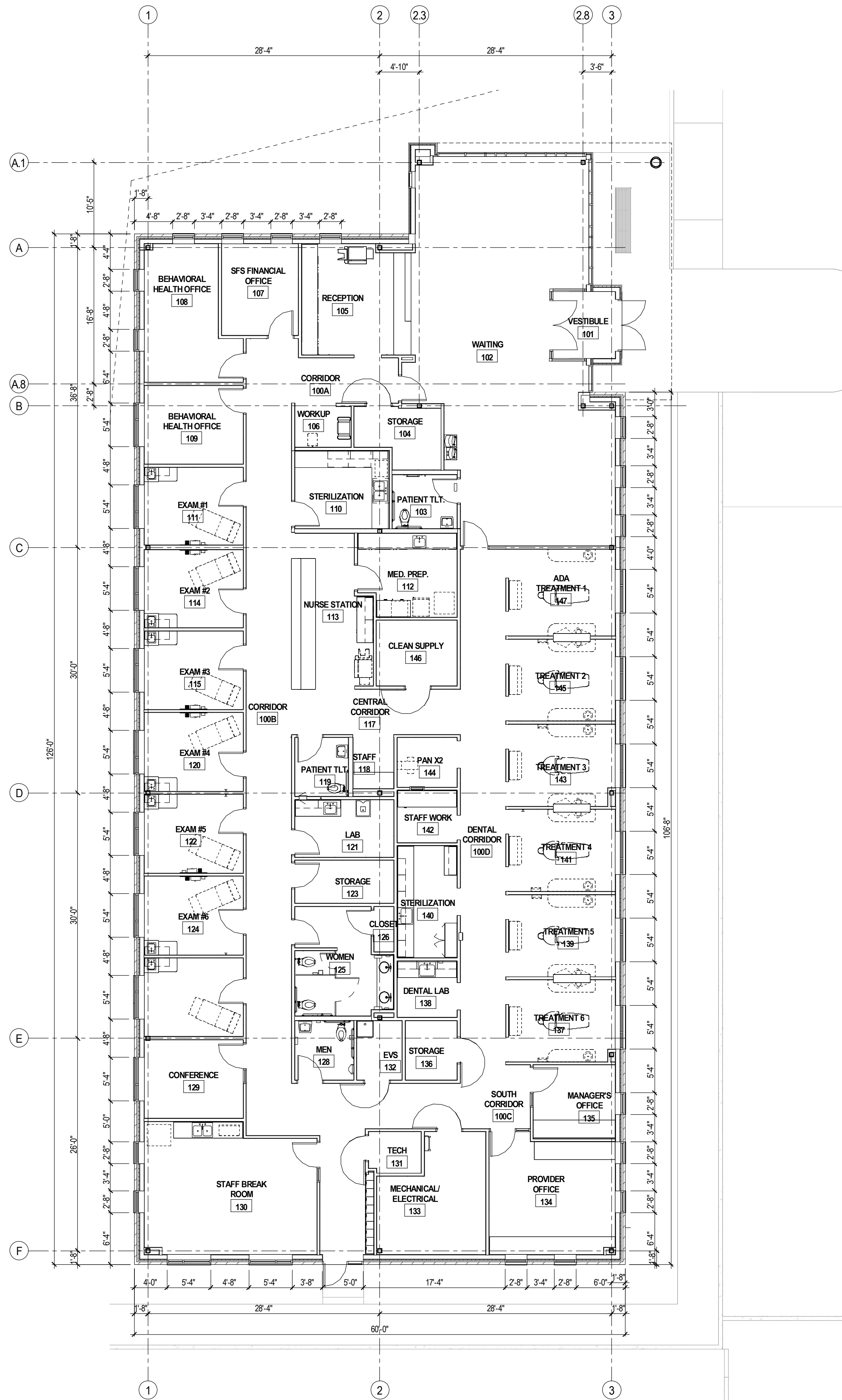
Date:

12/01/2022

E-101



ROOF PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

ALL WALLS ARE DRAWN AND DIMENSIONED TO A 5" NOMINAL WIDTH TYPICAL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE CLEAR DIMENSIONS FROM FACE OF GYPSUM BOARD TO FACE OF GYPSUM BOARD

ALL WALLS ARE TYPE 1A TIGHT TO UNDERSIDE OF EXISTING DECK WITH ACOUSTIC BATT INSULATION U.N.O.

ALL EXAM ROOM WALLS TO BE FULL HEIGHT ACOUSTIC PARTITIONS WITH MIN. STC RATING OF 50.

ALL SUB-CONTRACTORS (I.E. FIRE PROTECTION, HVAC, FIRE ALARM, ELECTRICAL, ETC.) TO DESIGN AND INSTALL SYSTEM PER TENANT / OWNER REQUIREMENTS AND IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE CODES.

ALL FLOOR, WALL, CEILING, AND MISC. FIRE RESISTIVE ASSEMBLIES AND CONSTRUCTION SHALL BE OF THE FIRE RATING CALLED FOR ON THE DRAWINGS AND / OR AS REQUIRED BY CODE. ALL EXISTING FIRE RESISTIVE ASSEMBLIES SHALL BE MAINTAINED AND THE RATING NOT COMPROMISED. FIRE RATED ASSEMBLIES AND CONSTRUCTION INCLUDING ALL FIRE STOPPING, FIRE RATED DOORS AND MISC. FIRE RESISTIVE REQUIREMENTS SHALL BE LEFT UNCONCEALED AS REQUIRED FOR INSPECTION BY THE BUILDING OFFICIAL.

DASHED FURNITURE AND EQUIPMENT ITEMS SHOWN FOR REFERENCE ONLY. THESE ITEMS TO BE PROVIDED AND INSTALLED BY OWNER. CONTRACTOR TO COORDINATE SPECIFIC FIXTURE AND EQUIPMENT REQUIREMENTS AS NOTED.

