



Planning Commission
AGENDA OF APRIL 11, 2023
CITY HALL COUNCIL CHAMBERS
7:00 PM

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES

1. Regular meeting of March 28, 2023

CORRESPONDENCE

Administrative Approvals & Zoning Certificates

1. **PPZ2023-0175: Real World Church, 35136 Center Ridge Rd, #10**
Approval of a Certificate of Zoning Compliance for church activities and meetings.
2. **PPZ2023-0176: Dairy Grove, 35455 Center Ridge Rd**
Approval of a Certificate of Zoning Compliance for change in business owner of ice cream stand.

Master Plan Update

OLD BUSINESS

NEW BUSINESS

1. **PPZ2023-0172: Harvest Ridge Church, 35600 Lorain Rd, PPN 07-00-024-101-114, 07-00-024-101-109, 07-00-024-101-107**
Proposal consists of constructing a new pavilion and sand volleyball court. Property zoned R-1 Residence District.
2. **PPZ2023-0174: Victory Park Cabins, Victory Lane, PPN 07-00-003-102-091, 07-00-003-102-090**
Applicant: Joe Boo Entertainment LLC, Joe Borkey, 9091 Hilo Farm Dr, Mentor, OH 44060. Proposal consists of constructing cabins and a RV campground facility. Property zoned B-4 Commercial Parkway District.
3. **PPZ2023-0177: Victory Sports Park Storage Garage, 7777 Victory Lane, PPN 07-00-003-102-107**
Owner: City of North Ridgeville. Applicant: PMJ Park Holdings LLC, Joe Borkey, 9091 Hilo Farm Dr, Mentor, OH 44060. Proposal consists of constructing a new storage garage. Property zoned I-2 Light Industrial.

ADJOURNMENT

Meetings are broadcast on the North Ridgeville YouTube channel at:

www.youtube.com/channel/UCThTaGFRof_AOvxSYAzMNYg

Visit the Planning Commission webpage to access agenda items:

<http://www.nridgeville.org/PlanningCommission.aspx>

**NORTH RIDGEVILLE PLANNING COMMISSION
MINUTES OF REGULAR MEETING
TUESDAY, MARCH 28, 2023**

CALL TO ORDER:

Chairman Smolik called the Planning Commission meeting to order with the Pledge of Allegiance at 7:00 PM.

ROLL CALL:

Present were members Paul Graupmann, Council Liaison Bruce Abens, Vice-Chairwoman Jennifer Swallow and Chairman James Smolik.

Member Steve Ali was absent.

Also present were Chief Building Official Guy Fursdon, Prosecutor Sean Kelleher, City Engineer Christina Eavenson, Planning and Economic Development Director Kimberly Lieber and Deputy Clerk of Council Tina Wieber.

MINUTES:

Chairman Smolik asked if the members had a chance to review the minutes of the regular meeting on February 14, 2023. He asked if there were any corrections. Hearing no corrections, the minutes were approved.

CORRESPONDENCE:

1. PPZ2023-0171: Nino's Italian Restaurant, 32652 Center Ridge Road
Administrative approval of a 300 square foot permanent entry vestibule

Director Lieber stated that Nino's Restaurant applied to enclose 300 square foot area to improve their internal circulation and their waiting area. She explained that they had a good carry-out business and were having trouble fitting the people inside waiting for their orders with also the employees traversing through the site and that was the reason for the change.

Master Plan Update

Chairman Smolik stated that the Master Plan Steering Committee held a meeting earlier in the month and received input from the general public where each of the members each hosted a table and received feedback from the residents as far as assets in the community and what the opportunities were in the community as well. He stated that all the data from the three public meetings, two virtual meetings, an online option and a couple of special meetings was going to be compiled and would represent the voice of the people at that point in time. He mentioned that they had a meeting on March 29, 2023 at 6:00 p.m. at the LCCC North Ridge Campus.

NEW BUSINESS:

Work Session

Sign Code - discuss draft

**NORTH RIDGEVILLE PLANNING COMMISSION
REGULAR MEETING – TUESDAY, MARCH 28, 2023**

PAGE 2

Director Lieber and the Commission held a work session to discuss the proposed Sign Code updates.

ADJOURNMENT:

The meeting was adjourned at 8:45 PM.

James Smolik
Chairman

Tina Wieber
Deputy Clerk of Council

Tuesday, April 11, 2023
Date Approved



March 28, 2023

Kathy Salvo
3147 Junior Parkway
Brunswick, OH 44212

Re: Change in Business Owner for 35455 Center Ridge Road (Dairy Grove)

Dear Ms. Salvo,

The zoning certificate for your business has been approved and is enclosed for your records. Please be aware of additional obligations under state building and fire codes:

If there is a change of occupancy classification in a commercial building under the Ohio Building Code or you intend to perform work other than interior finishes (painting, flooring), you will require approval and a building permit. For assistance, please contact the North Ridgeville Building Department at (440) 353-0822.

In all commercial spaces, fire extinguishers need to be visible in a common area, exits must be kept clear of debris and exit lights must be kept in good working order. Any fire alarm or sprinkler systems need to be tested annually. Ensure your address is visible from the street and keep your Certificate of Occupancy posted inside the business. For assistance, please contact the North Ridgeville Fire Department at (440) 353-0839.

We welcome you to North Ridgeville and wish you much success in our community.

Sincerely,

Kimberly Lieber, AICP
Director of Planning and Economic Development



Certificate of Zoning Compliance

DAIRY GROVE
35455 CENTER RIDGE ROAD
NORTH RIDGEVILLE, OH 44039

This certifies that the proposed use stated for the above referenced address complies with the provisions of the North Ridgeville Zoning Code. This certificate shall remain valid so long as buildings and property are used and maintained in accordance with approved plans. No other changes or modifications to the building(s) or site improvements, not approved or exempt under a Certificate of Occupancy, are permitted or approved.

Application Number: PPZ2023-0176

Proposed Use: Ice cream stand (same as previous use, change in business owner)

Current Zoning: B-3 Highway Commercial District

Applicant: Kathy Salvo

Property Owner: SG Holdings, LLC

Conditions/Notes:

This certificate does not provide approval to initiate any construction work. Any renovations or alterations to the building or tenant space must be approved and permitted by the Building Department prior to occupancy.

Signature of Approving Official

Date Issued

RECEIVED

MAR 27 2023

Application for New Business or Change in Use



APPLICABILITY

Section 1243.02(b)(1) When Required. Regardless of whether or not a building permit is required for construction activities, any change of use, establishment of a new use or new business occupancy must be reviewed and issued a Certificate of Zoning Compliance.

Section 1440.06 Notification of Change in Business Owner. Whenever a business, commercial or industrial space or building changes occupants, that new occupant is required to inform both the Police and Building Departments of his or her new occupancy to enable more reliable emergency response and hazard inspection.

APPLICANT: Excluding signage, are you proposing any exterior changes to the building or property? Examples include building façade changes, parking lot reconfiguration, landscaping changes, lighting changes, etc. If so, DO NOT submit this form. Planning review is required for your project. Contact the Planning and Economic Development Department for information about the development plan review process and submission requirements.

BUSINESS INFORMATION

Business name <u>Dairy Grove</u>	Business address <u>35455 Center Ridge Rd.</u>
Business owner <u>Kathy Salvo</u>	Business owner email <u>KathySalvo228@aol.com</u>
Business owner home address <u>3147 Junior Parkway</u>	City, state, zip <u>Brunswick, OH 44212</u>
Business owner phone number <u>440-667-3605</u>	Emergency phone number _____

PROPERTY OWNER INFORMATION

Property owner name <u>SG Holdings LLC</u>	City, state, zip <u>North Ridgeville, OH 44039</u>
Property owner address <u>35455 Center Ridge Road</u>	Property owner email <u>KathySalvo228@aol.com</u>
Property owner phone <u>440-667-3605</u>	

USE INFORMATION

Previous use/occupant <u>(same) Dairy Grove</u>	Building/unit area (square feet) _____
Describe proposed use* <u>Ice Cream Stand</u>	

*Based upon the proposed use, the City may require the additional submission of a site plan showing lot configuration, building locations, provision of adequate parking and loading, driveways, etc. If a proposed use is determined to be a conditional use in a particular zoning district, development plan review and Planning Commission approval is required.

AUTHORIZATION AND ACKNOWLEDGEMENT

Applicant signature <u>Kathy Salvo</u>	Property owner signature <u>Kathy Salvo</u>
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Submit this application to the Building Department with the \$50 application fee.

I hereby authorize the City of North Ridgeville to view the premises and consent to their entry onto the property for the purpose of observing site conditions related to review of my application.

OFFICE	PPZ No.	Date Received	Amount Paid
	<u>9P22023-0126</u>	<u>3-27-23</u>	<u>50.00</u>



March 22, 2023

Terry Murray
5265 Olive Avenue
North Ridgeville, OH 44039

Re: New Use at 35136 Center Ridge Road #10 (Real World Church)

Dear Mr. Murray:

The zoning certificate for your new use has been approved and is enclosed for your records. Please be aware of additional obligations under state building and fire codes:

If there is a change of occupancy classification in a commercial building under the Ohio Building Code or you intend to perform work other than interior finishes (painting, flooring), you will require approval and a building permit. **For assistance, please contact the North Ridgeville Building Department at (440) 353-0822.**

In all commercial spaces, fire extinguishers need to be visible in a common area, exits must be kept clear of debris and exit lights must be kept in good working order. Any fire alarm or sprinkler systems need to be tested annually. Ensure your address is visible from the street and keep your Certificate of Occupancy posted inside the business. **For assistance, please contact the North Ridgeville Fire Department at (440) 353-0839.**

Welcome to the North Ridgeville community.

