

Member Packet for
PLANNING COMMISSION
MEETING DATE: Tuesday, April 09, 2019

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Chairwoman Jennifer Swallow
Vice-Chairman Jim Smolik
Member Jim Maleski

CITY OF NORTH RIDGEVILLE

OFFICE OF THE CLERK OF COUNCIL



Member Steve Ali
Council Liaison Bruce F. Abens

PLANNING COMMISSION
7307 Avon Belden Road
North Ridgeville, Ohio 44039
(440) 353-0513

AGENDA

TUESDAY, APRIL 09, 2019, REGULAR MEETING

TO ORDER: 7:00 p.m., Council Chambers

ROLL CALL:

MINUTES: Regular meeting held March 12, 2019

CORRESPONDENCE:

OLD BUSINESS:

NEW BUSINESS:

APPLICANT: Gary Smitek; North Ridge Pointe, LLC
36715 Avalon Ct, Avon, OH 44011

OWNER: Same

REQUEST: Approval of recreation complex within North Ridge Pointe Subdivision Phase No. 4

LOCATION: North of Capri Lane, south of West Shore Parkway; in an R-1 zoning district.
Permanent Parcel No. 07-00-030-000-277

ADJOURNMENT:

NEXT REGULAR MEETING WILL BE HELD MAY 14, 2019

**NORTH RIDGEVILLE PLANNING COMMISSION
MINUTES OF
REGULAR MEETING MARCH 12, 2019**

TO ORDER:

Chairwoman Swallow called the Planning Commission meeting to order with the Pledge of Allegiance at 7:00 p.m.

ROLL CALL:

Present were members Steve Ali, Jim Maleski, Vice-Chairman Jim Smolik, Chairwoman Jennifer Swallow and Council Liaison Bruce Abens.

Also present was Chief Building Official Guy Fursdon, Assistant Law Director Toni Morgan, City Engineer Dan Rodriguez, Alternate Council Liaison Michelle Hung and Assistant Clerk of Council Tara L. Peet.

MINUTES:

Chairwoman Swallow asked if there were any corrections to the minutes of the regular meeting dated February 12, 2019. No discussion was offered. The minutes stand approved.

CORRESPONDENCE: None

OLD BUSINESS: None

NEW BUSINESS:

Chairwoman Swallow noted the calculations for total area, open space and density were received after cloture.

It was moved by Smolik and seconded by Maleski to accept the calculations after cloture.

A voice vote was taken and the motion carried.

Yes – 5 No - 0

Chairperson Swallow asked the Clerk to read the first application.

APPLICANT: Chris Brown; K. Hovnanian Homes, 3296 Columbia Rd, Richfield, OH 44286

OWNER: Same

REQUEST: Final plat approval for Waterbury Subdivision Phase No. 10 within Waterbury PCD.

LOCATION: Southeast corner of Waterbury Boulevard and Shady Drive within Waterbury PCD; Parcel No. 07-00-035-102-178

PC ACTION: Approved by a vote of 5-0 (conditional upon Waterbury Boulevard being extended to the southern boundary limits).

Assistant Clerk of Council Peet read the application along with the comments received from Administrative Officers, including Chief Building Official Guy Fursdon, City Engineer Dan Rodriguez and Assistant Fire Chief Mike Uhnak.

Chairwoman Swallow asked the applicant to provide an explanation of the request.

Chris Brown, K Hovnanian Homes, 3296 Columbia Road Richfield, OH stated he is asking for final plat approval for Waterbury Phase 10 which will be the final phase. He indicated phase 10 will intersect with West Fenwick to Shady Drive. The final phase will have twenty-nine lots. Mr. Brown stated the infrastructure and improvements will be done for Waterbury Boulevard all the way down to Terrell and a physical connection with the older phase.

Mr. Brown cited the overall area was 629.3539 acres. The overall open space is 176.7050. The overall density has 1,552 units at final build out. The average setback is 39.19 feet. He noted that it also included the Pioneer Ridge Subdivision. Mr. Brown noted that plans are under review for the roadway which will happen later this spring.

Chairwoman Swallow asked if the calculations included Pioneer Ridge.

Mr. Brown stated yes.

Chief Building Official Fursdon stated it was part of the Waterbury PCD. He noted that K. Hovnanian started in Phase 6. Another developer developed all the phases before Phase 6.

Council Liaison Abens asked if sidewalks will be included on Waterbury Boulevard.

Mr. Brown stated Waterbury Boulevard will have an eight foot trail on east side in lieu of the sidewalks on both sides.

Mr. Smolik reminded the Commission that the Board of Zoning and Building Appeals approved the eight foot multi-use path.

Chairwoman Swallow asked if there were any comments from the Administration.

Chief Building Official Fursdon asked if the roadway pavement will go as far south as Terrell Drive. He further asked what happens to the rest of the roadway at the end of the property.

Mr. Brown stated that was correct. He further stated whoever purchases that property will finish the pavement.

Chief Building Official Fursdon asked if that area was dedicated.

Mr. Brown stated he was uncertain but further added there was right-of-way there.

Chief Building Official Fursdon stated there have been discussions of extending that roadway south and further asked if there should be a right-of-way there.

Mr. Brown stated he can make the change to the plot and add a one hundred foot right-of-way. He also stated there is an easement there granted to the City as well.

Chief Building Official Fursdon expressed his concerns about who will pay to extend the road in the future.

Mr. Brown stated he would discuss it with Engineer Rodriguez and the Mayor.

Chairwoman Swallow opened the floor to public comment. She asked that anyone that wished to speak sign in and state their name and address for the record.

Allen Friedner, 37188 Shady Drive asked if the City required a thirty-five foot setback why the applicant is permitted to provide a thirty-nine foot setback.

Chief Building Official Fursdon stated the City requires thirty-five feet as the minimum and the applicant is giving more, on average, for front yards at thirty-nine feet.

Mr. Friedner asked if sidewalks will be installed on the south side of Shady Drive.

Engineer Rodriguez stated there will be sidewalks with the homes that front Shady Drive.

Mr. Friedner asked if any new homes constructed will have restrictions about being able to complain about lights and noise from the ball park.

Chairwoman Swallow stated the ballpark will need to follow code in regard to noise ordinances.

Mr. Friedner asked who will be repaving Shady Drive as the construction trucks have ruined the roadway.

Engineer Rodriguez stated the City has video and they will be assessing road conditions.

Mr. Friedner stated some of the construction trucks have damaged lawns and asked if the contractor will be required to repair the lawns.

Chairwoman Swallow stated the individual property owners are responsible for contacting the contractor to get the lawns repaired.

Mr. Friedner asked if K. Hovnanian pulled a permit to burn as he noticed a large fire on Friday at 7:00 a.m. in Phase 9.

Assistant Law Director Morgan stated if there is a complaint regarding burning, Mr. Friedner should contact the Fire Department.

Mr. Brown responded to Mr. Friedner's questions. He stated that sidewalks will be installed on Shady Drive from the new street all the way down to the eight foot multi-purpose trail. He asked Mr. Friedner to meet him after the meeting in regard to lawn damage and further stated it will be repaired in the spring. Mr. Brown stated in regard to burning, if Mr. Friedner sees burning he should contact the City.

Mr. Smolik stated he felt that more conversation needed to be had regarding Waterbury Boulevard being set up to be a major arterial road. He felt it should be discussed how the extension of the property line will happen.

Chairwoman Swallow and Mr. Maleski agreed that the developer needs to make sure the extension happens or an agreement is made with the property to the back.

Engineer Rodriguez stated as long as the right-of-way is recorded or provided it should not be an issue. He further noted that if the Sharpman property is ever sold, it would be the owner's responsibility to develop, pave and tie into the street.

Council Liaison Abens stated Mrs. Sharpman has no intention of selling her property anytime soon.

It was moved by Smolik and seconded by Maleski to approve the final plat of Waterbury Phase 10 conditional upon Waterbury Boulevard being extended to the southern boundary limits.

A voice vote was taken and the motion carried.

Yes – 5 No – 0

ADJOURNMENT:

Chairwoman Swallow announced the next regular meeting scheduled for April 9, 2019.

The meeting was adjourned at 7:23 p.m.