PROVIDE WINDOW TREATMENTS AT ALL WINDOWS.

ALL WINDOWS TO RECEIVE SOLID SURFACE WINDOW SILLS.

PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS. OG-1 UNLESS NOTED OTHERWISE.

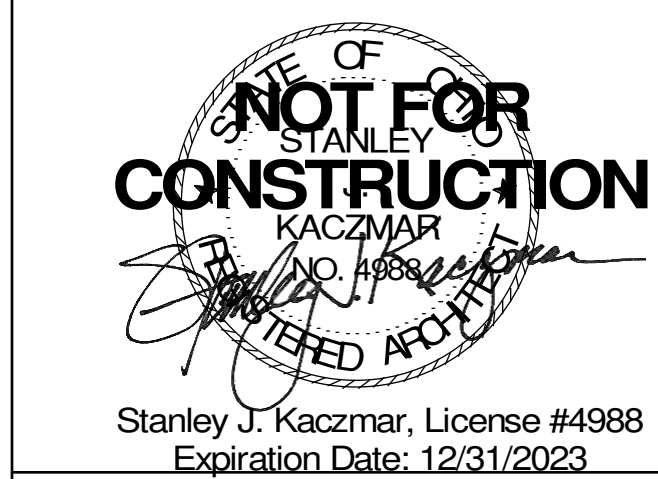
PROVIDE CONCEALED IN-WALL REINFORCING / BLOCKING FOR ALL WALL MOUNTED CASEWORK, ACCESSORIES, AND / OR EQUIPMENT AS REQUIRED. COORDINATE LOCATIONS IN FIELD WITH ARCHITECT AND OWNER.

WALL MOUNTED EQUIPMENT AND ACCESSORIES IN EACH EXAM ROOM INCLUDE SOAP DISPENSER, PAPER TOWEL DISPENSER, SHARPS CONTAINER, GLOVE DISPENSER, OTO-SPHYGMOMANOMETER, MIRROR & CLOTHES HOOKS. COORDINATE FINAL LOCATIONS IN FIELD WITH ARCHITECT AND OWNER DURING WALL BLOCKING INSTALLATION FOR EACH DEPARTMENT