Sincerely,

Kimberly Lieber, AICP
Director of Planning and Economic Development



Certificate of Zoning Compliance

REAL WORLD CHURCH
35136 CENTER RIDGE ROAD, #10
NORTH RIDGEVILLE, OH 44039

This certifies that the proposed use stated for the above referenced address complies with the provisions of the North Ridgeville Zoning Code. This certificate shall remain valid so long as buildings and property are used and maintained in accordance with approved plans. No other changes or modifications to the building(s) or site improvements, not approved or exempt under a Certificate of Occupancy, are permitted or approved.

Application Number: PPZ2023-0175

Proposed Use: Church activities and meetings

Current Zoning: B-3 Highway Commercial District

Applicant: Terry Murray

Property Owner: Nitin Thaker

Conditions/Notes:

This certificate does not provide approval to initiate any construction work. Any renovations or alterations to the building or tenant space must be approved and permitted by the Building Department prior to occupancy.



Signature of Approving Official

3/22/2023

Date Issued

RECEIVED

Application for New Business or Change in Use ^{Use 2 1 2023}

CITY OF NORTH

Ridgeville
EST 1910

APPLICABILITY

Section 1243.02(b)(1) When Required. Regardless of whether or not a building permit is required for construction activities, any change of use, establishment of a new use or new business occupancy must be reviewed and issued a Certificate of Zoning Compliance.

Section 1440.06 Notification of Change in Business Owner. Whenever a business, commercial or industrial space or building changes occupants, that new occupant is required to inform both the Police and Building Departments of his or her new occupancy to enable more reliable emergency response and hazard inspection.

APPLICANT: Excluding signage, are you proposing any exterior changes to the building or property? Examples include building façade changes, parking lot reconfiguration, landscaping changes, lighting changes, etc. If so, **DO NOT submit this form.** Planning review is required for your project. Contact the Planning and Economic Development Department for information about the development plan review process and submission requirements.

BUSINESS INFORMATION

Real World Church

Business name

Terry Murray

Business owner

5265 Olive Ave

Business owner home address

440 610 7623

Business owner phone number

35136 Center Ridge Rd. #10

Business address

terrydmurray@gmail.com

Business owner email

N. Ridgeville, OH. 44019

City, state, zip

216-408-4594

Emergency phone number

PROPERTY OWNER INFORMATION

Nitin Thaker - Thaker Holding LLC

Property owner name

22408 Valleybrook Lane

Property owner address

216-548-8226

Property owner phone

N. Ridgeville, OH. 44039

City, state, zip

thaker_nitin@yahoo.com

Property owner email

USE INFORMATION

Terry Murray

Previous use/occupant

#10 - Lower Level (432 sq. ft.) 18 x 24 Room size

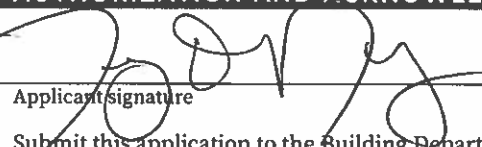
it area (square foot)

Church activities & meetings

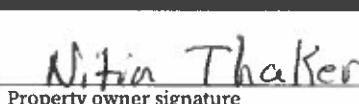
Describe proposed use*

*Based upon the proposed use, the City may require the additional submission of a site plan showing lot configuration, building locations, provision of adequate parking and loading, driveways, etc. If a proposed use is determined to be a conditional use in a particular zoning district, development plan review and Planning Commission approval is required.

AUTHORIZATION AND ACKNOWLEDGEMENT



Applicant signature



Property owner signature

Submit this application to the Building Department with the \$50 application fee.

I hereby authorize the City of North Ridgeville to view the premises and consent to their entry onto the property for the purpose of observing site conditions related to review of my application.

OFFICE	PPZ No.	Date Received	Amount Paid
	PP22023-0175	3-21-23	50.00

NEW
CHAPTER 1286
Signs

- 1286.01 INTENT
- 1286.02 SEVERABILITY
- 1286.03 DEFINITIONS
- 1286.04 GENERAL APPLICABILITY
- 1286.05 PROHIBITED SIGNS
- 1286.06 SIGN PERMIT REQUIREMENTS AND EXEMPTIONS
- 1286.07 SIGN PERMIT APPLICATION AND PROCEDURES
- 1286.08 GENERAL REGULATIONS FOR ALL SIGNS
- 1286.09 SIGN ILLUMINATION
- 1286.10 MEASUREMENTS AND CALCULATIONS
- 1286.11 PERMANENT SIGN ALLOWANCES
- 1286.12 TEMPORARY SIGNS
- 1286.13 NONCONFORMING SIGNS

1286.01 INTENT.

Sign regulations, including provisions to control the type, design, size, location, motion, illumination, enforcement and maintenance thereof, are established in order to achieve, among others, the following purposes:

- (a) To maintain high quality districts of all land uses, and attractive public and private facilities of all types, by permitting only signs appropriate to their environs;
- (b) To provide for reasonable and appropriate methods for locating goods, services and facilities in all zoning districts by relating the size, type and design of signs to the size, type and design of the uses and districts;
- (c) To promote traffic safety by preventing obstructions within public rights-of-way, minimizing visual distractions to motorists, ensuring that sign size and height are appropriate to their location and preventing conflicts with public safety signs and police and fire protection; and
- (d) To control the design and size of all signs so that their appearance will be aesthetically harmonious with an overall design for the area, in accordance with commonly accepted community planning and design practices, and the City's Master Plan.

The City does not intend to infringe on the rights of free speech as protected by the First Amendment to the United States Constitution and Article I, §11 of the Ohio Constitution.

1286.02 SEVERABILITY.

If any provision of this chapter is found by a court of competent jurisdiction to be invalid, such finding shall not affect the validity of other provisions of this chapter that can be given effect without the invalid provision.

1286.03 DEFINITIONS.

For purposes of this chapter, certain terms and words are defined as follows in this section. All other words shall have their customary meanings as defined in the Merriam-Webster Dictionary.

- (a) CHIEF BUILDING OFFICIAL means the official, or his authorized representative, charged with the enforcement of this chapter and other ordinances, laws, rules and regulations relating to the use, erection, construction, alteration and repair of any sign within the City.
- (b) ELECTRONIC MESSAGE CENTER means a sign designed so that the characters, letters or illustrations can be changed or rearranged remotely or automatically on a fixed display screen (e.g. electronic or digital signs).
- (c) FAÇADE means that portion of any exterior elevation on the building extending from grade to top of the parapet, wall or eaves and the entire width of the building elevation.
- (d) FLAG means any sign of cloth or similar material, anchored along one side, displayed from a single pole, either freestanding or attached to a building.
- (e) FRONTAGE means the distance between the side lot lines measured at the street right-of-way.
- (f) FRONTAGE, BUILDING means the linear dimension of the width of the widest portion of the building face including all appurtenant overhangs or other structures closest to parallel to the principal street.
- (g) MESSAGE, COMMERCIAL means any sign, wording, logo or other representation that, directly or indirectly, names, advertises or calls attention to a business, product, service or other commercial activity.
- (h) MESSAGE, NONCOMMERCIAL means any sign, wording or logo that does not represent a commercial message or commercial speech. Such signs may express messages that include, but are not limited to, free speech opinions, ideological messages, religious messages, political messages, etc.
- (i) RACEWAY means a form of mounting structure for signs that are a narrow structure attached to a wall where electrical conduit can run within and where the sign structure itself is mounted to it.
- (j) SIGN means any object, device, display or structure, or part thereof, visible from a public place, a public right-of-way, any parking area or right-of-way open to use by the general public, or any navigable body of water which is designed and used to attract attention to an institution, organization, business, product, service, event or location by any means involving words, letters, figures, designs, symbols, fixtures, logos, colors, illumination or projected images. The term "sign" does not include the display of merchandise for sale on the site of the display.
 - (1) BANNER SIGN means a temporary sign constructed of canvas, plastic, fabric or similar lightweight, non-rigid material that can be mounted to a structure with cord, rope, cable or a similar method.
 - (2) BUILDING SIGN means a sign that is attached to the building including wall signs, projecting signs and canopy signs.
 - (3) CANOPY SIGN means a sign attached to the soffit or fascia of a canopy, marquee, awning, covered entrance, covered walkway, arbor, pergola or other similar structure.
 - (4) CHANGEABLE COPY SIGN means a sign designed so that the characters, letter or illustrations can be changed or rearranged manually or electronically without altering the sign display surface.
 - (5) DRIVEWAY SIGN means a small freestanding sign located near driveway access points.