Jennifer Swallow
Chairwoman

Michelle A. Owens
Deputy Clerk of Council

Date Approved
April 9, 2019

Engineering Fee Paid: \$ 750.00

rec# 486972

CR# 1356

Planning Commission & Bldg. Admin. Fees: \$ 107.00 + 18.00

Receipt No. 271140

See attached for description of fees

CR# 1355



CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
REQUEST FOR ACTION



RECEIVED

Received: MAR 15 2019 Date released to Planning Commission: April 2, 2019
Date of Planning Commission meeting: April 9, 2019 (unless otherwise notified)

APPLICANT INFORMATION AND REQUEST

APPLICANT: GARY SMITEK PROPERTY OWNER: SAME AS LEFT
COMPANY NAME: NORTH RIDGE POINT LLC ADDRESS: _____
ADDRESS: 36715 AVALON CT CITY/STATE: _____ ZIP: _____
CITY/STATE: Avon ZIP: 44011 PHONE NO: _____
PHONE NO.: 216-849-7651 SIGNATURE: [Signature]
SIGNATURE: _____ (Owner's original signature must be submitted with application)

Applicant: please provide an email address, fax number or mailing address to send Administrative comments in advance of the Planning meeting:

GSmitek@ROADRUNNER.COM

0700-030-000-277

LOCATION OF PROPERTY/ADDRESS: NORTH RIDGE POINT SUB. / PLOT 4 / APRIL 4, 2019
PERMANENT PARCEL NO: 07-00-030-000 ZONING OF PROPERTY: _____
ZONING OF ADJACENT PROPERTY TO: NORTH R1 EAST R1 SOUTH R1 WEST R1
DESCRIPTION OF REQUEST: APPROVAL OF RECREATION COMPLEX FOR
NORTH RIDGE POINT SUBDIVISION

Have the Planning Commission or Board of Zoning and Building Appeals considered any prior request concerning this property? Yes ☒ No ☐ If yes, list dates and nature of each: None

On the attached form, list the current record title owners(s) adjacent to the property of request. Include on this list the record title owner(s) name, permanent parcel number and mailing address. Adjacent properties shall include those properties bordering to the north, south, east, west, across a street from the property involved and those properties meeting corners of the property involved.

In the event of property transfers, the applicant shall be responsible for providing an updated list of current adjacent record title owner(s) to the office of the Clerk of Council twenty-five days prior to the date of any public hearing when the applicant will appear on the agenda.

PLANNING COMMISSION USE ONLY:

☐ APPROVED

☐ DISAPPROVED

All approvals are conditional until applicant fully meets the requirements of applicable City ordinances enforced by the Chief Building Official, City Engineer, Fire Department and Police Department with respect to safety and design.

☐ Board of Building & Zoning Appeals approval required

☐ Conditions as set forth by the Commission on this date are _____

Date: _____ Signature: _____
(Presiding officer at meeting)

Return completed form to Building Dept., 7307 Avon Belden Road, North Ridgeville, Ohio, after Commission action.

TO BE FILLED OUT BY APPLICANT

I, GARY SMITH
(Print Name)

Gary Smith
(Signature)

verify that the following are the names, mailing addresses and permanent parcel numbers of the current record title owners adjacent to the property of request for:

Applicant: NORTH RIDGE POINT LLC

Owner: Same

Project address: CAPRI LANE

Permanent parcel no. 07-00-030-000-277

THE FOLLOWING INFORMATION MAY BE OBTAINED AT THE LORAIN COUNTY AUDITOR'S OFFICE,
ADMINISTRATION BUILDING, 226 MIDDLE AVENUE, ELYRIA, OHIO.
PHONE: 440-329-5207 WEBSITE: WWW.LORAINCOUNTY.COM/AUDITOR

	ADJACENT PROPERTY OWNER/ADDRESS	PARCEL NUMBER
✓1	RONALD AND HALLIE KRUEGER 36504 CAPRI LANE NORTH RIDGEVILLE, OH 44039	07-000-30-000-257
✓2	DARRYL & RACHEL KIRCHNER 36505 CAPRI LANE NORTH RIDGEVILLE, OH 44039	07-000-30-000-256
✓3	NORTH RIDGE POINT LTD 3320 STONEY RIDGE RD. AVON, OH. 44011	07-00-029-000-001 07-00-032-000-646 07-00-031-000-120
✓4	ROBERT WENSINK ETAL 4704 WOOD RD. MONROEVILLE, OH. 44847	07-00-031-000-621
✓5	LYNN NAGEL & ALAN JUPINA 2282 NAGEL RD. AVON, OHIO 44011	07-00-030-000-008
✓6	TIMOTHY & CHRISTINA KOSINAK 36248 WEST SHORE PARKWAY N.R. OH. 44039	07-00-030-000-272
✓7	DREES COMPANY 6860 SNOWVILLE RD. BRECKSVILLE, OH. 44141	07-00-030-000-271
✓8	DREES COMPANY 6860 SNOWVILLE RD. BRECKSVILLE, OH. 44141	07-00-030-000-270
✓9	THOMAS & MARIE BROWNING 36250 CAPRI LN. N.R. OH. 44039	07-00-030-000-269
✓10	STEVEN & SUSAN BOYCE 36286 CAPRI LN. N.R. OH. 44039	07-00-030-000-268

SEE REVERSE SIDE FOR ADDITIONAL LISTINGS.

OFFICE USE ONLY

CBO verification by:

BZA/PC verification by:

Date/time stamp:

	<u>ADJACENT PROPERTY OWNER/ADDRESS</u>	<u>PARCEL NUMBER</u>
11	SMITEK CONSTRUCTION GROUP 3320 STONEY RIDGE RD. AVON, OH. 44011	07-00-030-000-267
12	CARLETON & CLARA LEIGHTY 36360 CAPRI LN N.R. OH. 44039	07-00-030-000-266
13	JEFFREY SCHILLO & SUSAN FRANK 36376 CAPRI LN. N.R. OH. 44039	07-00-030-000-265
14	JASON HINKLE 36392 CAPRI LN. N.R. OH. 44039	07-00-030-000-264
15	RANDOLPH & SHELLEY TILLMAN 36408 CAPRI LN. N.R. OH. 44039	07-00-030-000-263
16	JEFFREY & BETH HASKINS 36424 CAPRI LN. N.R. OH. 44039	07-00-030-000-262
17	WAYNE & SAMANTHA BALKO 36440 CAPRI LN. N.R. OH. 44039	07-00-030-000-261
18	FRANCIS & PATRICIA DAVIS 36456 CAPRI LN. N.R. OH. 44039	07-00-030-000-260
19	GENE & RHONDA YEE 36472 CAPRI LN N.R. OH. 44039	07-00-030-000-259
20	DREGS COMPANY 6860 SNOWVILLE RD. BROOKSVILLE OH. 44141	07-00-030-000-258
21	THOMAS & DEARNA SCRIPTURE 36249 CAPRI LN N.R. OH. 44039	07-00-030-000-240
22	JAMES & REBECCA MIEDEN 36265 CAPRI LN N.R. OH. 44039	07-00-030-000-241
23	ANTHONY & EMILY CAPARSO 36345 CAPRI LN N.R. OH. 44039	07-00-030-000-246
24	MARK & LAUREN DREIFKE 36361 CAPRI LN N.R. OH. 44039	07-00-030-000-247
25		
26		

PLEASE COPY THIS PAGE FOR ADDITIONAL LISTINGS OF ADJACENT PROPERTY OWNERS.

**CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
RECOMMENDATIONS**

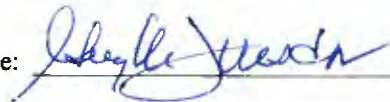
Name of Applicant:	Gary Smitek – North Ridge Point LLC
Name of Owner:	Same
Date Submitted for Consideration:	3-15-19
Date to Return to Planning Commission:	3-20-19
Regarding: North Ridge Pointe Community Swimming Pool	

RECOMMENDATIONS:

1. 1294.01 (e) (3) 4'-0" high fence required around in ground swimming pools with lockable gate.
2. Tennis court fence will require a variance if it exceeds 6'-0" in height.
3. All else appears code compliant.

(use additional sheets if necessary)

Department Head Signature & Title: _____



Form prepared by the Office of the Clerk of Council 6-30-99. Amended 12-13-2005.

Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Commission Secretary not later than five (5) business days prior to the Commission meeting at which action is scheduled to be taken on the matter. (Planning Commission By-

Laws, Article V, Section 3)

Comments received after the deadline will be distributed to the Members the night of the meeting.

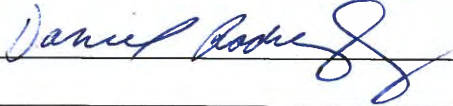
**CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
RECOMMENDATIONS**

Name of Applicant:	Gary Smitek; North Ridge Pointe, LLC 36715 Avalon Ct, Avon, OH 44011
Name of Owner:	Same
Date of Planning Commission Meeting:	Tuesday, April 9, 2019
Date to Return to Deputy Clerk of Council:	Thursday, March 28, 2019
Regarding:	Approval of recreation complex within North Ridge Pointe Subdivision Phase No. 4, located north of Capri Lane and south of West Shore Parkway, in an R-1 zoning district. Permanent Parcel No. 07-00-030-000-277

Recommendations:

1. The plans do not indicate or show stormwater controls. Site specific stormwater controls shall be incorporated into the construction of this complex. (i.e. silt fence, inlet protection, construction entrance)
2. Water, Sanitary, and storm sewer permits shall be obtained from the appropriate City departments.
3. The developer/owner shall install a water meter vault at the right of way line for the water meter per City standards as access to the pool house will not be available at all times for meter reading.
4. Contact must be made with James Brewer, Chief Resident Project Representative, to discuss water backflow requirements.
5. Per N.R.C.O. 1284.03(j)(6), all parking lots are to be a bituminous or other dust free surface. The plans do not indicate a pavement typical section.

(use additional sheets if necessary)

Department Head Signature:  **Title:** City Engineer

Form prepared by the Office of the Clerk of Council 6-30-99. Amended 01-25-2019.

Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Commission Secretary not later than five (5) business days prior to the Commission meeting at which action is scheduled to be taken on the matter.
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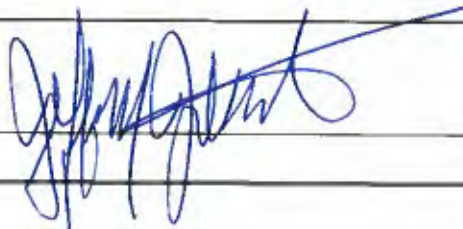
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Recommendations:

(use additional sheets if necessary)

Department Head Signature: _____



Title: _____

3/25/19

Form prepared by the Office of the Clerk of Council 6-30-99. Amended 01-25-2019.

Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Commission Secretary not later than five (5) business days prior to the Commission meeting at which action is scheduled to be taken on the matter.
(Planning Commission By-Laws, Article V, Section 3)

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**CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
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Recommendations:

No comments at this time.

(use additional sheets if necessary)

Department Head Signature:

Cliff Jones C. Moore

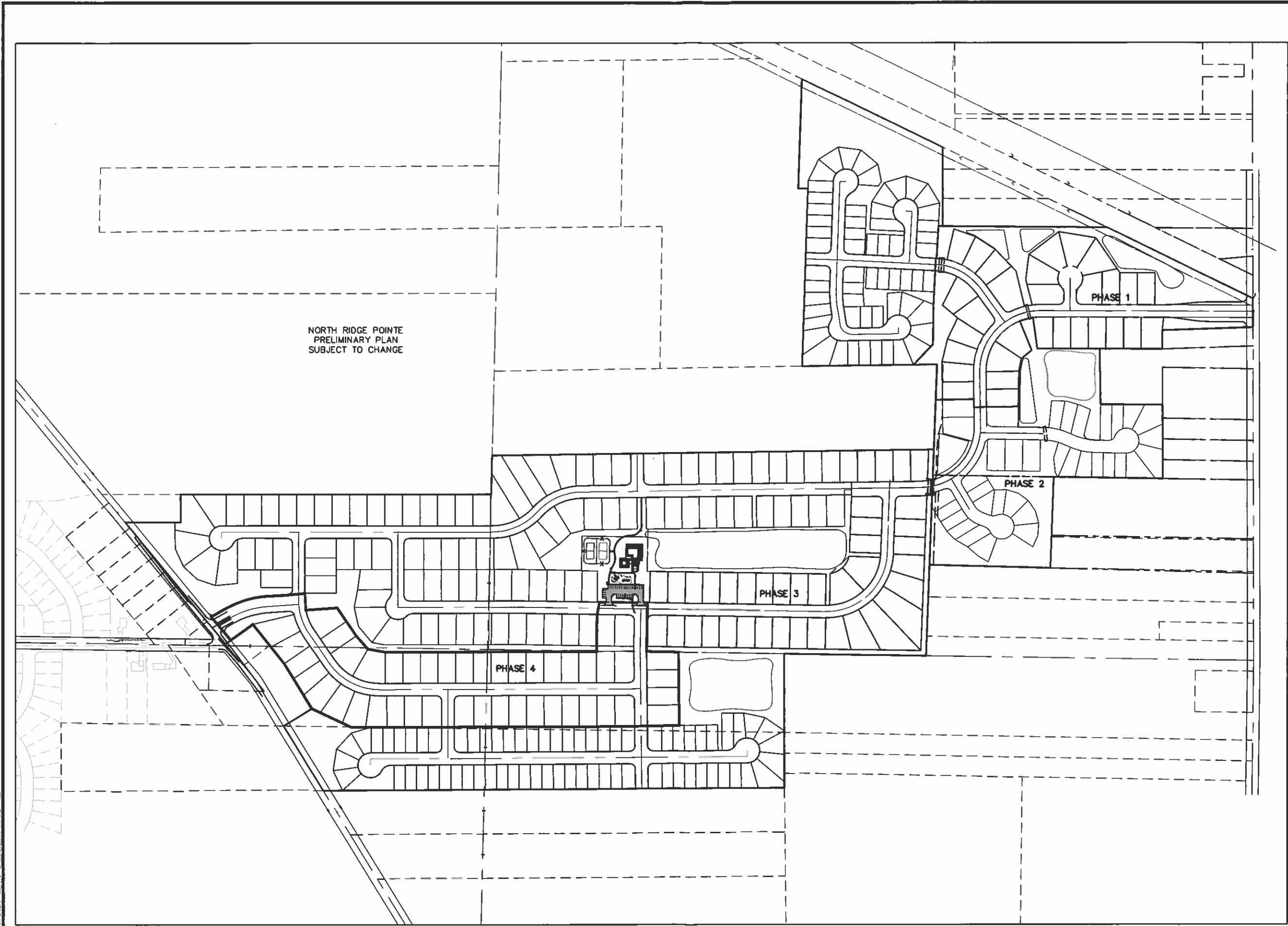
Title:

File Clerk

Form prepared by the Office of the Clerk of Council 6-30-99. Amended 01-25-2019.

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(Planning Commission By-Laws, Article V, Section 3)

Comments received after the deadline will be distributed to the Members the night of the meeting.



NORTH RIDGE POINTE
PRELIMINARY PLAN
SUBJECT TO CHANGE



811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OR ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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ATWELL
866.850.4200 www.atwell-group.com
7100 E. PLEASANT VALLEY ROAD, SUITE 220
INDIANAPOLIS, IN 46241-1000

CITY OF NORTH RIDGEVILLE
LORAIN COUNTY, OHIO

CLIENT
NORTH RIDGE POINTE, LTD.
NORTH RIDGE POINTE
PRELIMINARY PLAN
SUBJECT TO CHANGE

DATE
MARCH 20, 2019

REVISIONS	

SCALE 0 100 200
1" = 200 FEET

DR. DH. CK. DH.
P.M. D.HAYWOOD
BOOK N/A
JOB 17003266
SHEET NO.