- ◆ PARTITION TYPE, SEE SHEET
- DOOR NUMBER, SEE SHEET A-301
- ◻ WINDOW ELEVATION, SEE SHEET A-301

FLOOR PLAN KEYED NOTES

NOTE



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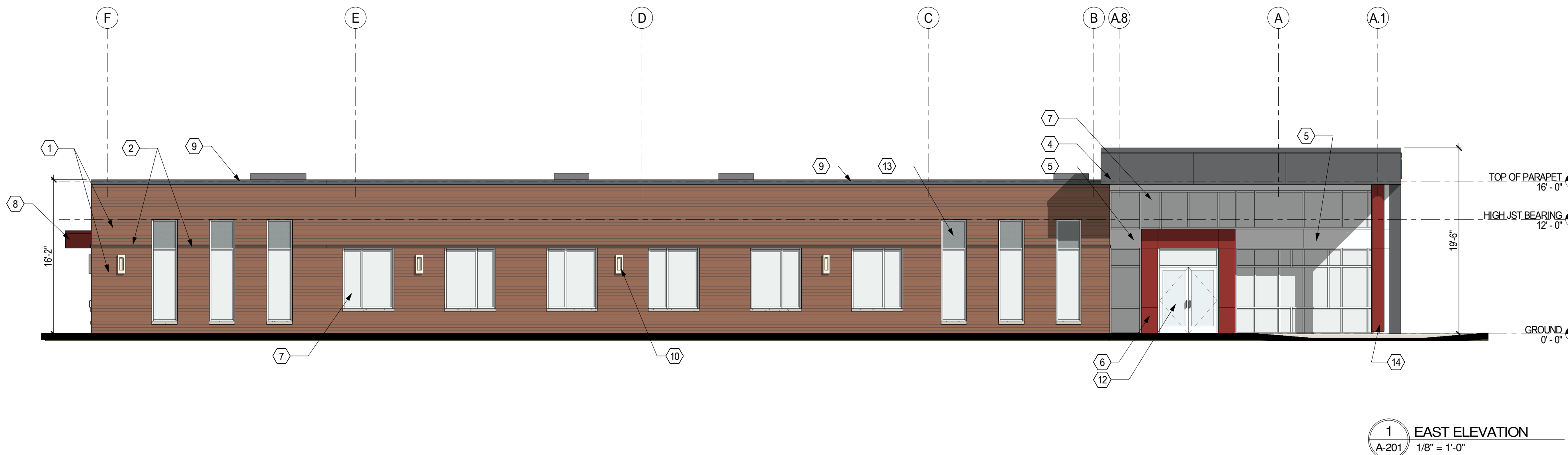
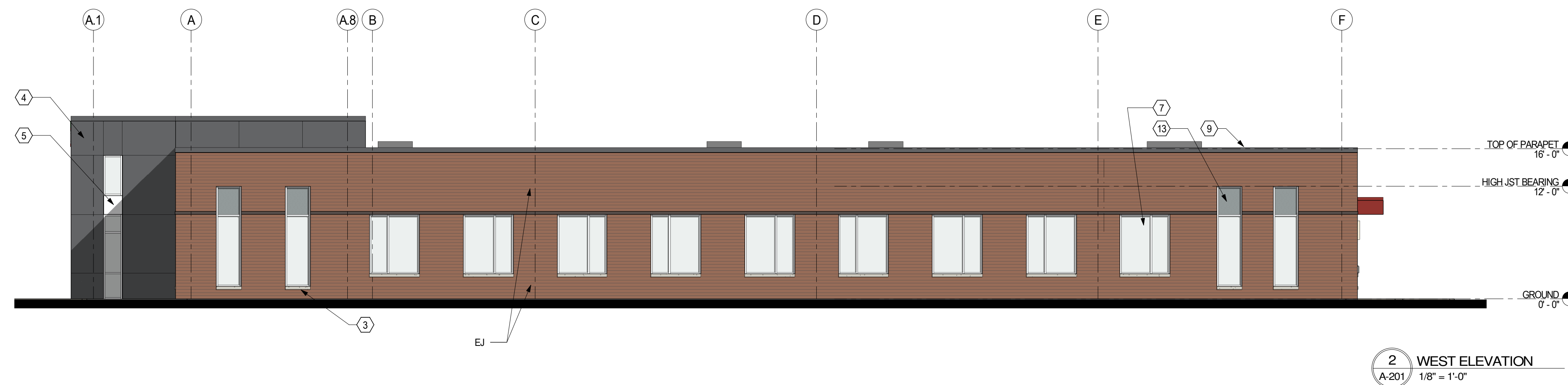
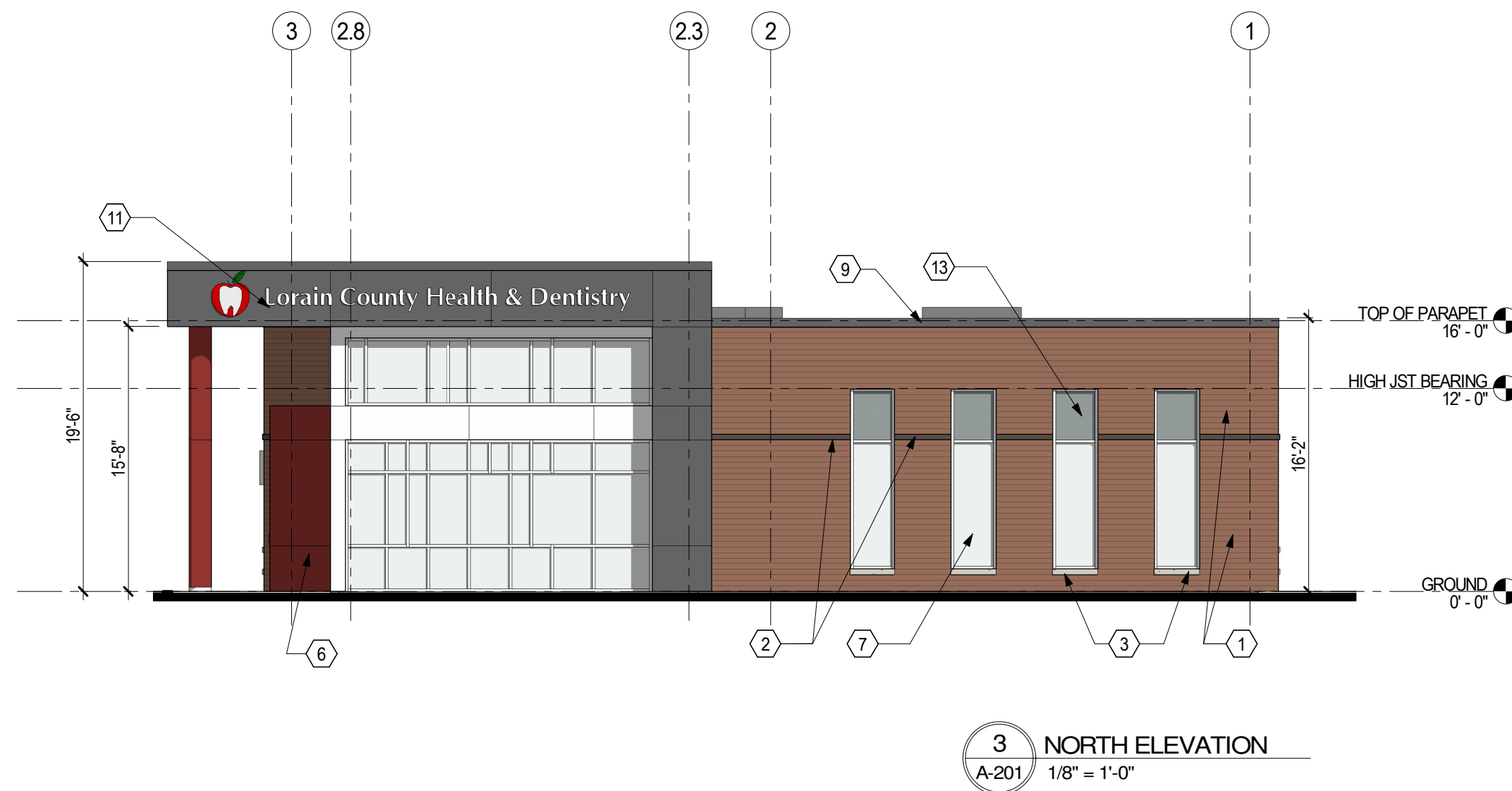
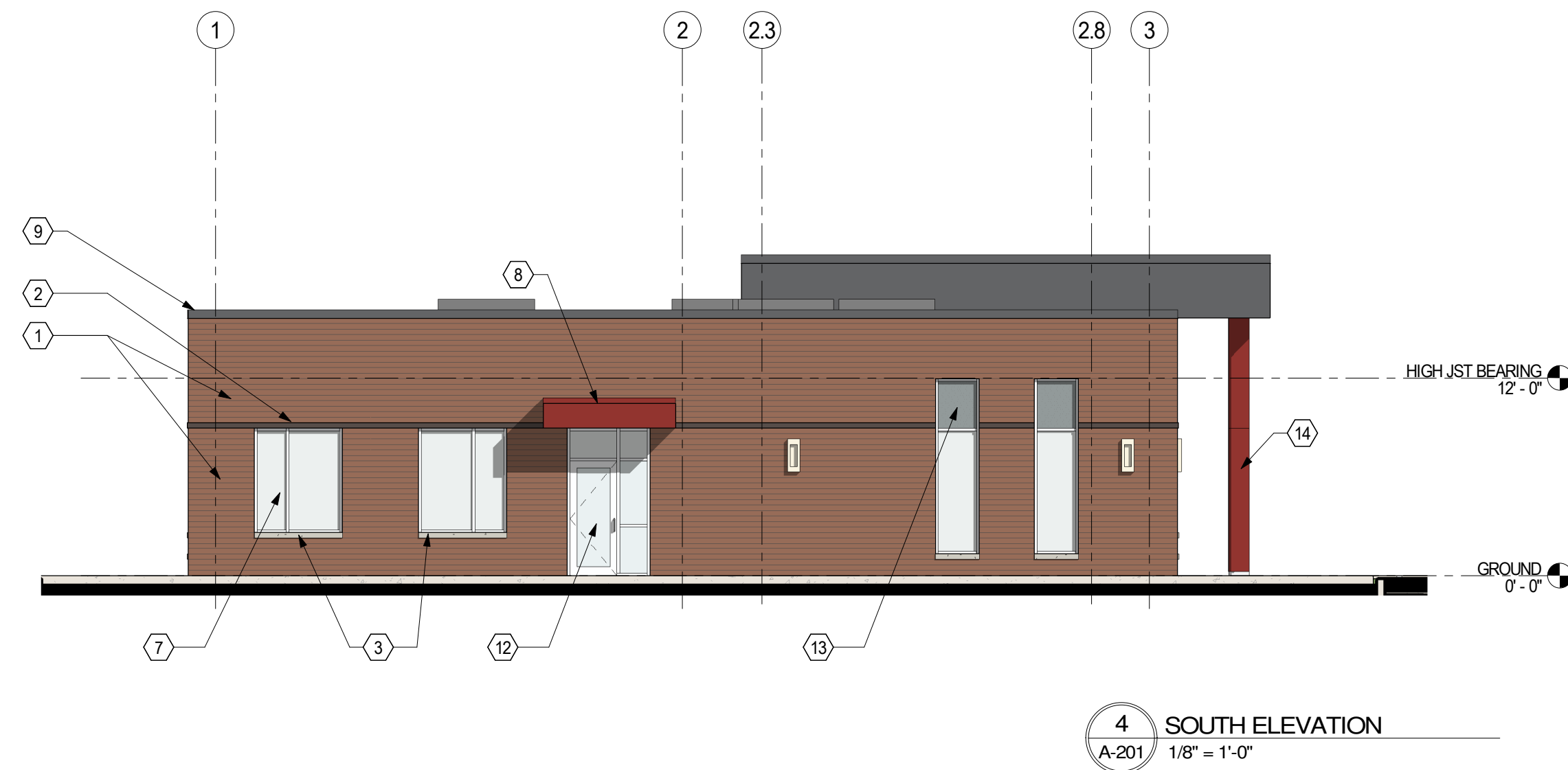
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NORTH RIDGEVILLE, OHIO