- (6) DRIVE-THROUGH SIGN means a sign that is located along the path or aisle utilized for a drive-through facility.
- (7) ENTRANCE SIGN means a sign identifying a vehicular entrance to a residential subdivision, residential complex or a non-residential development park.
- (8) FEATHER SIGN means a freestanding temporary sign made of fabric or nylon affixed to a light weight pole.
- (9) FREESTANDING SIGN means a sign anchored directly to the ground or supported by one or more posts, columns or other vertical structures or supports, and not attached to or dependent for support from any building.
- (10) MONUMENT SIGN means a freestanding sign that contains a support structure that is a solid-appearing base constructed of a permanent material.
- (11) NONCONFORMING SIGN means a sign which was erected legally prior to the adoption of this code, or amendment thereto, but which does not comply with subsequently enacted sign restrictions and regulations or a sign which does not conform to the sign code requirements.
- (12) PERMANENT SIGN means a sign permitted by this code to be located on the premises for an unlimited period of time and designed to be permanently attached to a structure or the ground.
- (13) POLE SIGN means a freestanding sign that is supported by a pole, poles, columns or other base or structure, where the bottom edge of the sign face is eight feet or more above grade.
- (14) PROJECTING SIGN means a sign that is affixed perpendicular to a building or wall extending more than 18 inches beyond the face of such building or wall.
- (15) SIDEWALK SIGN means an A-frame, T-frame, or other temporary self-supporting type sign a sign which may be easily moved or relocated for re-use.
- (16) TEMPORARY SIGN means a sign that is neither permanently anchored to the ground, nor permanently affixed to a structure, nor mounted on a chassis and/or is intended for a limited period of display.
- (17) WALL SIGN means a sign attached directly to an exterior wall of a building with the exposed face of the sign in a plane parallel to the building wall. Wall signs shall not include signs that are painted directly onto a wall.
- (18) WINDOW SIGN means a sign attached to, in contact with, placed upon, painted on or otherwise viewable through the window or door of a building that is intended for viewing from the outside of such building. This does not include merchandise. A structure that would be considered a sign if mounted on the exterior of the building, but which is mounted inside the building and oriented to be visible through the window by a person outside of the window shall be considered a window sign for the purposes of this chapter.
- (19) YARD SIGN means any temporary sign placed on the ground or attached to a supporting structure, posts or poles, that is not attached to any building.
- (k) SIGN AREA means the entire display area of a sign copy including the advertising surface located on one or more sign faces, but not including the supporting structure.
- (l) SIGN COPY means those letters, numerals, and figures, symbols, logos and graphic elements comprising the content or message of a sign.
- (m) SIGN FACE means the surface of the sign upon, against or through which the message of the sign is exhibited.
- (n) SIGN HEIGHT means the vertical distance to top of sign structure.

- (o) STATIC OR INSTANT MESSAGE CHANGE means on electronic message centers, when one message changes to another message instantly without scrolling, flashing or other movement of the message.
- (p) WINDBLOWN DEVICES means objects and signs designed to inform or attract attention, all or part of which is set in motion by or remains inflated by wind, mechanical, electrical or any other means and may include, but are not limited to pennants, ribbons, streamers, balloons and hot or cold air inflatable devices, spinners or similar objects.

1286.04 GENERAL APPLICABILITY.

- (a) It shall hereafter be unlawful for any person to erect, place, relocate, expand, modify, maintain or otherwise alter a sign in the City except in accordance with the provisions of this chapter.
- (b) Unless otherwise provided, this chapter shall apply to any sign, in any zoning district, that is visible from a public right-of-way or from an adjacent property.
- (c) Any sign legally established prior to the effective date of this chapter, which is rendered nonconforming by the provisions herein, shall be subject to the nonconforming sign regulations of Section 1286.13.

1286.05 PROHIBITED SIGNS.

The following types of signs are specifically prohibited within the City of North Ridgeville:

- (a) Signs that interfere with, obstruct the view of or are similar in appearance to any legally authorized traffic sign, signal or device because of its position, shape or color;
- (b) Signs that constitute a hazard to safety or health due to inadequate or inappropriate design, construction, repair or maintenance, as determined by the Chief Building Official;
- (c) Any sign that copies or imitates signs that are installed by the City or any other governmental agencies or falsely purports to have been authorized by the City or other governmental agency;
- (d) Signs that are accessory to an abandoned use of property. A use shall be determined to be abandoned if it has voluntarily ceased operations for a period of six consecutive months unless the use is determined to be seasonal in nature;
- (e) Signs that are placed on trees, utility poles, benches, trash receptacles or any other unapproved supporting structure, or otherwise placed in the public right-of-way except as provided for in Section 1286.08(g);
- (f) Off-premise signs, including billboards;
- (g) Pole signs;
- (h) Signs mounted on or above the roofline of any building;
- (i) Signs that employ any parts or elements which revolve, rotate, whirl, spin, use moving or flashing lights or otherwise make use of motion to attract attention. This shall not include changeable copy signs as allowed in this chapter;
- (j) Pennants, streamers, windblown devices and signs that flutter with the exception of flags and feather signs as permitted in this chapter;
- (k) Signs which are not securely affixed in a permanent manner to an approved supporting structure unless specifically permitted as a temporary sign;
- (l) Vehicle signs:
 - (1) Vehicle signs viewable from a public road if the vehicle or trailer has signage attached to it and either fails to display current license plates and registration or is inoperable.

- (2) Vehicles or trailers shall not be parked continuously in one location to be used primarily as additional signage. These regulations do not apply to fleet and delivery vehicles that are actively used as part of a local business establishment, or vehicles that are painted or otherwise covered with signage that are used by persons as a personal means of transportation or are actively used as part of a local business establishment; and
- (l) Any sign not specifically allowed or addressed by this chapter shall be prohibited.

1286.06 SIGN PERMIT REQUIREMENT AND EXEMPTIONS.

- (a) Sign Permit Required. Unless otherwise stated in this chapter, all signs shall require a sign permit.
- (b) Exemptions. The following signs do not require a sign permit and do not require zoning approval. Permit-exempt signs may still be subject to building code or other applicable code requirements.
 - (1) Sign face changes where the sign structure is designed with interchangeable panels and one of the panels is replaced without changing the structure, total sign face area, height or the sign cabinet (except that a copy of the sign face change should be filed with the Building Department for informational purposes);
 - (2) Changes of copy on signs with changeable copy;
 - (3) Any sign that is located completely inside a building that is not visible from the exterior (see also definition of window sign);
 - (4) Signs installed or required by a governmental agency including the City of North Ridgeville, Lorain County, State of Ohio and United States;
 - (5) Signs and/or notices issued by any court, officer or other person in performance of a public duty;
 - (6) Signs which are an integral part of the historic character of a structure that has been designated an official landmark or historic structure by a governmental agency;
 - (7) Monuments and markers within a cemetery;
 - (8) One wall sign not exceeding two square feet mounted flush to the façade of a single or two-family dwelling unit;
 - (9) Signs that are an integral part of the original construction of vending or similar machines, fuel pumps, automated teller machines or similar devices that are not of a size or design as to be visible from a street or by any person other than those using the machine or device;
 - (10) Any signs located on umbrellas, seating or similar patio furniture provided they are located outside of the right-of-way and comply with any other applicable standards of this chapter;
 - (11) Parking space signs not exceeding two square feet in area;
 - (12) Signs that are located within a stadium, open-air theater, park, arena or other outdoor use that are not visible from a public right-of-way or adjacent property, and can be viewed only by persons within such stadium, open-air theater, park, arena or other outdoor use;
 - (13) Flags that do not contain a commercial message provided there shall be no more than three such flags on any lot and the size of each flag does not exceed 40 square feet;
 - (14) Certain temporary signs as established in Section 1286.12;

- (15) Any signs, including illuminated signs, or related decorations erected in observance of religious, national or state holidays which are not intended to be permanent in nature and which contain no advertising material;
- (16) Public art approved by the North Ridgeville Planning Commission; and
- (17) General maintenance, painting, cleaning and other normal maintenance and repair of a sign or any sign structure unless a structural change is made.

1286.07 SIGN PERMIT APPLICATION AND PROCEDURES.

- (a) Application Requirements. Each sign permit application submitted shall contain the following:
 - (1) Name, address, phone number and email address of the applicant, property owner and person erecting the sign;
 - (2) Location of building, structure or lot to which or upon which the sign is to be installed;
 - (3) Scaled drawings depicting the position of the sign in relation to any buildings and structures on the site and adjacent sites and adjacent streets or drives;
 - (4) Scaled drawings, plans and specifications, including method of construction and attachment of the sign to the building or ground;
 - (5) Signature of the owner of the building, structure or land to which or on which the sign is to be erected;
 - (6) Any information, calculations or documentation required by or to determine compliance with the Ohio Building Code or the Codified Ordinances of the City of North Ridgeville; and
 - (7) Any applicable fees, as established by separate ordinance.
- (b) Permit Review and Issuance
 - (1) Upon receipt of a complete application for a sign permit, the Chief Building Official shall examine the plans and specifications, and, within 30 days, determine if the signs proposed in the application are in compliance with this chapter.
 - (2) In the event of a variance request, or other delay caused by the applicant, the time for making a determination of sign compliance under this section shall be extended for a period of time equal to the time period during which the variance application is pending, or to the period of time of other delay caused by the applicant, as applicable.
 - (3) If the proposed sign complies with this chapter, all other applicable laws and ordinances of the City and the Ohio Building Code, the Chief Building Official shall forthwith issue the requested permit upon receipt of the appropriate fees. If the Chief Building Official determines that the application should be denied, he shall issue a written statement with his decision, explaining the reason(s) for the denial.
 - (4) If the work authorized under any sign permit is not completed within six months after the date of issuance, the permit shall become null and void.
- (c) Violation and Revocation of Sign Permit. The Chief Building Official may revoke a sign permit where there has been a violation of the provisions of this chapter or a misrepresentation of fact on the permit application. The Chief Building Official shall issue a written statement with his decision, explaining the reasons for revocation.
- (d) Appeals

- (1) If the applicant is dissatisfied with any determination made by the Chief Building Official during the application process related to the requirements of this chapter or the Residential Code of Ohio, including the denial or revocation of a permit, the applicant may, within ten (10) business days following that determination, file an appeal by making application to the Board of Zoning and Building Appeals.
- (2) The Board of Zoning and Building Appeals shall hear the applicant's appeal at the next available meeting after the filing of the application per the requirements of Chapter 1244. The Board may decide to affirm, modify, reverse or vacate the Chief Building Official's decision, and shall render its decision and any order necessary to effectuate its decision within five (5) business days following its hearing of the applicant's appeal. The decision of the Board of Zoning and Building Appeals shall be final.
- (3) If the applicant is dissatisfied with any determination of the Chief Building Official related to a decision based on the requirements of the Ohio Building Code, the applicant may appeal such decision to the Ohio Board of Building Appeals in a manner established in the Ohio Building Code.