CAD FILE: PHASE 4.DWG

APPLICANT/OWNER
NORTH RIDGE POINT, LTD.
36715 AVALON COURT
AVON, OHIO 44011
(216) 849-7651 PHONE
CONTACT: GARY SMITEK

ENGINEER/SURVEYOR/ECOLOGICAL

ATWELL, LLC
7100 E. PLEASANT VALLEY ROAD
INDEPENDENCE, OHIO 44131
(440) 349-2000 PHONE
(440) 349-2028 FAX
CONTACT: DALE HAYWOOD
EMAIL: DHAYWOOD@ATWELL-GROUP.COM

UTILITIES OWNER

CITY OF NORTH RIDGEVILLE
7307 AVON BELDEN ROAD
NORTH RIDGEVILLE, OHIO 44039
PHONE: (440) 353-0819

OHIO EDISON
MIKE ZANNI
6326 LAKE AVENUE
ELYRIA, OHIO 44035
PHONE: (440) 326-3271
zannim@firstenergycorp.com

WINDSTREAM ENGINEERING
GEOFF HAMM
560 TERNES AVENUE
ELYRIA, OHIO 44035
PHONE: (440) 329-4247
geoffrey.p.hamm@windstream.com

SPECTRUM
RON GIBSON
576 TERNES AVENUE
ELYRIA, OHIO 44035
PHONE: (440) 366-0416 EXT 625

COLUMBIA GAS
DAN SUREN
7080 FRY ROAD
MIDDLEBURG HEIGHTS, OHIO 44130
PHONE: (440) 891-2428
dsuren@isource.com

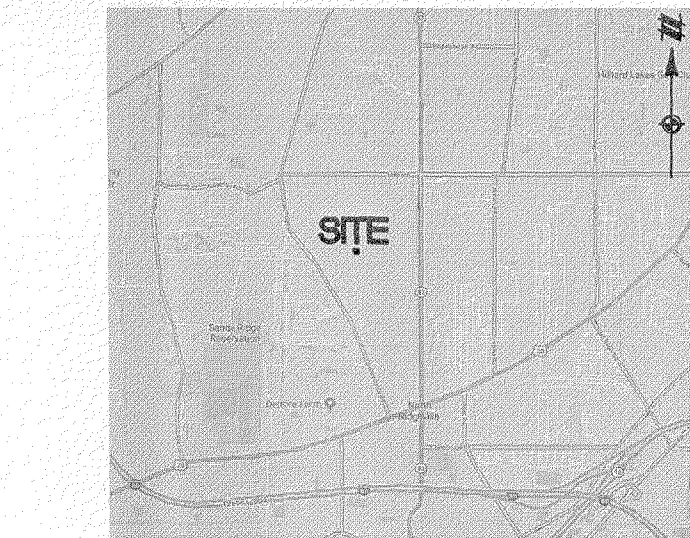
ZONING INFORMATION

CURRENT ZONE: R1 - RESIDENCE DISTRICT

CONDITIONAL USE: PRIVATE CLUBS AND GROUNDS FOR GAMES AND SPORTS, PROVIDED THAT NO MECHANICAL AMUSEMENT IS PERMITTED WHICH IS NORMALLY INCIDENTAL TO A COMMERCIAL USE. SWIMMING POOLS AND FISHING LAKES ARE ALSO CONDITIONAL USES. 1250.02(B)(5)

SUBMITTED BY:

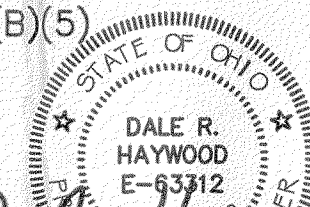
SUBMITTED BY: DALE HAYWOOD, PE
DATE: 03/13/19



VICINITY MAP
NO SCALE

SHEET INDEX

SHEET NO.	DESCRIPTION
1.0	SITE PLAN
2.0	DETAILS
2.1	DETAILS
2.2	DETAILS
L100	PLANTING PLAN
L101	PLANTING DETAILS
L110	POOL PLAN
L111	POOL GRADING PLAN
L112	PLAYGROUND-MAILBOX PLAN
L120	AMENITY DETAILS
L121	AMENITY DETAILS
L122	AMENITY DETAILS
L123	AMENITY DETAILS
LT100	LIGHTING PLAN
LT101	LIGHTING DETAILS



DALE HAYWOOD, PE
REG. ENGINEER NO. 63312

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY EXISTING GRADES AND ELEVATIONS PRIOR TO FOOTER EXCAVATION.
- BUILDER IS RESPONSIBLE FOR STORM WATER POLLUTION PREVENTION BEST MAINTENANCE PRACTICES. ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN ACCORDANCE WITH CITY OF AURORA AND THE OHIO RAINWATER AND LAND DEVELOPMENT MANUAL. THESE CONTROLS SHALL BE INSTALLED PRIOR TO EARTH DISTURBING ACTIVITIES AND MAINTAINED THROUGHOUT CONSTRUCTION. (SEE ATTACHED)
- FINE GRADE, SEED AND MULCH ALL DISTURBED AREAS AS SOON AS PRACTICAL. BUILDER AND OWNER HAVE RESPONSIBILITY FOR FINAL GRADING AND DRAINAGE.
- ALL DRAINAGE SWALES TO BE CONSTRUCTED AT A MINIMUM OF 1.0% GRADE. THE GRADE AWAY FROM THE FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF THE SANITARY SEWER CONNECTION PRIOR TO EXCAVATION AND REPORT ANY DISCREPANCY TO THE ENGINEER.
- SANITARY SEWER CONNECTIONS SHALL BE 6 INCH MINIMUM PVC SDR 35 ASTM 3034 WITH GASKETS AT 1.0% MINIMUM.
- WATER SERVICE CONNECTION SHALL BE A MINIMUM 1 INCH TYPE "K" COPPER LINE. CONTRACTOR TO VERIFY SIZE.
- PARKING LOT STRIPING SHALL BE IN ACCORDANCE WITH ODOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
- ACCESSIBLE PARKING, SIGNAGE, WARNING STRIPES AND STRIPING SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN.
- SITE LIGHTING SHALL BE DEFLECTED AS NOT TO BE DIRECTED INTO THE SKY OR ONTO ADJACENT PROPERTY.
- TRAFFIC SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT. ALL BARRICADES AND SIGNS SHALL BE FURNISHED AND USED BY THE CONTRACTOR IN ACCORDANCE WITH LOCAL/CURRENT SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGN, ETC. TO WARN AND KEEP PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
- ALL DOWNSPOUTS TO BE SPLASH BLOCK PER CITY ORDINANCE No. 3659-2001.

OHIO EPA:

NPDES PERMIT APPROVAL DATE: 04/12/18
PERMIT NUMBER: 3GC10066*AG

LEGEND

MEASURED BOUNDARY	CURB	DRAINAGE ARROW
BOUNDARY TIE	SIGN	PROP. CURB
ADJACENT BOUNDARY	WATER METER	PROP. CURB RAMP W/ DETECTABLE WARNINGS
EASEMENT	EXIST. 1' CONTOUR	PROP. LIGHT POLE / WALL PACK LIGHT
FENCE	EXIST. 5' CONTOUR	SEE PHOTOMETRIC PLAN (BY OTHERS) FOR DETAILS.
STORM SEWER	PROP. SANITARY SEWER	PROP. SIGN
MANHOLE	PROP. SANITARY CLEANOUT	PROP. TRAFFIC FLOW ARROW
CATCH BASIN/INLET	PROP. STORM SEWER	PROP. PARKING COUNT
SANITARY SEWER	PROP. CATCH BASIN/INLET	PROP. HANDICAPPED PARKING SPACE
CLEANOUT	PROP. STOP SIGN	PROP. STOP BAR - 24" WD. SOLID WHITE STRIPE
WATER MAIN	PROP. STOP BAR	STANDARD DUTY ASPHALT PAVEMENT
HYDRANT	PARKING COUNT	CONCRETE SIDEWALK
SHUTOFF OR CURB BOX	PROP. FENCE	
GATE VALVE IN BOX	EXIST. SPOT ELEVATION	
OVERHEAD ELECTRIC	PROP. SPOT ELEVATION	
UNDERGROUND ELECTRIC	TOP OF CURB	
GUY WIRE	BOTTOM OF CURB	
U.P.	MATCH EXISTING	