CLIENT:
LORAIN COUNTY HEALTH & DENTISTRY
1205 Broadway Ave.
Lorain, OH 44052

FLOOR & ROOF PLAN

Scale:
As indicated
Date:
12/01/22

Sheet:
A-101



- # EXTERIOR ELEVATION KEY NOTES
- 1 BRICK VENEER, 4X4X8 SIZE
 - 2 PROJECTED BRICK BAND, COLOR "B"
 - 3 CAST STONE CHAMFERED SILL, 4" H X 48" L UNITS
 - 4 FLUSH ALUMINUM COMPOSITE METAL PANEL, COLOR DARK GRAY "ACM-1"
 - 5 FLUSH ALUMINUM COMPOSITE METAL PANEL, COLOR "ACM-3"
 - 6 FLUSH ALUMINUM COMPOSITE METAL PANEL, COLOR RED "ACM-2"
 - 7 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED CLEAR GLASS
 - 8 EXTERIOR METAL CANOPY WITH ACM PANELS, COLOR "ACM-3"
 - 9 METAL COPING - COLOR TO MATCH ACM-1
 - 10 WALL MOUNTED LIGHT FIXTURE
 - 11 BUILDING MOUNTED SIGNAGE, INTERNALLY ILLUMINATED
 - 12 ALUMINUM STOREFRONT ENTRANCE
 - 13 SPANDREL GLASS IN ALUMINUM STOREFRONT
 - 14 METAL COLUMN COVER, ROUND, COLOR TO MATCH ACM-3

MASONRY NOTES:
EJ - INDICATES VERTICAL EXPANSION JOINT WITH BACKER ROD AND SEALANT, SPACING AS SHOWN ON DRAWINGS, SPACING NOT TO EXCEED 24". MULTIPLE SEALANT COLORS, MATCH SURROUNDING MASONRY

PROVIDE SLP PLANE FORMED BY FLASHING ABOVE AND BELOW STEEL UNTELS AT OPENINGS.

NOT FOR CONSTRUCTION
KACZMAR
NO. 4998
SEAL
Stanley J. Kaczmar, License #4988
Expiration Date: 12/31/2023

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PROJECT:

 Lorain County Health & Dentistry

NEW COMMUNITY HEALTH CENTER
35557 CENTER RIDGE RD,
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EXTERIOR ELEVATIONS

Scale: 1/8" = 1'-0"
Date: 12/01/22

Sheet: A-201

CHAPTER 1285

Parking, Loading and Lighting

- 1285.01 Purpose.
- 1285.02 General Requirements.
- 1285.03 Required Parking Spaces.
- 1285.04 Parking Design.
- 1285.05 Loading.
- 1285.06 Driveways.
- 1285.07 Sidewalks.
- 1285.08 Illumination of Parking Areas.