1286.08 GENERAL REGULATIONS FOR ALL SIGNS.

Unless otherwise stated, the following regulations shall apply to all signs within the City:

- (a) Permanent signs are considered accessory uses and shall only be accessory to a principal use provided for by the North Ridgeville Zoning Code. Temporary signs may be permitted on all lots, regardless of the presence of a principal use, provided the temporary signs are in compliance with this chapter.
- (b) All signs shall be constructed in compliance with the applicable building and electrical codes as well as any other City regulations.
- (c) No sign shall obstruct or interfere with fire ingress or egress from any door, window or fire escape; block any light or ventilation openings; obstruct or interfere with traffic or vehicular or pedestrian traffic visibility or resemble or imitate signs or signals erected by the City or other governmental agency for the regulation of traffic or parking.
- (d) All permanent signs shall be secured in such a manner as to prevent swinging or other significant noticeable physical movement.
- (e) Signs supported by or suspended from a building shall hang so as to maintain a minimum clear height of eight (8) feet above a pedestrian path and 15 feet above a vehicular path.
- (f) Signs in Rights-of-Way. No sign shall be installed in or project over the right-of-way, nor shall any sign be installed on public property with the exception of signs installed or authorized by the City of North Ridgeville, Lorain County, State of Ohio or United States. The Chief Building Official may immediately remove or cause to be removed any unlawful sign in the public right-of-way.
- (g) Vision Clearance Requirements. To promote traffic safety, no sign shall exceed 36 inches in height, measured from the top of the curb, within any vision clearance triangle area. See *Figure A*.

- (1) For intersections of streets with other streets, the vision clearance triangle area, which may include private property and/or public right-of-way, is the triangular area defined by measuring 30 feet from the intersection of the extension of the front and side street curb lines (or edge-of-pavement lines where there is no curb) and connecting the lines across the property.
- (2) For intersections of streets with driveways, the vision clearance triangle area shall be defined by measuring 25 feet from the edge of the driveway along the street and 20 feet along the driveway from the street and connecting the lines across the property.

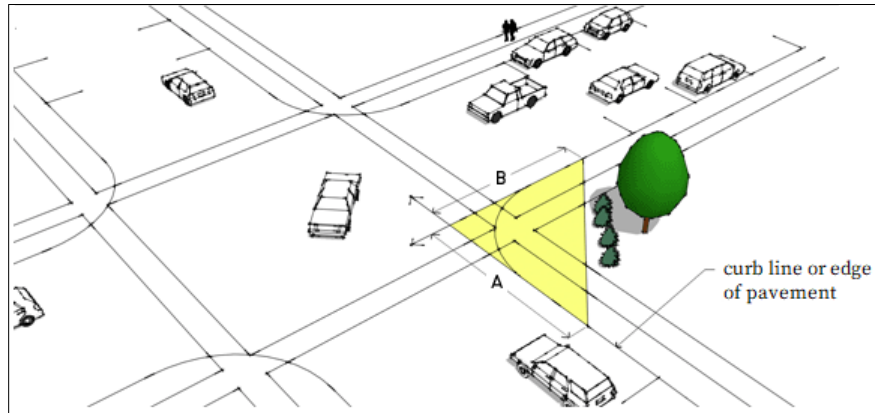


Figure A: Traffic safety visibility triangle for intersecting streets and driveways.

(h) Maintenance and Removal of Signs.

- (1) Every sign shall be maintained in a safe, presentable and good structural condition at all times, including the replacement of a defective part, painting, cleaning and other acts required for the maintenance of the sign so as not to show evidence of deterioration, including peeling, rust, dirt, fading, damage, discoloration or holes.
- (2) Whenever a sign is removed, all parts of the sign and supporting structure (e.g., pole, foundation, cabinet structure, etc.), excluding buildings, shall be removed in their entirety. This section shall not require the removal of a raceway if mounted to such structure on a building in a secure and safe manner.
- (3) The Chief Building Official is authorized to order the removal, repair or maintenance of any sign in violation of any code or for which the required permit has not been obtained. Every such order shall be served upon the owner and person in possession of the sign by personal service or by regular first-class U.S. mail addressed to the occupant of such property and to the owner of the property.
- (4) Whenever the removal, repair or maintenance of any permanent sign has been ordered by the Chief Building Official, the owner or person in possession of such sign shall comply with such order within 30 days after notice is served upon him. Whenever the removal, repair or maintenance of a temporary or portable sign has been ordered by the Chief Building Official, the owner or person in possession of such sign shall comply with the order immediately after notice is served upon him.
- (5) In the event of noncompliance, the Chief Building Official may seek an order of removal from a court of competent jurisdiction, or may pursue criminal action against the owner and/or person in possession of the sign in accordance with the appropriate provisions of this Zoning Code relating to the violations.

- (6) If, following an inspection, the Chief Building Official determines that any sign constitutes an immediate danger to the public safety, the Chief Building Official may affect the immediate removal of said sign without regard to the time intervals for compliance cited above, at the sign owner's expense in accordance with the procedures described in Chapter 215. Removal of a sign shall include the sign face, enclosing frame, all sign supporting members and base, unless otherwise specified in the order to remove.

1286.09 SIGN ILLUMINATION.

All signs, unless otherwise stated in this chapter, may be illuminated by internal or external light sources, provided that such illumination complies with the following:

- (a) Light sources shall be shielded from all adjacent buildings and streets.
- (b) Lights shall not be of such brightness so as to cause glare that is hazardous to pedestrians or motorists or cause reasonable objection from adjacent residential districts.
- (c) No colored lights shall be used in a location or manner in which they might be confused with traffic control devices or vehicular traffic.
- (d) Sign illumination shall not increase the light levels within 40 feet of all points of any sign face by more than 0.3 foot candle above the ambient lighting level.
- (e) Illuminated signs on lots in non-residential districts within 150 feet and visible from a residential district may not be illuminated between 11:00 p.m. and 7:00 a.m. except at the time the establishment is in operation during this period.
- (f) An illuminated sign or lighting device shall employ only light of constant intensity.
- (g) No outline lighting shall be permitted.

1286.10 MEASUREMENTS AND CALCULATIONS.

- (a) Sign Setback. All required setbacks for signs shall be measured as the distance in feet from the lot line or right-of-way, as applicable, to the closest point of the sign structure.
- (b) Sign Height. The height of a sign shall be computed as the distance from the base of the sign at normal grade to the top of the highest attached component of the sign. Normal grade shall be construed to be the newly established grade after construction, exclusive of any filling, berming, mounding or excavating solely undertaken for the purpose of locating or increasing the height of the sign.
- (c) Sign Area. Sign area shall be calculated as established in this section, using one of the following shapes: circle, ellipse, triangle, square, rectangle, trapezoid, pentagon or hexagon.
 - (1) The calculation of sign area shall not include any supporting framework, bracing or decorative fence or wall unless such structural support is determined to constitute an integral part of the sign design by means of text or other message. See *Figure B*.
 - (2) For sign copy mounted or painted on a background panel, cabinet or surface distinctively painted, textured, lighted or constructed to serve as the background for the sign copy, the sign area shall be computed by means of the smallest permitted shape that encompasses the extreme limits of the background panel, cabinet or surface. See *Figure C*.

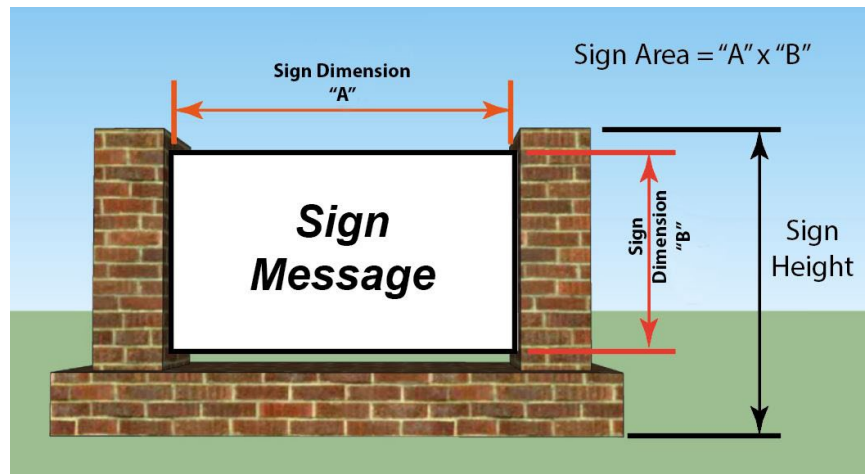


Figure B: Illustration of sign area calculation for a ground sign with a copy on a distinct, rectangular cabinet. The brick structural support is not included in the sign area calculation.