SITE GRADING NOTES

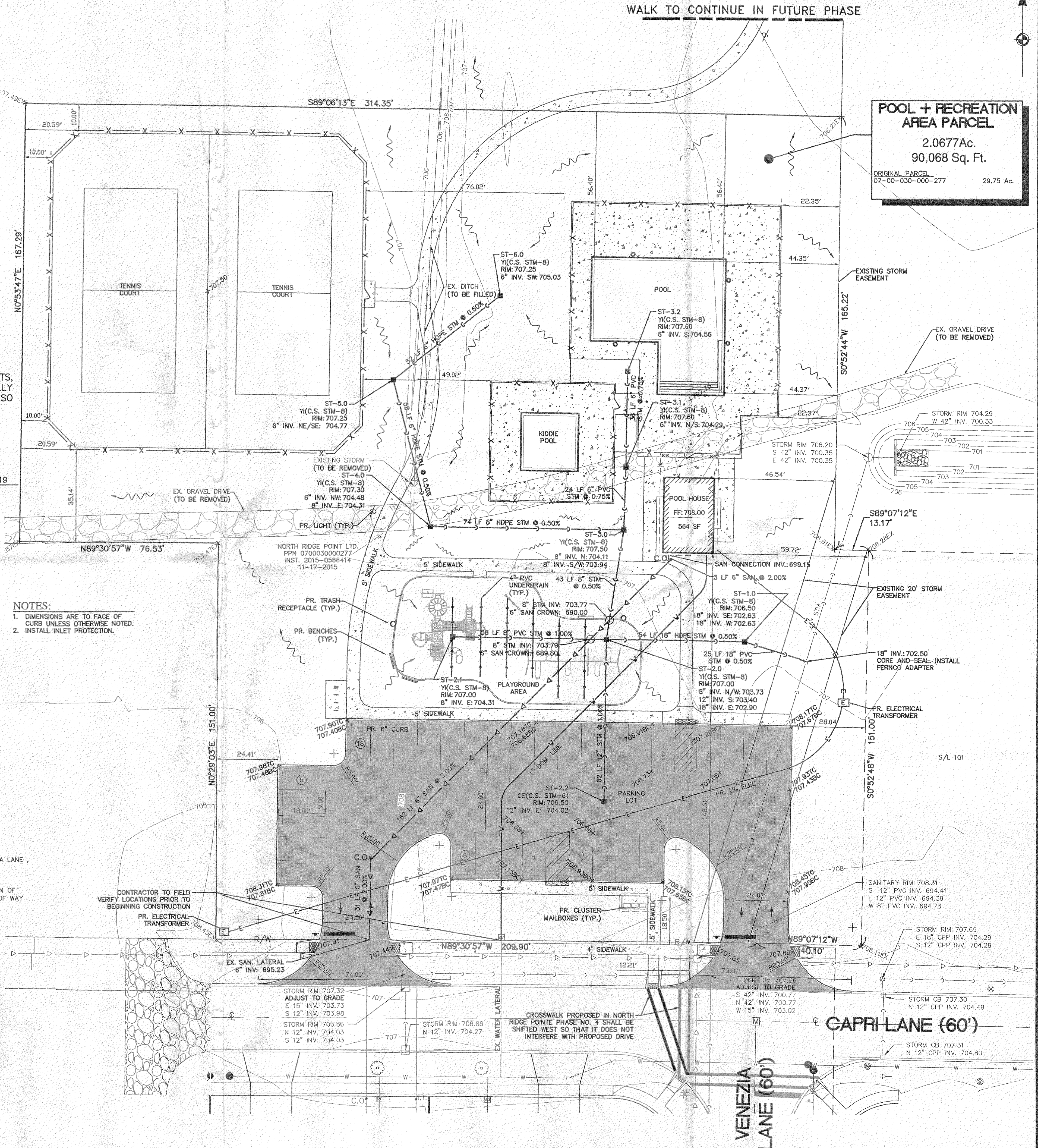
- EXISTING GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE APPROVED DESIGN. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- PERMANENT BENCHMARKS SHALL BE ESTABLISHED ON-SITE PRIOR TO CLEARING AND DEMOLITION.
- DURING THE CONSTRUCTION PROCESS, PAVEMENT SHALL BE MAINTAINED FREE OF DIRT, SILT, AND CONSTRUCTION DEBRIS. PROPER DUST CONTROL SHALL BE MAINTAINED DURING CONSTRUCTION BY USE OF WATER TRUCKS AND/OR CHLORIDE AS REQUIRED.
- CONSTRUCTION STAGING ACTIVITIES SHALL OCCUR WITHIN THE SITE BOUNDARIES.
- CONTRACTOR IS RESPONSIBLE FOR UNDERCUTTING EXISTING POOR SOIL AND REPLACING WITH APPROVED FILL.
- SPOT ELEVATIONS ARE SHOWN TO TOP OF PAVEMENT, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL SEED AND MAINTAIN DISTURBED AREAS IN ACCORDANCE WITH CITY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL WALKS TO MEET ADA CURRENT REQUIREMENTS AND ALL CROSS SLOPES TO BE A MAXIMUM OF 2%.
- ALL EXCESS SOIL AND MATERIAL (SUITABLE OR UNSUITABLE) TO BE CONTRACTORS PROPERTY AND RESPONSIBILITY ALSO TO BE REMOVED OFF-SITE OF PROJECT PROPERTY.

BASIS OF BEARING:

STATE PLANE COORDINATE SYSTEM NAD 83 ZONE OHIO NORTH

BENCHMARK:

- (1) EXISTING STORM MANHOLE NORTHEAST OF THE INTERSECTION OF CAPRI LANE AND VENEZIA LANE, APPROXIMATELY 12' +/- SOUTH OF THE NORTHERN RIGHT OF WAY OF CAPRI LANE. ELEVATION = 707.89
- (2) EXISTING SANITARY MANHOLE APPROXIMATELY 212' +/- NORTHEAST OF THE INTERSECTION OF CAPRI LANE AND VENEZIA LANE, APPROXIMATELY 8' +/- SOUTH OF THE NORTHERN RIGHT OF WAY OF CAPRI LANE. ELEVATION = 708.00



POOL + RECREATION AREA PARCEL

2.0677Ac.
90,068 Sq. Ft.
ORIGINAL PARCEL
07-00-030-000-277 29.75 Ac.



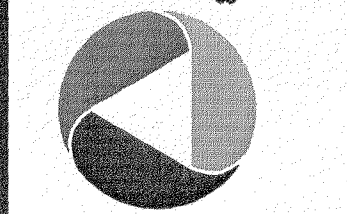
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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ATWELL
866.850.4200 www.atwell-group.com
7100 E. PLEASANT VALLEY ROAD, SUITE 220
AVON, OHIO 44011



CAPRI LANE
CITY OF NORTH RIDGEVILLE
LORAIN COUNTY, OHIO

NORTH RIDGE POINT, LTD.
NORTH RIDGE POINTE RECREATION AREA
SITE PLAN

CLIENT

DATE
MARCH 13, 2019
QTY SUBMITTAL NO. 1

REVISIONS

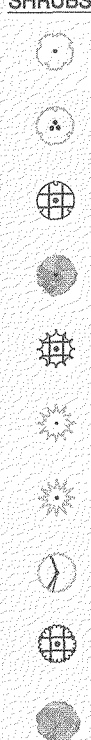
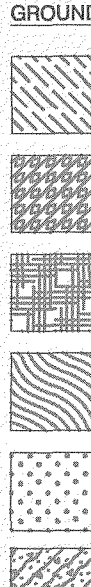
SCALE 0 10 20
1" = 20 FEET

DR. MC GH. TR
P.M. D.HAYWOOD
BOOK N/A
JOB 18001839
SHEET NO. 10

LANDSCAPING REQ'D

TREES
REQUIRED: 1 TREE PER 50' OF BUILDING PERIMETER
138 LF PERIMETER
138 LF / 50' = 2.76 = 3 TREES REQUIRED
13+ TREES PROPOSED