1285.01 PURPOSE.

The purpose of this chapter is to prescribe regulations for off-street parking in all zoning districts; to ensure that adequate parking, access and connectivity are provided in a safe and convenient manner; and to afford reasonable protection to adjacent land uses from light, noise, water runoff and other effects of parking lot proximity.

1285.02 GENERAL REQUIREMENTS.

- (a) Applicability. For all new buildings and uses, accessory off-street parking shall be provided as required by this chapter. In addition, the following shall also apply:
 - (1) Whenever the use of a building or lot is changed to another classification of use, off-street parking facilities shall be provided for that use.
 - (2) If the parking demand of any use is increased through the addition of floor area, increase in seating capacity or by other means, additional off-street parking shall be provided.
 - (3) Existing off-street parking facilities shall not be reduced below the requirements of this chapter, nor shall existing nonconforming parking facilities be further reduced or made more nonconforming.
 - (4) An area designated as required off-street parking including areas reserved for landbanked parking shall not be changed to another use unless sufficient parking is provided elsewhere in accordance with the provisions of this chapter.
- (b) Location.
 - (1) Off-street parking facilities for one and two-family dwellings shall be located on the same lot as the building(s) they are intended to serve.
 - (2) Off-street parking facilities for all other uses shall be located on the lot where the parking is required, except as provided in *Section 1225.02(c)*. In the event that required parking is proposed on a lot in common ownership or leasehold with the lot where the parking is required, the applicant must present and record a permanent easement and parking agreement for access and parking.
- (c) Shared Parking.
 - (1) Two or more buildings or uses may share parking facilities, provided the number of parking spaces available equals the required number of spaces for all the uses computed separately. Total required parking may be reduced by the Planning Commission where it can be determined that one or more of the factors listed in *Section 1285.02(d)* applies.
 - (2) Parking facilities for a place of worship or similar sporadically used facility may be used to meet up to 50% of the off-street parking for theaters, stadiums and other places of public assembly, stores, offices and industrial buildings within 300 feet of the facility, as measured from the nearest edge of the parking area to the nearest public entry point of the building or use provided that the facility makes the spaces available and there is no conflict between peak times when the

uses are in need of the parking facilities.

- (3) A shared parking plan shall be enforced through written agreement among all owners of record and shall be included in the development plan filed with the City. The owner of the shared parking area shall enter into a written agreement including access and parking easements, with authorization for enforcement by the City.
- (d) **Modification of Parking Requirements.** The Planning Commission may reduce the parking space requirements of this chapter for any use, based upon finding that one or more of the following conditions exist:
 - (1) Other forms of travel (such as transit, bicycle or pedestrian) are available and likely to be used and, in particular, the site design will incorporate bicycle parking facilities and pedestrian connections.
 - (2) Shared parking is available to multiple uses where there will be a high proportion of multipurpose visits or where uses have peak parking demands during differing times of the day or days of the week and a shared parking agreement is in place.
 - (3) The applicant has provided a parking study, conducted by a qualified transportation engineer, demonstrating that another standard would be more appropriate based on actual number of employees, expected level of customer traffic or actual counts at a similar establishment.
- (e) **Landbanked Parking.** Where an applicant demonstrates that the parking requirements for a proposed use would be excessive, the Planning Commission may defer the construction of a portion of the required parking. The development plan shall designate areas of the site for future construction of the required parking spaces, meeting the design and dimensional requirements of this chapter. Any area so designated shall be maintained in a landscaped appearance and not occupy required open space or buffer strips or be used for any other purpose. Construction of the additional parking spaces within the landbanked parking area may be initiated by the owner or required by the City, based on parking needs or observation, and shall require approval of an amended development plan which may be approved administratively.

1285.03 REQUIRED PARKING SPACES.

- (a) **Minimum Required Parking.** The minimum number of required off-street parking spaces shall be provided and maintained in accordance with *Table 1285.03-1*.
 - (1) When units or measurements determining the number of required parking spaces result in a fraction, the number of spaces required shall be the nearest whole number.
 - (2) Each 24 inches of bench, pew or similar seating facilities shall be counted as one (1) seat.
 - (3) Where parking requirements are based upon maximum seating or occupancy capacity, the capacity shall be as determined by the building code and fire code.
 - (4) In the case of a use not specifically listed, the requirement for off-street parking for a specified use which is most similar shall apply.
 - (5) Unless otherwise indicated, floor area shall be gross floor area of the structure.
 - (6) All required parking spaces per employee shall be calculated based on the maximum on duty at any given time, not the total employed by the organization.

TABLE 1285.03-1, PARKING REQUIREMENTS BY USE	
USE	NUMBER OF PARKING SPACES
Residential Uses	
One and two family dwellings	1 per dwelling unit
Multiple family dwellings	1 per dwelling unit
Assisted living and nursing homes	1 per 4 beds plus 1 per employee
Bed and breakfast inns	1 per guest room
Group homes	1 per 4 occupants