Figure C: Illustration of computing the sign area for wall signs with a background panel or cabinet.

- (3) For sign copy where individual letters or elements are mounted on a building façade or window where there is no background panel, cabinet or surface distinctively painted, textured, lighted or constructed to serve as the background for the sign copy, the sign area shall be computed by means of the smallest permitted shape that encloses all the letters or elements associated with the sign. See Figure D.

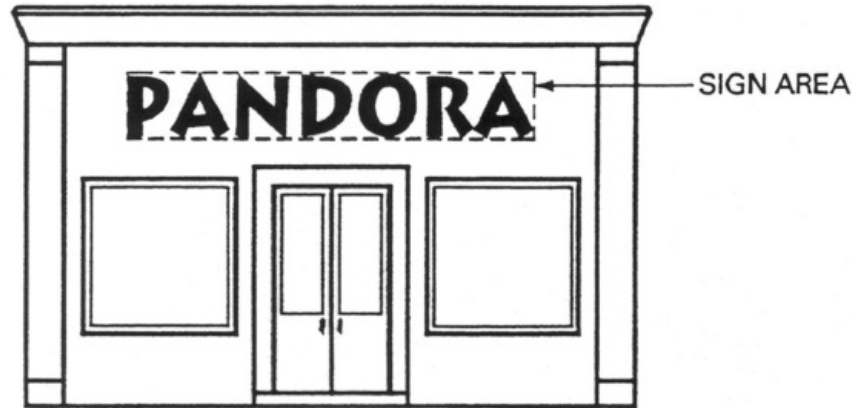


Figure D: Illustration of sign area calculation for wall signs with individual letters.

- (4) In cases where there are multiple sign elements of sign copy on the same surface, any areas of sign copy that are within two (2) feet of one another shall be calculated as a single sign area that shall be computed by means of the smallest permitted shape that encloses all sign copy within two (2) feet of one another, otherwise the sign area shall be computed for each separate piece of sign copy. See Figure E.
- (5) Decorative edging or other window treatments that are not an integral part of the sign copy shall not be considered a part of the sign.

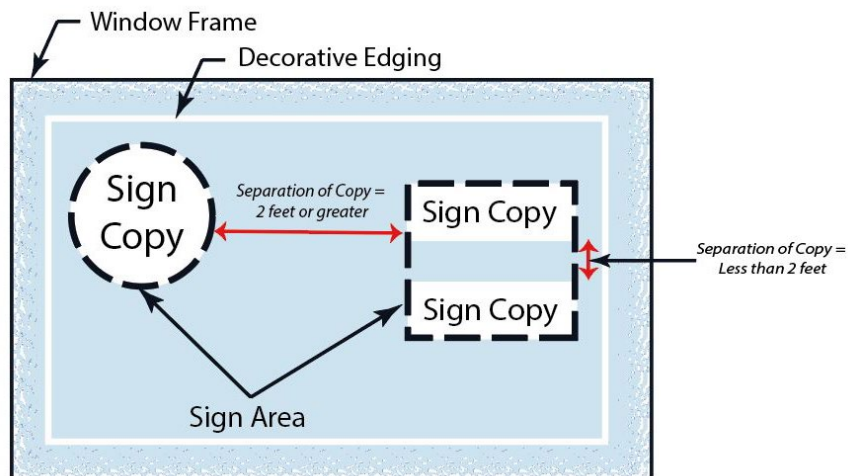


Figure E: Illustration of sign area calculations for multiple sign areas on a window sign.

- (6) When two identically sized, flat sign faces are placed back-to-back or at angles of 45 degrees or less, so that both faces cannot be viewed from any one point at the same time, the sign area of the multi-faced sign shall be computed by the measurement of one of the sign faces. If the two faces are unequal, the sign area shall be calculated based on the larger of the two faces. When a multi-faced sign has an interior angle greater than 45 degrees, the sign area shall be computed by adding together the area of all sign faces.

- (7) In the case of a three-dimensional sign, the sign area shall be calculated by the smallest permitted shape that encompasses the profile of the sign message. The profile used shall be the largest area of the sign message visible from any point.
- (d) Facade Measurements.
- (1) When calculating the permitted sign area based on the width of any façade, such calculation shall be based on viewing the façade from a 90-degree angle (i.e., straight on), regardless of façade insets, offsets or angles. See *Figure F*.
- (2) For multi-tenant buildings, the portion of a building that is owned or leased by a single occupant or tenant shall be considered a building unit. The façade width for a building unit shall be measured from the centerline of the party walls defining the building unit.

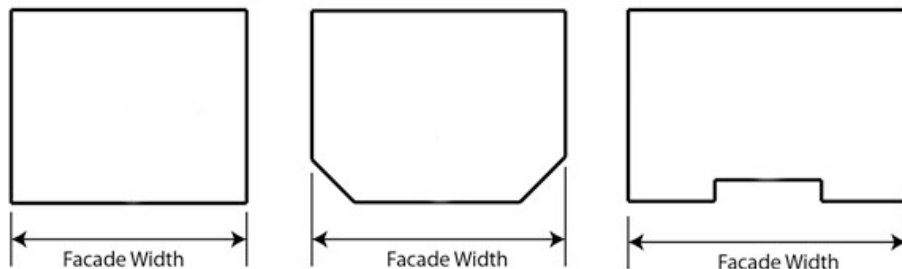


Figure F: Illustration of façade width measurement on varied façade shapes.

1286.11 PERMANENT SIGN ALLOWANCES.

The following are the types of permanent signs allowed in the City of North Ridgeville and the applicable regulations for each sign type.

- (a) Building Signs. Building signs shall not be permitted as accessory to single-family or two-family dwellings. In residential districts, building signs may be accessory to nonresidential permitted or conditional uses. In all other districts, building signs are permitted on principal structures in accordance with the following:
- (1) Building Sign Allowance. The building sign area allowed in this section shall include the total amount of all wall, canopy and projecting signs on each façade.
- A. Maximum permitted building sign area for a single tenant building shall be two (2) square feet per lineal foot based on the façade width of the principal building.
- B. Maximum permitted building sign area for a building unit in a multi-tenant building shall be two (2) square feet per lineal foot based on the façade width of the individual building unit, provided that the building unit has an exterior entrance.
- C. For buildings or building units on lots with frontage on more than one public street, maximum permitted building sign area shall be 1.5 square feet per lineal foot of the sum of the façade widths that face a public street.
- D. Building signs may contain up to 25 percent changeable copy in sign area; however, building signs shall not include electronic message centers.
- (2) Wall Signs. Any wall sign shall comply with the following standards:

- A. A wall sign shall be mounted on or flush with a wall and shall not project more than 24 inches from the wall of the building to which it is attached.
 - B. A wall sign may be mounted on the façade wall or mounted on a raceway.
 - C. No wall sign shall be painted directly on a building.
 - D. No wall sign shall extend above the parapet of the main building to which it is attached, nor beyond the vertical limits of such building.
 - E. A wall sign shall maintain a minimum six-inch clearance from the top and side edges of the surface or wall to which it is attached.
 - F. Signs attached to roofed structures over fueling stations shall be considered wall signs.
 - G. Wall signs may be internally or externally illuminated.
- (3) Canopy Signs. Any canopy sign shall comply with the following standards:
- A. Signage shall not cover more than 50 percent of any individual awning, canopy or marquee.
 - B. Signage may be mounted above any canopy provided that the sign does not extend above the top of the roofline of the building.
 - C. Canopy signs may be internally or externally illuminated.
- (4) Projecting Signs. Any projecting sign shall comply with the following standards:
- A. Only one projecting sign shall be permitted for each building unit.
 - B. The maximum sign area for a projecting sign shall be six (6) square feet.
 - C. Decorative supporting structures for projecting signs shall not count toward the maximum square footage of signs allowed, however, in no case shall the supporting structure exceed six (6) square feet.
 - D. A projecting sign shall be perpendicular to the wall of the building to which it is attached and shall not extend more than four (4) feet from the façade wall to which it is attached. Such a sign shall maintain a minimum six-inch clearance from the façade of any building.
 - E. Projecting signs shall not encroach into any right-of-way.
 - F. Projecting signs may be internally or externally illuminated.
- (b) Window Signs. No sign permit shall be required for window signs provided that any such sign complies with the following standards:
- (1) Window signs shall not occupy more than 50 percent of the window area. The sign area is based on the total window area. Window areas separated by piers, architectural elements or similar features that are not glass or window framing or support shall be considered separate and distinct window areas.
 - (2) Window signs may be temporarily or permanently attached to the window surface.
 - (3) Window signs are not permitted in any window of a space used for residential uses or purposes unless allowed as a temporary sign in accordance with Section 1286.12.
- (c) Monument Signs. Monument signs shall not be permitted as accessory to single-family or two-family dwellings. In residential districts, monument signs may be accessory to nonresidential permitted or conditional uses. In all other districts, monument signs are permitted on lots in accordance with the following:
- (1) One monument sign shall be permitted per lot with the exception of lots having either a total area in excess of five (5) acres or total street frontage in excess of 500

linear feet, in which case two (2) monument signs are permitted provided each sign complies with the standards of this section.