PLANT SCHEDULE

	TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS		
		ABI CON	Abies concolor	White Fir	6" Ht.		15		Full to Ground		
		ACE SUG	Acer saccharum	Sugar Maple	3" Cal.	B&B or Cont.	6		Matched - Limbed up 80" AFF		
		AME AU2	Amelanchier canadensis `Autumn Brilliance`	Autumn Brilliance Serviceberry	2" Cal.	B&B or Cont.	5				
		CER FOR	Cercis canadensis `Forest Pansy` TM	Forest Pansy Redbud	2" Cal.	B&B or Cont.	8				
		MAG BR3	Magnolia grandiflora `Brackens Brown Beauty`	Bracken`s Southern Magnolia	6" Ht.	B&B or Cont.	4		Full to ground		
		NYS BLA	Nyssa sylvatica `Black Tupelo`	Sour Gum	2" Cal.	B&B	6		Straight trunk, even crown		
		PIC DEN	Picea glauca `Densata`	Black Hills Spruce	6" Ht.	B&B or Cont.	18		Full to ground		
		PIN STR	Pinus strobus	White Pine	6" Ht.	B&B or Cont.	9		Full to Ground		
	TIL GRE	Tilia cordata `Greenspire`	Greenspire Littleleaf Linden	2" Cal.	B&B or Cont.	3		Straight trunk, even crown			
	SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS		
		CEP PRO	Cephalotaxus harringtonia prostrata	Prostrate Plum Yew	3 gal.	Pot	63		Full pot at least five leaders hanging over pot		
		HYD LIM	Hydrangea paniculata `Limelight` TM	Limelight Hydrangea	7 gal.	Pot	12		Full Pots Specimens		
		ILE SHA	Ilex glabra `Shamrock`	Inkberry	24" Ht.	Pot	66		Full even form		
		ILE PRI	Ilex x meserveae `Blue Prince` TM	Blue Prince Holly	24"HT.	Pot	36		Matched - trim stray tips to match		
		JUN COM	Juniperus horizontalis `Plumosa Compacta`	Compact Andorra Juniper	3 gal.	Pot	44		Full Pots 3 leaders min.		
		MIS MOR	Miscanthus sinensis `Morning Light`	Eulalia Grass	5 gal.	Pot	21				
		SCH LIT	Schizachyrium scoparium	Little Bluestem Grass	1 gal.	Pot	26		Full pot		
		SPI GO6	Spiraea japonica `Goldflame`	Spiraea	3 gal.	Pot or Cont.	29				
		TAX DEN	Taxus x media `Densiformis`	Dense Yew	24"HT.	Pot or Cont.	28		Full even form		
		THU EME	Thuja occidentalis `Emerald`	Emerald Arborvitae	5' Ht.	Pot or B&B	9		Full to ground		
		GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY	DETAIL	REMARKS
			EVO C22	Euonymus fortunei `Coloratus`	Coloratus Purple Wintercreeper	4"	Pot	18" o.c.	169		Full pot
		HYP CAL	Hypericum calycinum	Creeping St. John`s Wort	1 gal.		24" o.c.	270		FULL	
		JUN SQU	Juniperus squamata `Blue Carpet`	Blue Carpet Juniper	1 gal.		36" o.c.	92			
		PAC PRO	Pachysandra procumbens	Allegheny Spurge	4"	Pot	18" o.c.	72		Full pots - runners over edges	
		POA PRA	Poa pratensis	Kentucky Bluegrass	sod			38,284 sf			
		SEA FL2	Seasonal Color Flowers	Flowers	4"	Pot	6" o.c.	311			

PET WASTE STATION

AME AU2 (3)
2" Cal.

PIC DEN (6)
6' Ht.

TIL GRE (3)
2" Cal.

PIN STR (5)
6' Ht.

ACE SUG (1)
3" Cal.

ABI CON (6)
6' Ht.

MAG BR3 (4)
6' Ht.

TAX DEN (11)
24" Ht.

NYS BLA (2)
2" Cal.

EUO C22 (44)
4"

POA PRA (432 sf)
sod

POA PRA (404 sf)
sod

PAC PRO (25)
4"

POA PRA (690 sf)
sod

EUO C22 (69)
4"

MIS MOR (5)
5 gal.

AME AU2 (2)
2" Cal.

EUO C22 (15)
4"

POA PRA (1,086 sf)
sod

JUN COM (4)
3 gal.

POA PRA (1,086 sf)
sod

EUO C22 (15)
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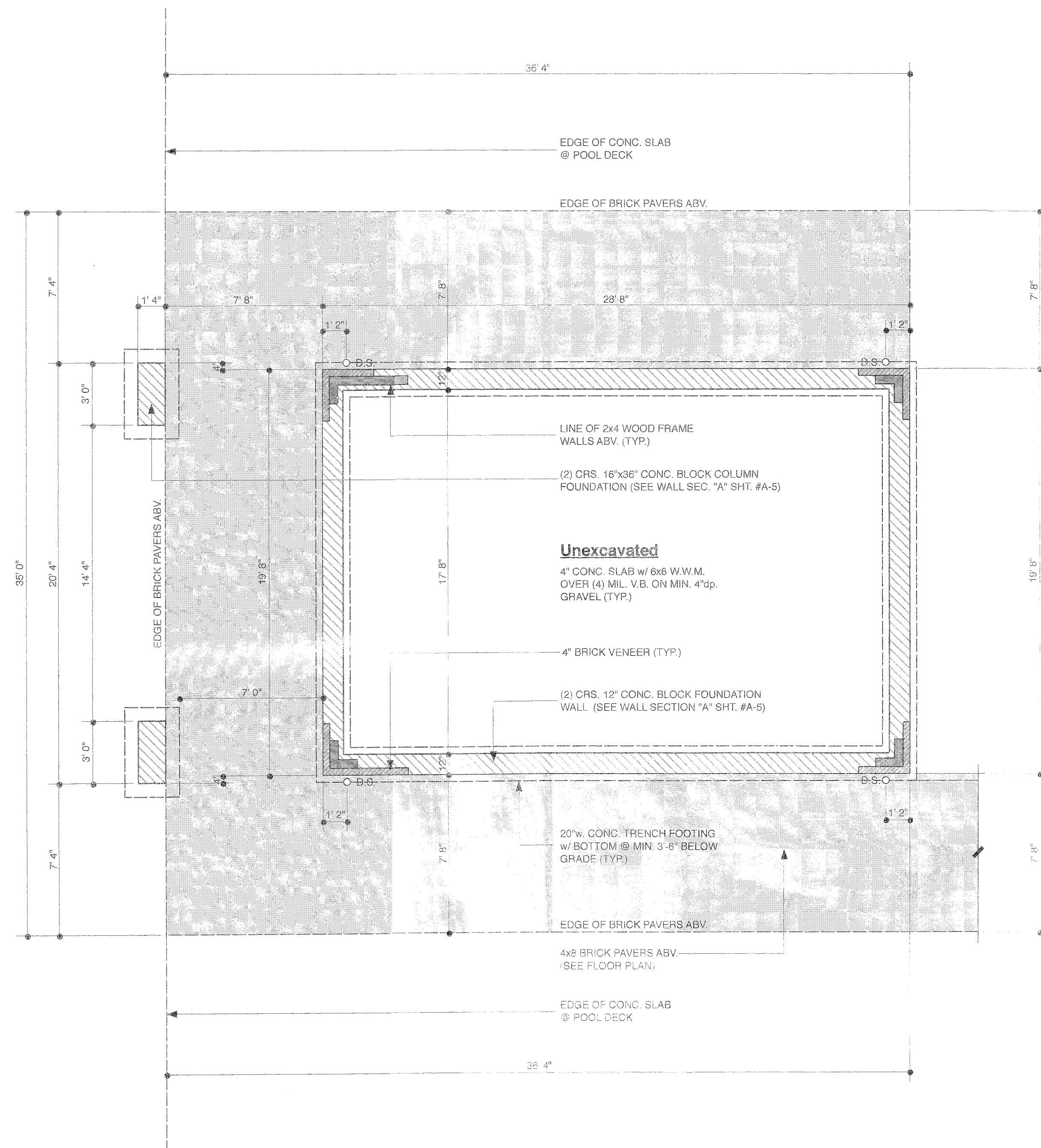
POA PRA (690 sf)
sod

EUO C22 (69)
4"

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5 gal.

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EUO C22 (15)
4"



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

1
A-2

NOTE: FINISH FLOOR OF RESTROOMS,
POOL EQUIP. ROOM, CONC. POOL DECK
AND BRICK WALKWAY @ SAME ELEVATION

4" CONC. SLAB POOL DECK
(TYP.)