TABLE 1285.03-1, PARKING REQUIREMENTS BY USE	
USE	NUMBER OF PARKING SPACES
Public/Institutional Uses	
Hospitals	1 per 4 beds plus 1 per employee
Libraries, museums and cultural institutions	1 per 400 square feetsquare feet
Places of worship	1 per 4 seats
Schools	1 per employee plus spaces required for areas of assembly
Commercial Uses	
Auto repair establishments	3 per service bay
Auto service stations	1 per employee plus spaces required for other uses such as restaurant, auto repair, auto wash if provided
Auto wash establishments	1 per employee
Banks and financial institutions	1 per 400 square feet
Banquet halls	1 per 3 persons at maximum occupancy
Bars and taverns	1 per 75 square feet or 1 per 3 seats, whichever is greater
Bowling alleys	4 per alley
Dance halls, pool halls and private clubs	1 per 100 square feet of assembly area
Day care establishments	1 per 500 square feet plus 1 per employee
Funeral homes	1 per 75 square feet of assembly rooms
Health and fitness clubs	1 per 200 square feet
Hotels and motels	1 per guest room
Indoor recreation establishments	1 per 3 persons at maximum occupancy
Offices, medical and dental	1 per 200 square feet
Offices, professional	1 per 400 square feet
Restaurants	1 per 100 square feet or 1 per 3 seats, whichever is greater
Retail stores, furniture and appliance	1 per 800 square feet
Retail stores, general	1 per 300 square feet
Retail stores, grocery	1 per 200 square feet
Salons, spas and barber shops	2 per chair
Stadiums, theaters and sports arenas	1 per 4 seats
Industrial Uses	
Industrial establishments	0.75 per employee plus spaces for business vehicles
Warehouse and storage establishments	0.5 per employee plus spaces for business vehicles
Self-storage facilities	1 per employee

- (b) **Electric Vehicle Parking.** Parking spaces that are dedicated to and provided with equipment solely for the purpose of charging electric vehicles shall count toward the total number of required off-street parking spaces on a space for space basis.

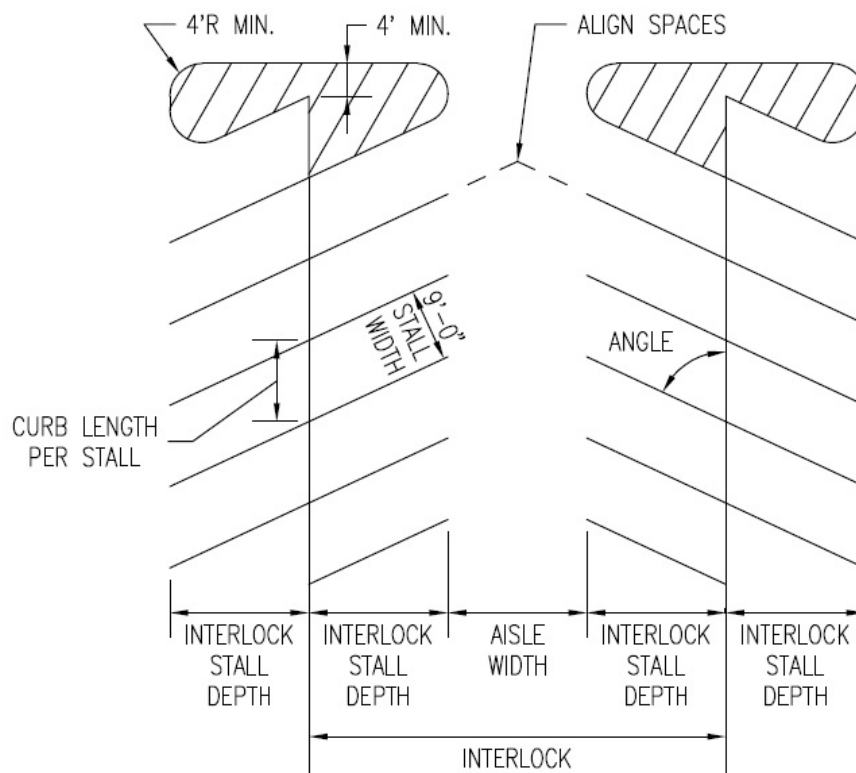
- (c) **Bicycle Parking.** All public/institutional and commercial uses shall provide bicycle racks or other facilities for the temporary storage of bicycles within reasonable proximity to a pedestrian entrance into the building. The Planning Commission may waive this requirement if the applicant can provide justification as to why this standard is not appropriate for the use or development.

1285.04 PARKING DESIGN

- (a) **Materials.** All parking lots and vehicle and equipment storage areas shall be paved with asphalt or concrete, and shall be graded and drained to remove surface water which might accumulate. The Planning Commission may approve alternative paving materials, such as permeable pavement, for all or a portion of the parking areas, based upon credible evidence of the durability and appearance of the proposed materials.
- (b) **Dimensions.** Parking space and aisle dimensions shall meet the following requirements and as specified in *Table 1285.04-1*.

TABLE 1285.04-1, MINIMUM DIMENSIONAL REQUIREMENTS			
Angle	45°	60°	90°
Interlock (ft.)	46	52	60
Aisle Width (ft.)	16	18	24
Interlock Stall Depth (ft.)	15	17	18
Curb Length Per Stall (ft.)	12.7	10.4	9.0

FIGURE 1285.04-2, OFFSTREET PARKING DIMENSIONS AND LAYOUT



- (c) **Stacking Spaces.** In addition to required off-street parking, stacking spaces for drive-through uses shall be provided in accordance with *Table 1285.04-3*, unless the Planning Commission determines that use-specific factors justify a different requirement. Stacking spaces shall be at least 20 feet long

and nine (9) feet wide and shall not block required parking spaces. Where the drive-through waiting lane consists of a single lane for five (5) or more vehicles, site layout shall be designed to allow vehicles to exit the waiting lane. No stacking is permitted within any public right-of-way.