- (2) The maximum sign area of an individual monument sign shall be 65 square feet if the sign does not exceed a height of eight (8) feet or a maximum sign area of 50 square feet if the sign does not exceed a height of ten (10) feet. In no case shall a monument sign exceed ten (10) feet in height.
- (3) Monument signs shall be set back a minimum of five (5) feet from every right-of-way line and a minimum of 20 feet from any side or rear lot line.
- (4) The base of any monument sign shall be composed of stone, brick or other decorative material complimentary to the building material used for the principal structure.
- (5) Monument signs shall be located in a landscaped area equal to or larger than the total sign area of the applicable sign. The landscaped area shall include all points where the sign's structural supports attach to the ground.
- (6) Monument signs may be internally or externally illuminated.
- (7) Monument signs may contain up to 50 percent changeable copy in sign area.
- (8) Electronic Message Centers.
 - A. Only one monument sign per lot may have an electronic message center.
 - B. No additional changeable copy sign area shall be permitted on a monument sign if there is an electronic message center.
 - C. Messages can only change once every ten minutes.
 - D. Any message change shall be a static, instant message change.
 - E. Only Light Emitting Diodes (LED) technology or similar quality signs shall be permitted for electronic message centers.
 - F. The electronic message center shall come equipped with an automatic dimming photocell, which automatically adjusts the display's brightness based on ambient light conditions.

(d) Drive-Through Signs.

- (1) Drive-through signs shall only be permitted in Business Districts, accessory to a nonresidential use containing a drive-through facility.
- (2) One primary drive-through sign not to exceed 36 square feet in area or eight (8) feet in height is allowed per order station, up to a maximum of two (2) primary drive-through signs per lot. One secondary drive-through sign not to exceed 15 square feet in area or six (6) feet in height is allowed per order station, up to a maximum of two (2) secondary drive-through signs per lot.
- (3) Such signs shall be oriented so as to only be visible to occupants of vehicles in the stacking lanes of the drive-through facility.
- (4) Drive-through signs may be internally or externally illuminated. Up to 100 percent of each sign may be changeable copy, including an electronic message center in compliance with Section 1286.11(c)(8)(D) through (F), above. Further, such electronic message center shall be turned off during the hours when the related establishment is closed.

(e) Driveway Signs.

- (1) Driveway signs shall only be permitted at driveway entrances to a public street where there is limited access ingress or egress (e.g., enter-only or exit-only driveways) or where the driveway provides access to a drive-through facility.

Driveway signs shall not be permitted as accessory to single-family or two-family dwellings.

- (2) Only one driveway sign is permitted per individual driveway.
- (3) Driveway signs shall be set back at least five feet from all lot lines but in no case shall the sign be set back more than ten (10) feet from the edge of the driveway.
- (4) Each driveway sign shall not exceed six (6) square feet in area and three (3) feet in height.
- (5) Driveway signs may be internally or externally illuminated but shall not include changeable copy.

(f) Entrance Signs.

- (1) For residential subdivisions, residential complexes and non-residential development parks that contain a minimum of 10 units/lots, such subdivision, complex or park may install one (1) entrance sign within 150 feet of an entrance point from a public street into the subdivision, complex or park.
- (2) The proposed placement of any entrance sign either on private property or within the right-of-way (i.e., landscaped median) shall ensure safety and traffic visibility and must be approved by Planning Commission.
- (3) Entrance signs shall be designed as monument signs with a maximum sign area of 32 square feet and maximum height of six (6) feet.
- (4) Any entrance sign shall be in addition to the signage allowed in this chapter.
- (5) Entrance signs may be internally or externally illuminated but shall not include changeable copy.

1286.12 TEMPORARY SIGNS.

The following are the types of temporary signs allowed in the City of North Ridgeville and the applicable regulations for each type of sign.

(a) Standards Applicable to All Temporary Signs.

- (1) Temporary signs shall not be mounted, attached, affixed, installed or otherwise secured in a manner that will make the sign a permanent sign.
- (2) No temporary sign shall be mounted, attached, affixed, installed or otherwise secured so as to extend above the roofline of a structure.
- (3) Temporary signs shall not be posted in any place or in any manner that is destructive to public property including, but not limited to, rights-of-way, utility poles and public trees.
- (4) All temporary signs shall be secured in such a manner as to prevent swinging or other significantly noticeable movement resulting from the wind that could pose a danger to people, vehicles or structures.
- (5) Temporary signs shall be required to comply with vision clearance requirements and shall be set back a minimum of five (5) feet from any public right-of-way.
- (6) No temporary sign shall require a foundation, support, wiring, fittings or elements that would traditionally require a building permit or electrical permit.
- (7) Temporary signs shall not be illuminated.
- (8) Temporary signs shall not be affixed to any permanent sign or permanent structure except when a banner sign is permitted to cover a permanent sign in accordance with Section 1286.12(e)(3) or when such sign is attached to the principal building as permitted in this chapter.

- (9) No streamers, spinning, flashing, windblown devices or similarly moving devices shall be allowed as part of or attachments to temporary signs.
- (10) Mobile signs on wheels, runners, casters, parked trailers or parked vehicles shall not be permitted.
- (11) Because of the nature of materials typically used to construct temporary signs and to avoid the unsightliness of deteriorating signs and all safety concerns which accompany such a condition, temporary signs shall be removed or replaced when such sign is deteriorated.

(b) Standards for Temporary Sign Types.

(1) Yard Signs.

- A. Where permitted, there shall be no maximum number of yard signs provided the aggregate total square footage of all temporary signs does not exceed the maximum sign area allowed in this chapter.
- B. There shall be a maximum of two (2) faces to any yard sign, mounted back-to-back.
- C. Yard signs in residential districts shall be no more than four (4) feet in height. Yard signs in non-residential districts shall be no more than six (6) feet in height.

(2) Window Signs.

- A. Where permitted, there shall be no maximum number of window signs provided the aggregate total square footage of all temporary signs does not exceed the maximum sign area allowed in this chapter.
- B. Temporary window signs shall be attached to the inside of the window.

(3) Banner Signs.

- A. Where permitted, the maximum number of banner signs per lot is two (2).
- B. Banner signs may be attached to a building, fence or other similar structure. A banner sign attached to posts and mounted in a yard or landscaped area shall be regulated as a temporary yard sign.
- C. The maximum height standard for temporary signs shall not apply to a banner sign but such signs shall not be mounted in a manner that extends above the roofline of a building or the top of the structure on which it is mounted.

(4) Sidewalk Signs.

- A. Where permitted, the maximum number of sidewalk signs per business unit is one (1).
- B. Sidewalk signs shall only be placed outside during the establishment's hours of operation.
- C. Any sidewalk sign shall be located within ten (10) feet of the establishment's entrance on a private sidewalk, walkway or landscaped area, but may not obstruct pedestrian traffic or interfere with the use of parking and loading facilities. Sidewalk signs may not be placed in the public right-of-way.
- D. No sidewalk sign shall exceed six (6) square feet in area or three (3) feet in height.

(5) Feather Signs.

- A. Where permitted, the maximum number of feather signs per building unit is one (1).
- B. No feather sign shall exceed ten (10) feet in height.

- (c) Temporary Signs with a Noncommercial Message.
 - (1) In all zoning districts, temporary signs with a noncommercial message shall be permitted on any lot for an unrestricted period of time. No permit shall be required.
 - (2) Permitted sign types include yard and window.
 - (3) Total area of temporary signs with a noncommercial message shall not exceed 64 square feet per lot. No individual yard sign shall exceed 24 square feet.
- (d) Temporary Signs with a Commercial Message in Residential Zoning Districts.
 - (1) In residential zoning districts, one (1) yard or window sign with a commercial message shall be permitted on any single lot. No permit shall be required.
 - (2) No individual sign shall exceed eight (8) square feet.
 - (3) In lieu of the regulations in this Section, any nonresidential use located in a residential zoning district shall be permitted the same amount of temporary signage with a commercial message as allowed in (e) below.
- (e) Temporary Signs with a Commercial Message in Nonresidential Zoning Districts.
 - (1) Signs Allowed for an Unrestricted Time. No permit shall be required for the following temporary signs:
 - A. A maximum of 12 square feet of temporary signs with a commercial message shall be permitted for every 100 lineal feet of street frontage per lot.
 - B. Permitted sign types include yard, banner and sidewalk.
 - C. No individual sign shall exceed 12 square feet.
 - (2) Signs with Time Limitations. In addition to the temporary signs allowed in (e)(1), the following temporary signs are allowed by permit:
 - A. A maximum of 36 square feet of temporary signs with a commercial message per building unit shall be permitted for up to 15 consecutive days, four (4) calendar times per year.
 - B. Permitted sign types include yard, banner and feather.
 - (3) Signs for New Uses. For zoning permit applications related to the establishment of a new use within an existing building where there is either no sign or an existing permanent sign, a banner sign may be approved for up to 60 consecutive days. Such banner sign shall not exceed the allowable building sign area or the sign area of the permanent sign to be covered, as applicable, and shall require a sign permit.