12" DIA. ROUND LOAD BEARING PLAIN
COMPOSITE "Tuscan" COLUMNS FROM
"Mellon Classics" (TYP. OF 4)

VENDING MACHINES (SIZE, TYPE &
LOCATION BY OWNER)

S.S. OUTDOOR DRINKING FOUNTAIN
(SELECTION BY OWNER & PLUMBING
CONTRACTOR)

CENTER PARTITION WALL TO BE
2x6 WOOD STUDS @ 16" O.C. w/ 5/8"
GYP. BOARD EX. SIDE (TYP.)

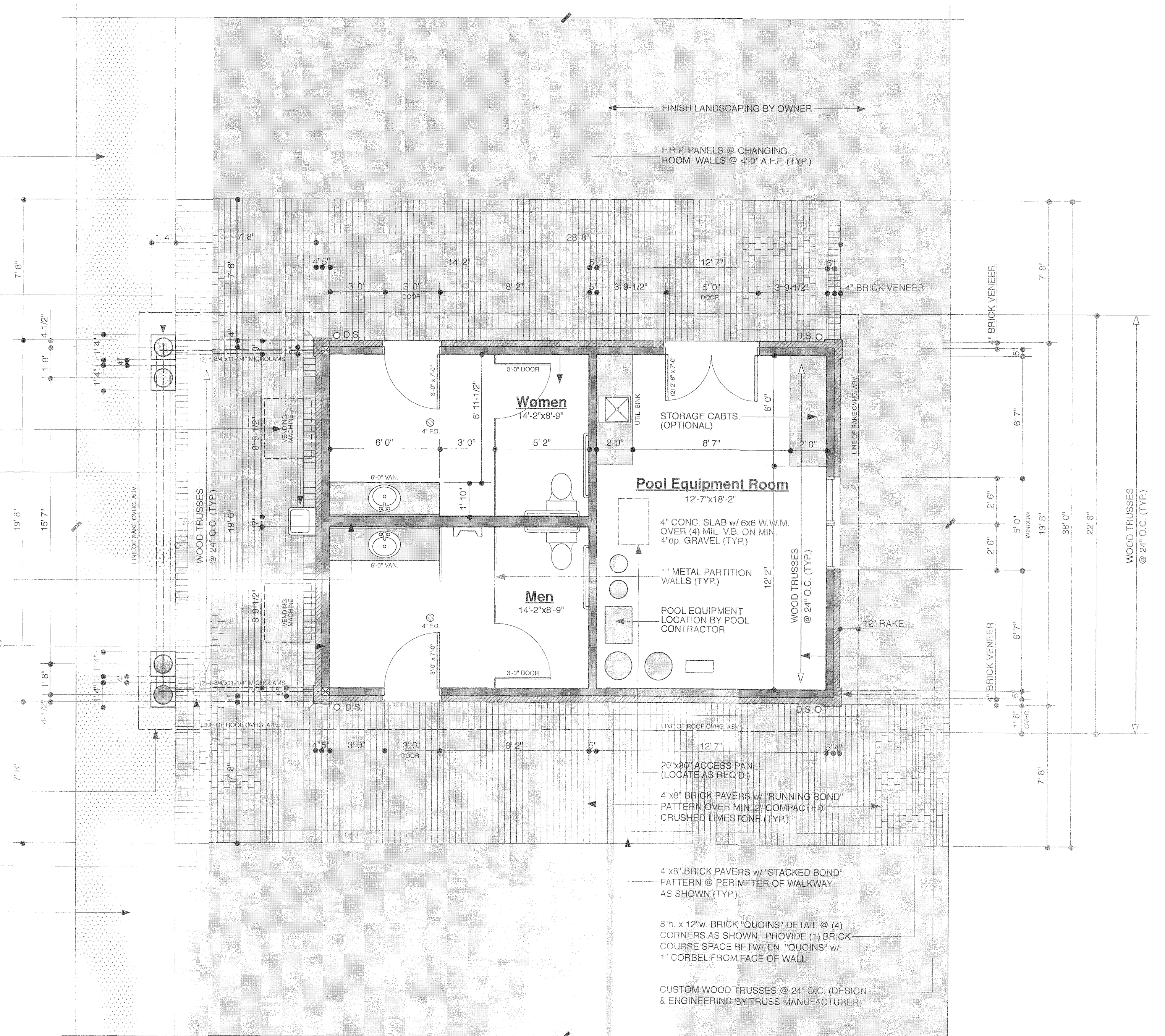
EXTERIOR WALLS:
4" BRICK VENEER w/ 2x4 WOOD STUDS @ 16" O.C.
BEARING WALL w/ 5/8" EXT. O.S.B. SHEATHING
& 5/8" GYP. BD. @ INTERIOR (TYP.)

18" ROOF OVERHANG @
(2) EAVES (TYP.)

BOTTOM OF (2) 1-3/4" x 1-1/4" x 4" MICROLAMS
9" w. x 12" dp. BOX HEADER ABV. @ 7'-0" h.

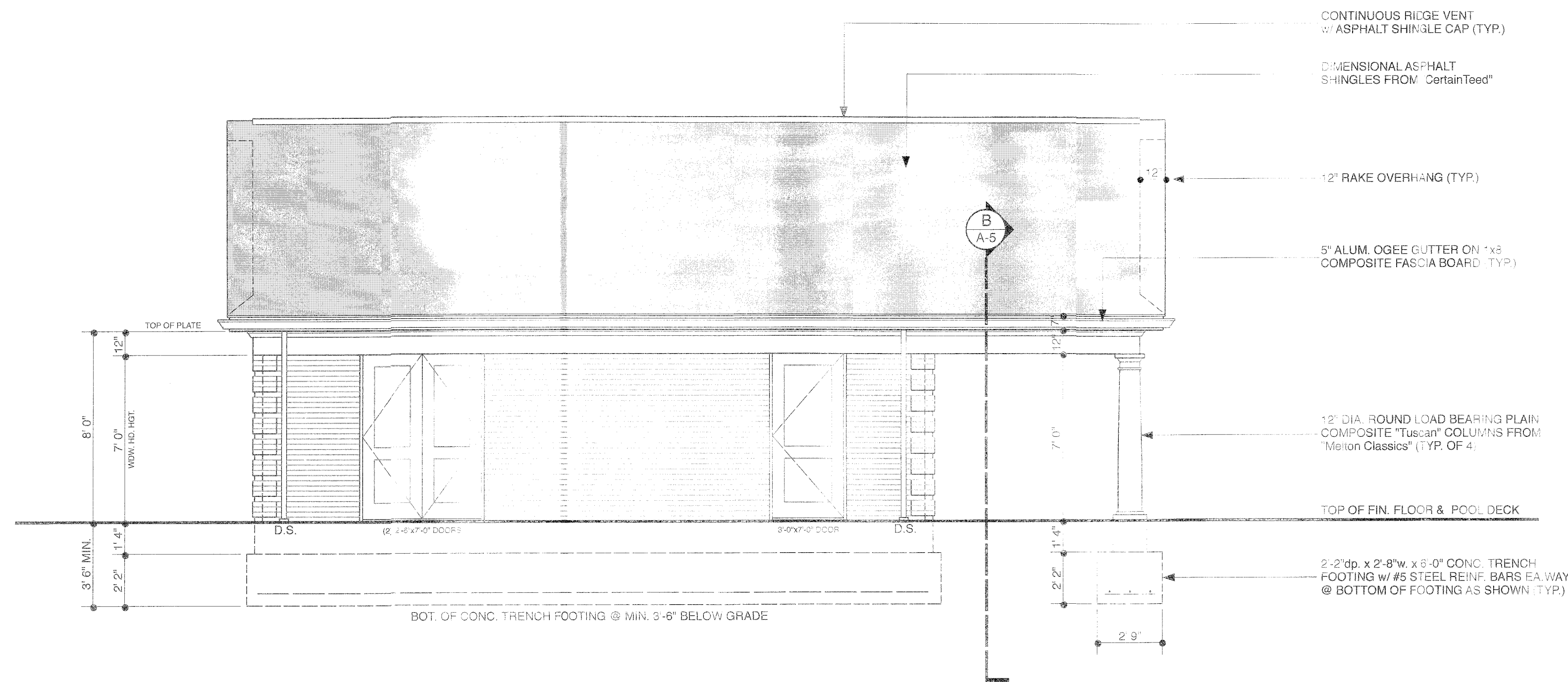
4" CONC. SLAB POOL DECK (TYP.)