TABLE 1285.04-3, VEHICLE STACKING REQUIREMENTS	
Use	Stacking Spaces
Automatic car wash	10 per tunnel
Self-serve car wash or oil change establishment	2 per bay
Bank, ATM, pharmacy, beverage store	5 per window, bay or unit
Drive-through restaurant	10 per pick up window

- (d) **Ingress and Egress.** Vehicular ingress and egress to the parking area shall be provided by means of clearly limited and defined drives. All parking lots shall provide interior access and circulation aisles for all parking spaces. The use of public streets for maneuvering into or out of parking spaces shall be prohibited. Ingress and egress to a parking lot in a non-residential zoning district shall not be through a residential district.
- (e) **Curbing.** A six (6) inch cast-in-place, continuous concrete curb or alternative, as determined by the City Engineer, shall be provided around all sides of any parking lot to protect landscaped areas, sidewalks, buildings or adjacent property from vehicles that might otherwise extend beyond the edge of the parking lot. Curb openings are allowed for storm water drainage.
- (f) **Fire Lanes.** Fire lanes shall be designated on the site and posted with signage prior to occupancy. Vehicle circulation shall meet turning radius requirements established by the Fire Department.
- (g) **Crosswalks.** Pedestrian pathways and crosswalks in parking areas shall be distinguished from driving surfaces through the use of striping or durable, low-maintenance, surface materials such as pavers, bricks, or scored, stamped or colored concrete.
- (h) **Accessible Parking.** Within each parking lot, signed and marked barrier free spaces shall be provided in accordance with the applicable requirements of federal, state and local codes.

1285.05 LOADING

- (a) **Uses Requiring Loading Area.** On the same premises with every building used for manufacturing, storage, warehouse, retail sales, consumer services or other uses similarly involving the receipt or distribution of vehicles, materials or merchandise, there shall be provided and maintained on the lot adequate space for standing, loading and unloading in order to avoid undue interference with public use of the streets and parking spaces.
- (b) **Loading Area Requirements.** Loading and unloading spaces shall be paved and, unless otherwise adequately provided for, shall be 12 feet by 50 feet, with 15 foot height clearance. One loading space shall be provided for every 40,000 square feet of floor area or fraction thereof. This requirement shall not apply to retail sales and consumer service uses of less than 10,000 square feet.
- (c) **Orientation of Overhead Doors.** Access and loading bays facing any street, adjacent residential use or residential zoning district, shall have the doors closed at all times, except during the movement of products into and out of the building.

1285.06 DRIVEWAYS

- (a) **Functional Classification.** The roadways listed in *Table 1285.6-1* have been designated by the Northeast Ohio Areawide Coordinating Agency (NOACA) as having a functional classification of

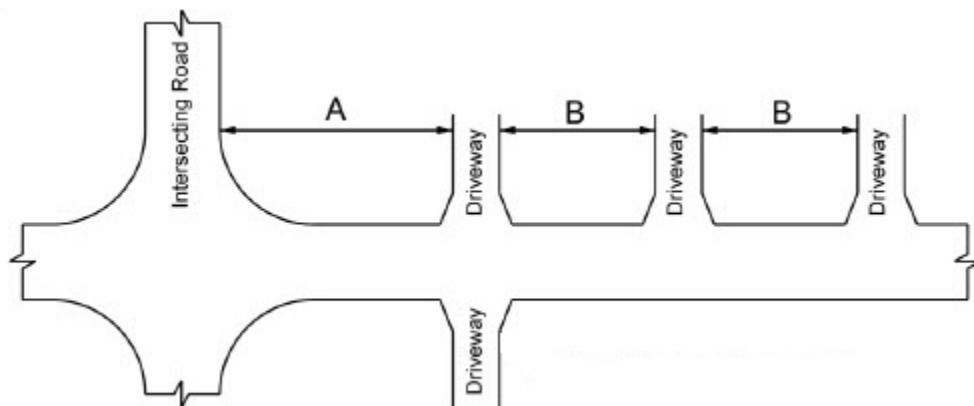
principal arterial, minor arterial or major collector. NOACA's most current list of roadway functional classifications shall govern the regulations of this Zoning Code.

TABLE 1285.06-1, FUNCTIONAL CLASSIFICATION (NOACA)		
FC=3, Principal Arterial:	FC=4, Minor Arterial:	FC=5, Major Collector:
Center Ridge Road	- Avon Belden Road - Lear Nagle Road - Lorain Road - Root Road - Sugar Ridge Road	- Bainbridge Road - Chestnut Ridge Road - Cook Road - Mills Road - Stoney Ridge Road

- (b) **Number of Curb Cuts.** The number of driveways serving a property in any non-residential zoning district shall be the minimum number necessary to provide reasonable access while preserving traffic operations and safety along the public street. Adjacent parcels in common ownership fronting on the same street shall be considered as one parcel when determining permitted driveways.
- (1) Driveways shall be limited to one (1) per lot or parcel of land per road frontage.
 - (2) One (1) additional driveway may be allowed for properties with a continuous frontage greater than 400 feet or if the Planning Commission determines additional access is justified without compromising traffic operations along the public street.
- (c) **Driveway Spacing Standards.** The following minimum spacing requirements shall apply to all curb cuts and driveways within any non-residential zoning district, as well as spacing between driveways and street intersections.

TABLE 1285.06-2, DRIVEWAY SPACING STANDARDS	
Roadway Type	Minimum Distance
Arterial	160 ft.
Collector	120 ft.
Local	40 ft.

FIGURE 1285.06-3, DRIVEWAY SPACING MEASUREMENT



- (1) Measurements are from the near edge of the proposed driveway, measured at the throat perpendicular to the street to the near lane curb or pavement edge of the intersecting street (see A in Figure 1285.06-3) or near edge of the next driveway (see B in Figure 1285.06-3).
- (2) These driveway spacing standards are guidelines and will be required if such distances can be achieved given the property limits and site layout. However, in some cases these distances may

not be feasible given the existing lot configuration. In these instances, the Planning Commission will make a determination as to what spacing will be required, and whether or not a driveway will be required to be directionally restricted in lieu of not meeting the required spacing.