1286.13 NONCONFORMING SIGNS.

- (a) Any sign that was lawfully in existence at the time of the effective date of this ordinance, or amendment thereto, that does not conform to the provisions herein, shall be deemed a legal nonconforming sign and may remain except as qualified below. Minor repairs and maintenance of legal nonconforming signs shall be permitted. However, no legal nonconforming sign shall be enlarged, extended, structurally altered or reconstructed in any manner, except to bring it into full compliance with these regulations. These regulations shall not prohibit the replacement of the content of a sign without the structural modification of its size, location or configuration.
- (b) A sign shall lose its legal nonconforming status if any of the following occurs:
 - (1) If such sign is damaged to an amount exceeding 50 percent of the sign's replacement value not including the cost or value related to the foundation or work below grade, as determined by at least two sign companies requested to provide a quote by the City;

- (2) The structure of the sign is altered in any form;
 - (3) The sign is relocated;
 - (4) The principal use of the property is voluntarily discontinued for a period of at least six (6) months; or
 - (5) The nonconforming sign or its structure (including support and frame and panel) are determined by the Chief Building Official to be unsafe or in violation of this code and is declared a nuisance.
- (c) Any sign that loses its legal nonconforming status must be brought into compliance with the provisions of this chapter and any other City laws and ordinances by an application for, and issuance of, a sign permit or by complete removal.
- (d) Failure to bring a sign into compliance after loss of a legal nonconformity status shall cause the sign to be considered an illegal sign.

Planning Commission Application



RECEIVED
MAR 09 2023

Pd. Visa
\$150.00
#130091372
eng. \$225.00
ck 30814

SUBMITTAL INSTRUCTIONS AND PROCEDURES

- Plan reviews will be carried out according to the process described in Chapter 1243 of the City's Zoning Code.
- **Pre-Application.** Prior to making application, applicants are recommended to contact the city to discuss their development project. City staff will outline the review process and provide a checklist of required submittals.
 - **Application Submittal.** Following the pre-application meeting, the applicant shall submit this completed application, fee and ten (10) sets of all required exhibits. All submissions shall be made in hard copy to the Building Department. Plans shall be collated, folded and easily legible but no larger than 24" x 36".
 - **Staff Review.** The applicant shall attend a staff review meeting and may be required to submit revised plans based on staff input.
 - **Variances.** Where zoning variances are sought by the applicant, review by the Board of Zoning and Building Appeals will be necessary prior to consideration by the Planning Commission, requiring a separate application.
 - **Decision or Referral.** Following staff review, complete submittals for Administrative Review projects may be considered for approval. For Council Review projects, complete submittals shall be referred to the next available Planning Commission meeting, which are held the second Tuesday of each month.

PROJECT INFORMATION

35600 Lorain Road
Location address

07-00-024-101-114
Parcel number

52 and RT
Current zoning

Pavilion
Proposed project

APPLICANT/AGENT INFORMATION

Harvest Ridge Church
Name/Company

35600 Lorain Road
Applicant address

440-213-4545
Applicant phone

KCROW@harvestridge.net
Applicant email

PROPERTY OWNER INFORMATION

Harvest Ridge Church
Name/Company

35600 Lorain Road
Property owner address

440-213-4545
Property owner phone

KCROW@harvestridge.net
Property owner email

AUTHORIZATION AND ACKNOWLEDGEMENT

Applicant signature

Property owner signature

I hereby authorize the City of North Ridgeville, including Planning Commission members, to view the premises and consent to their entry onto the property for the purpose of observing site conditions related to review of my application.

RECEIVED

Staff Use Only	PPZ No.	Date Received	Amount Paid	Payment Type
	PPZ 2023-0172	MAR 09 2023	\$150.00	VISA #130091372

\$225.00

ck# 30814 rec# 144906



Planning Review

March 28, 2023

Project: Harvest Ridge Church
Location: 35600 Lorain Road
PPNs: 07-00-024-101-107, 07-00-024-101-109, 07-00-024-101-114
District: R-1 Residence District

Project Summary:

The proposal consists of constructing new accessory structures at Harvest Ridge Church, including a new pavilion, garage and sand volleyball court on a vacant residentially zoned lot. Churches and their customary accessory uses are permitted in the R-1 Residence District.

Comments:

All proposed structures meet requirements for height, setbacks and lot coverage. The enclosed portion of the pavilion/garage structure will be comprised of metal siding with composite shingle roof. A sand volleyball court is shown adjacent to the pavilion.

Accessory uses (pavilion) must be accessory to a main use (church) on the same lot. The proposed improvements are shown on a separate lot. Options for resolving this zoning issue are either lot consolidation or a deed restriction.

Water and sewer service for this structure is shown connected to an adjacent residential dwelling used by church personnel on a third lot owned by the church. Engineering will not permit utility extension from the dwelling.

According to the applicant, the 40x80 “future garage” on main church lot is not part of this request.

Planning Commission Comment Sheet



PROJECT INFORMATION

Harvest Ridge Church Pavilion

Proposed project

35600 Lorain Rd in an R-1 District

Location

07-00-024-101-114

Parcel number

4.11.2023

Meeting date

3.30.2023

Comments due

RECOMMENDATIONS

Type comments here. Attach additional sheets as necessary.

Application appears to be code compliant.

SUBMITTED BY

Guy M. Fursdon

Administrative officer signature

Chief Building Official

Title

Planning Commission Bylaws Article V Section 2 – Administrative Review. All applications including those plans and maps submitted to the Commission shall be referred to Administrative Officers. Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Secretary not later than ten (10) calendar days after receipt. Administrative Officers who have not acted within the allotted time shall be deemed to have concurred with plans as submitted.

Staff Meeting Bulletin

Meeting Date: March 27, 2023
Project: Pavilion
Applicant: Harvest Ridge Church, 35600 Lorain Rd
Zoning: R-1 Residential District
In Attendance: Mayor Kevin Corcoran
Guy Fursdon, Chief Building Official
Kim Lieber, Planning and Economic Development Director
Christina Eavenson, City Engineer
Tina Wieber, Deputy Clerk of Council
Kevin Crow, Harvest Ridge Church
Dean Morningstar, Project Engineer

Project Introduction

- Kevin stated that they wanted to build a pavilion with an enclosed portion and a volleyball court on the church property.

Staff Comments

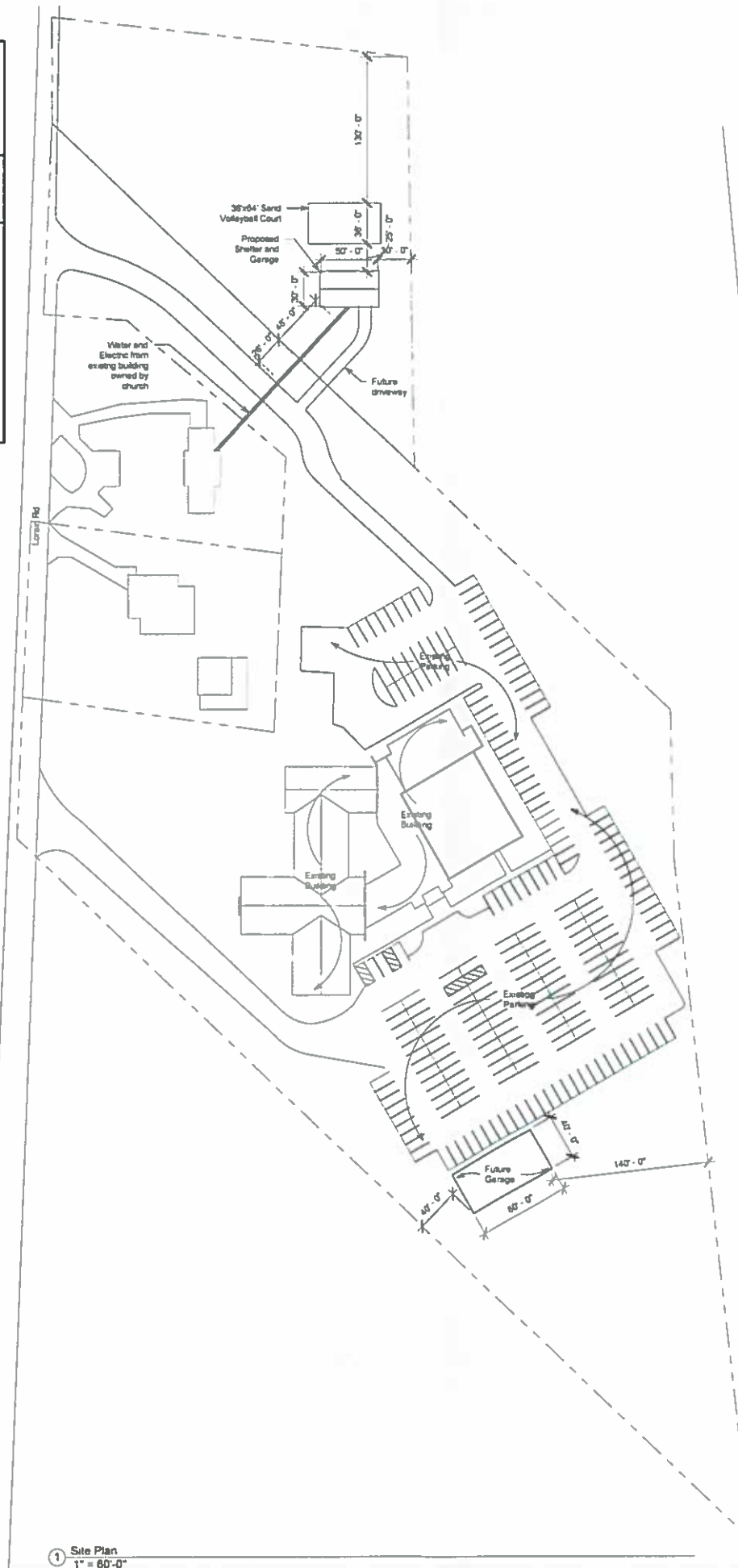
- Kim asked about the future garage marked on the plans and Kevin stated that was going to be in the future and was not regarding the current application. Kim asked how they would handle trash from the pavilion and Kevin stated that they would take it to a dumpster that they had elsewhere on the property. Kim asked about the future driveway and if it would be for loading and unloading only because it wouldn't be wide enough for parking. Dean stated that it would be loading and unloading only and not for parking. He stated that it would be just big enough to back a trailer into the storage area but not turn around space.
- Kim asked about the utility connections on a separate lot and access through the church lot. She mentioned that they would need a deed restriction or to consider lot consolidation. Kim asked if the dwelling on the property was used by the church and Kevin stated that a staff pastor lived in it and it was never rented out.
- Guy stated that the deed restriction could state that both parcels would have to be sold together unless approved by the City.
- Kevin asked if the concern was access or utilities and Christina stated that it was both. She explained that the City had an ordinance that would not allow serving multiple structures with one water tap. She asked about electric and Dean stated that they would use the electric subpanel off of the house and have a circuit for lights and an outlet. Christina stated that she would prefer they ran it off of the church. She explained that their water would have to come from the street. She stated that they couldn't cross multiple parcels for water and that they could only have one structure per connector and they had three parcels. Kevin mentioned maybe consolidating the three parcels into one lot.