NOTE: FINISH FLOOR OF RESTROOMS,
POOL EQUIP. ROOM, CONC. POOL DECK
AND BRICK WALKWAY @ SAME ELEVATION



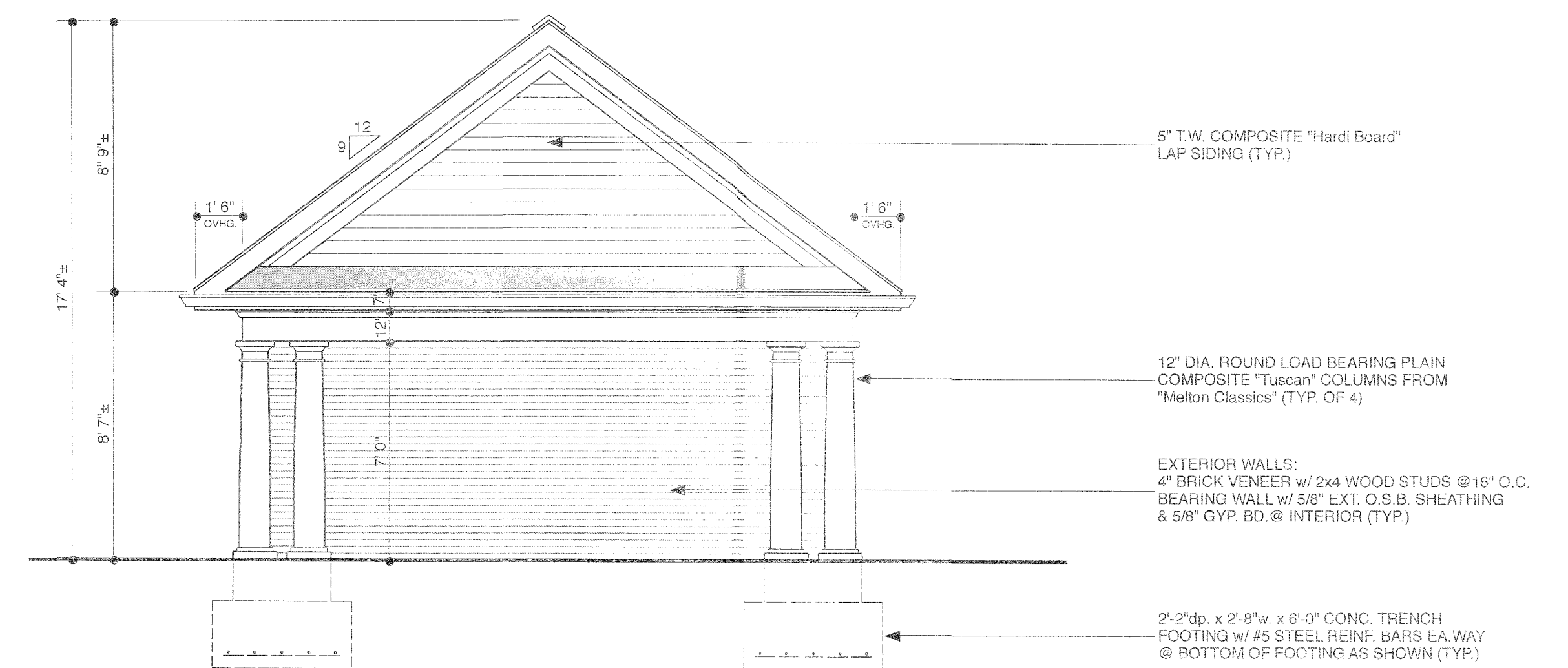
FLOOR PLAN
SCALE: 1/4"=1'-0"

2
A-2



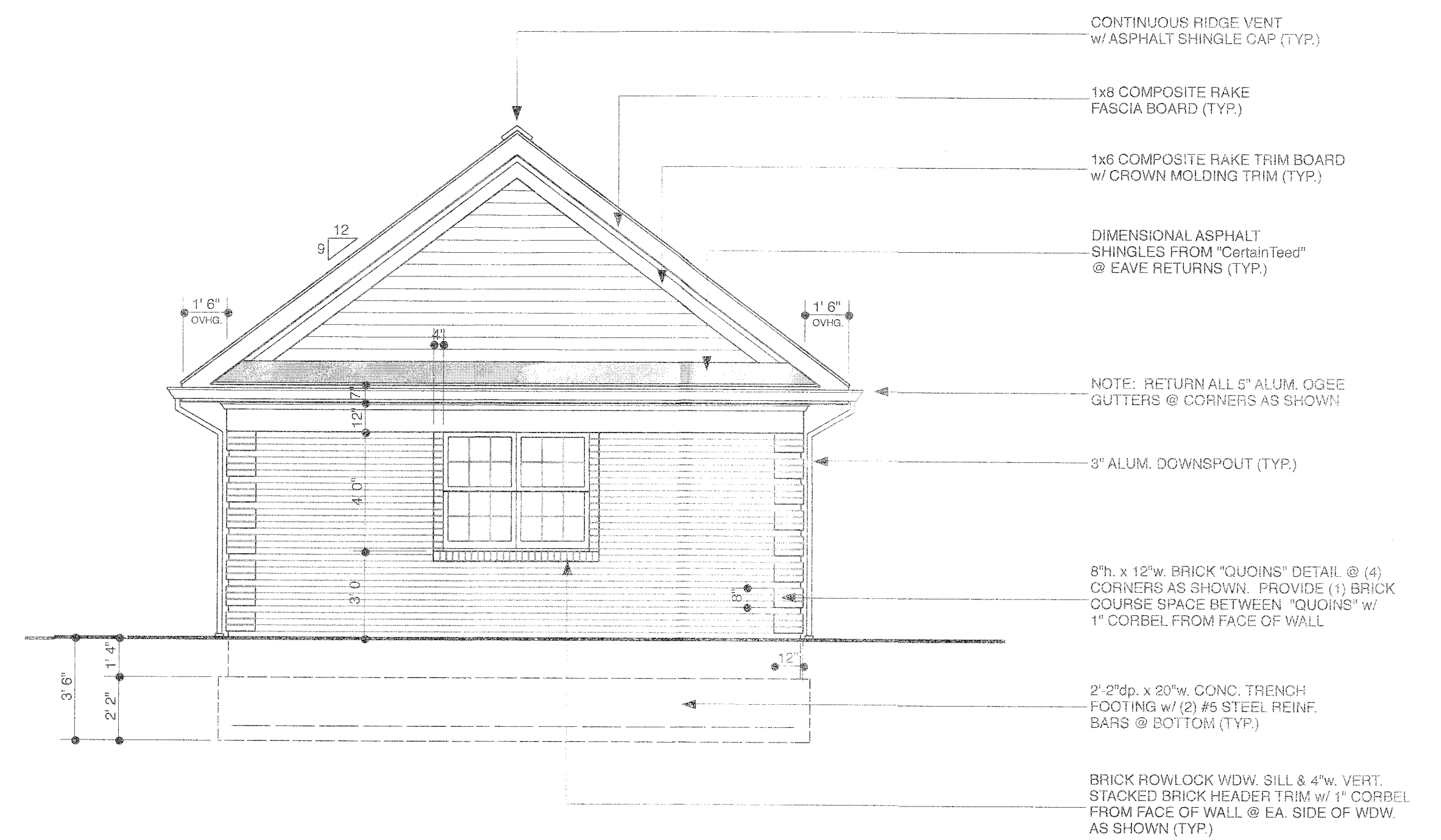
RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

3
A-3



POOL SIDE ELEVATION
SCALE: 1/4"=1'-0"

4
A-3



FRONT ELEVATION
SCALE: 1/4"=1'-0"

6
A-3

johnwilson, architect LLC
291 Corning Drive Bratenahl, OH 44108 216-308-0634



REV.	DATE	DESCRIPTION

POOL PAVILION
ELEVATIONS
North Ridge Pointe
North Ridgeville, OH

DATE 03-03-2019
DRAWING NUMBER
A-3