- (d) Driveway Width. For any driveway serving a non-residential zoning district, the minimum width of a one-way driveway shall be 15 feet and the minimum width of a two-way driveway shall be 24 feet. The maximum width of any non-residential driveway shall be 35 feet. Width shall be measured along a line parallel to the centerline of the street at the street right-of-way line. The City Engineer may alter width requirements based on the type of vehicle traffic the use is expected to generate.
- (e) Cross Access Encouraged. Cross access between adjacent non-residential properties is encouraged for convenience, safety and efficient circulation of vehicles. A mutual access agreement shall be executed where cross-access is provided.
- (f) Construction Requirements. All driveways shall be constructed in accordance with the requirements established by the City Engineer.

1285.07 SIDEWALKS

Sidewalks shall be constructed as required in *Chapter 1024*. Where sidewalks are not located within the right-of-way, but proposed to be located on private property, a public access easement shall be provided to the City and recorded as a condition of development plan approval.

1285.08 ILLUMINATION OF PARKING AREAS

- (a) Applicability. The Planning Commission shall review plans for illumination of parking areas for any development plan subject to its review under *Chapter 1243* involving new lighting or changes to existing lighting as provided in this Section.
- (b) Exterior Lighting Plan Required. A lighting plan shall include the following elements:
 - (1) A site plan to scale showing location of all exterior light fixtures. Include property boundaries, building location(s), parking lot layout, pedestrian paths, adjacent rights-of-way, north arrow and scale.
 - (2) Specifications, cut sheets and/or drawings for all exterior light fixtures and poles, along with a description of any dimming systems or other proposed lighting controls.
 - (3) A photometric plan defining the limits of each lighting calculation area where illumination is proposed plotting the light levels in footcandles on the ground. The limits of each lighting calculation area shall be clearly indicated. Maximum illuminance levels should be expressed in footcandle measurements to the nearest 0.1 footcandle on a grid of the site showing footcandle readings at no greater than a 10-foot square. The grid shall include light contributions from all sources on the site and show footcandle readings five (5) feet beyond the property lines.
 - (4) A calculation summary indicating footcandle levels on the photometric plan, noting the minimum, maximum and average footcandles, light loss factor and uniformity ratios for each lighting calculation area. Include in the summary lamp wattages of all proposed luminaires and mounting heights of fixtures.
- (c) Fixtures. Exterior lighting fixtures shall be installed in a manner to prevent light pollution in the forms of light trespass and glare and to preserve, protect and enhance the character of the City.
 - (1) Full Cut-off Required. All exterior pole lighting fixtures used to illuminate off-street parking areas shall be full cut-off and shall be arranged to deflect the light away from adjoining properties and adjacent streets. Exterior building lighting fixtures used to illuminate sidewalks, entrances and service areas shall also be full-cut off fixtures.
 - (2) Canopy Lighting. Light fixtures mounted under canopies shall be recessed with flat lenses so that the lens cover is flush with the bottom surface of the canopy. Alternately, indirect lighting

- may be used where light is reflected down from the bottom of the canopy.
- (3) **Nonessential Lighting.** Nonessential lighting for other areas may be installed upon approval of the Planning Commission. This shall include landscape lighting, accent lighting of the structure, decorative lighting and lighting for similar purposes. Light fixtures used to illuminate flags, statues or any other objects mounted on a pole, pedestal or platform shall use a light that will not extend beyond the illuminated object. For upward architectural, landscape and decorative lighting, direct light emission shall not be visible above the building roof line.
- (4) **Prohibited Lighting.** No flickering or flashing light shall be permitted, except for temporary holiday decorations. The installation of any light fixture not specifically approved as part of a development plan is prohibited.
- (d) **Luminaire Height.** The height of any parking lot light fixture shall not exceed 30 feet above grade in industrial districts and 25 feet above grade in all other non-residential districts. When located within 50 feet of a residential zoning district, the height of a parking lot light fixture shall not exceed 16 feet above grade. The Planning Commission may require lower mounting heights if the adjoining grade is lower than developed grade.
- (e) **Illumination Levels.** The average and maximum illumination levels shall not exceed that permitted for each lighting calculation area type. A lighting calculation area shall be defined as any area where the illumination level equals or exceeds 0.2 footcandle.
- (1) **Light Trespass.** Lighting intensity shall not exceed zero (0) foot candles at the property line when abutting residential zoning districts. All on-site lighting of buildings, lawns and parking areas shall be designed so that no light source will be visible at the ground level of any adjacent residential property or building. No on-site lighting may cause glare onto any public street or vehicle thereon.
- (2) **Required Illumination Levels.** Lighting shall be designed to provide even distribution of illumination and to avoid creating hot spots. Maximum average illumination levels are provided in *Table 1285.08-1*:

TABLE 1285.08-1, ILLUMINATION LEVELS		
Lighting Calculation Area Type	Maximum Average Illumination	Maximum Illumination at Any Point
Open parking lots	2.0 fc	5.0 fc
Sidewalks, entrances, pedestrian areas	5.0 fc	12.5 fc
Under service station canopy	15.0 fc	20.0 fc

- (3) **Exemptions.** Because of their unique requirements for providing greater night-time visibility, their need to ensure public safety, and their limited hours of operation, stadiums (which include ball diamonds, playing fields and tennis courts), amphitheaters and similar uses are exempted from the exterior lighting standards as specified above. A lighting plan for these uses shall be established at the time that the request for exterior lighting is made and shall be subject to Planning Commission approval.
- (f) **Lighting Essential to Safety.** Lighting not essential to safety of the public and employees shall be terminated when the site is not occupied. For facilities that are occupied overnight, the lighting shall be reduced to the minimum level necessary.