Next Steps

- The applicant will look into deed restriction and lot consolidation and propose a method of addressing the multiple parcel concern at the Planning Commission meeting.

PROJECT TEAM

ARCHITECT:
ConnectingSpaces LLC.
Donald A. Highlander
56 Milford Drive, Suite 2
Hudson, OH 44236
V (330) 653-5320
F (330) 653-3520
don@connectingspaces.com



Project Description
Construct an 864 SF open air shelter and 576 SF garage

- Building Code - 2017 Ohio Building Code (2015 IBC, with amendments)
- Structural Code - 2017 Ohio Building Code (2015 IBC, with amendments)
- Fire/Life Safety Code - 2017 Ohio Fire Code (2015 IFC)
- Accessibility code - 2017 OSC Chapter 11, ICC ANS1 117.1 2009 & ADAAG

ORC Chapter 3: Use and Occupancy Classification
ORC 383.1: Use group A, B, C, D

- OBC 303.1 Use group A-3, S-1

IBC Chapter 1: General Building Heights and Areas

- * OBC table 503 - Construction type V-B, not sprinkled

	Tabular Values	Frontage Increase	Sprinkler Increase	Allowable	Proposed
Max height	40'	N/A	N/A	40'	<40' Complies
Max stories above grade	1	N/A	N/A	1	1 story, Complies
Building area/story	5,500 SF	N/A	N/A	5,500 SF	1,500 SF, Complies

- **OBC §49.1** Incidental use states - *repealed*

QBC Chapter 9: Types of Construction

- Table 601 Fire resistance rating requirements for building elements
- Table 601 Structural framing ☐
- Table 601 Bearing walls-interior ☐
- Table 601 Bearing walls-exterior ☐
- Table 602 Nonbearing wall and partitions, exterior greater than 12' to property line ☐
- Table 601 Nonbearing wall and partitions, interior ☐
- Table 601 Floor construction ☐
- Table 601 Roof construction ☐

QBC Chapter 9: Fire Protection System

- DBC 903 Automatic fire sprinkler system is not required
- DBC 907 A fire alarm is not required

QBC Chapter 18: Means of Egress

- **OBC 1004** Design occupant load = 53 = 150/person, tables and chairs

QRC Chapter 11: Accessibility

- **OBC 1101.2** Design compliance with OBC 1101, ICC ANSI 117.1 as amended in OBC 1112 and ADAAG

ORC CHAPTER 21: Wood

- QBC 2383.A.1.1 Roof trusses to be designed by an Ohio Registered Engineer and shop drawings to be sealed and submitted for architect and building department review before fabrication. Provide stringers and bracing per manufacturer's recommendations.

Drawing Index	
Sheet Number	Sheet Name
A101	Cover and Site Plan
S101	Structural Plan
A103	Floor Plan and Elevations
A201	Elevations and Sections
E101	Electrical Power Plan
B101	Sanitary Plan

Cover and Site Plan

Donald A. Highlander #6537
Expiration Date 12/31/2023

[illegible]

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DATE
3/5/2022

G101

General Structural Notes:

Design loads:
Ground snow load: 20 PSF
Design snow load: 20 PSF
Floor live load: 20 PSF
Roof live load: 20 PSF
Ultimate wind speed: 120 PSF
Wind exposure category: C
Wind importance factor: 1.0

Before beginning work the contractor shall verify existing conditions related to the work.
The structure is designed to be self-supporting and stable after the building is fully completed. Employ procedures which will ensure.

Addition of whatever shoring, sheathing, temporary bracing, guys or tie downs which might be necessary. Such material shall remain the contractor's property after completion of the project.

Conforms to these drawings with architectural, mechanical, electrical drawings, and truss manufacturer's shop drawings.

Foundations

The following shall be the minimum required foundation bearing capacity: 1500 PSF

Set foundations at elevations shown, or on firm bearing material of the required capacity.

Remove topsoil until suitable subgrade, provided compacted subgrade as required.

Cast in Place Concrete

Concrete shall develop the following 28 day ultimate strength:

Location	Strength PSI
Foundations	3000
Slabs	4000
Walls	4000

Reinforcing steel bars shall conform to ASTM A615 and exhibit a yield strength (FY) of 60,000 PSI to all bars.

Splices of wall footing reinforcement shall not occur within 5 feet of flooring corners.

Welded wire fabric (WWF) shall conform to ASTM A185. Provide 6x6 - W2 8 x W2 9 WWF in all slabs on grade, unless otherwise noted.

Chamfer exposed edges of concrete 3/4" unless otherwise noted.

Refer to drawings for location and extent of finishes or other treatments to exposed concrete.

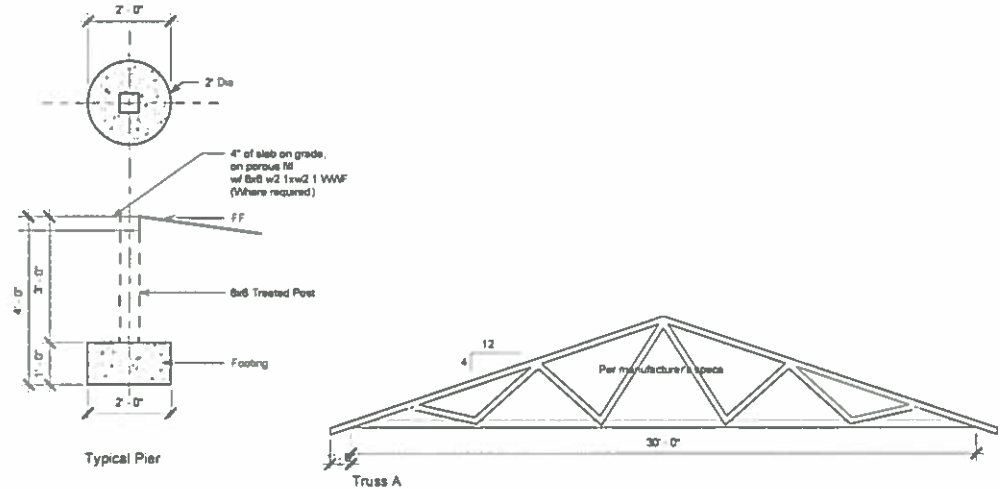
Location	Bar Clearance from Face of Concrete
Concrete against earth	3"
Slabs on ground (BOT Reinforcing)	2"
Slabs on ground (WWF clear from top)	1-1/2" unless noted
Concrete exposed to earth or weather	1-1/2"
#5 bars or smaller	1-1/2"
#6 bars or larger	2"

Table 1
Minimum lap splice and anchorage dimension table (4000 PSI concrete, grade 60 reinforcement)*

Bar size	Lap	Anchorage
#3	15"	12"
#4	20"	12"
#5	25"	15"
#6	31"	18"
#7	39"	23"
#8	51"	30"
#9	63"	36"
#10	82"	48"
#11	101"	58"

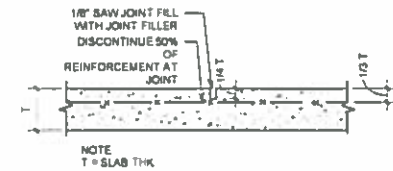
*For 3000 PSI concrete, increase lap length 15 percent.

Wire mesh reinforcement shall lap one mesh size at sides and ends and be wired together. Laps shall be staggered to avoid four mesh thickness at cornering and lap and side lap locations. Formwork may be substituted for wire mesh per manufacturer's specifications.

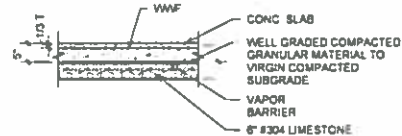


2 Pier (typical)
1/2" = 1'-0"

Truss
1/4" = 1'-0"



4 Typical saw cut detail
3/8" = 1'-0"



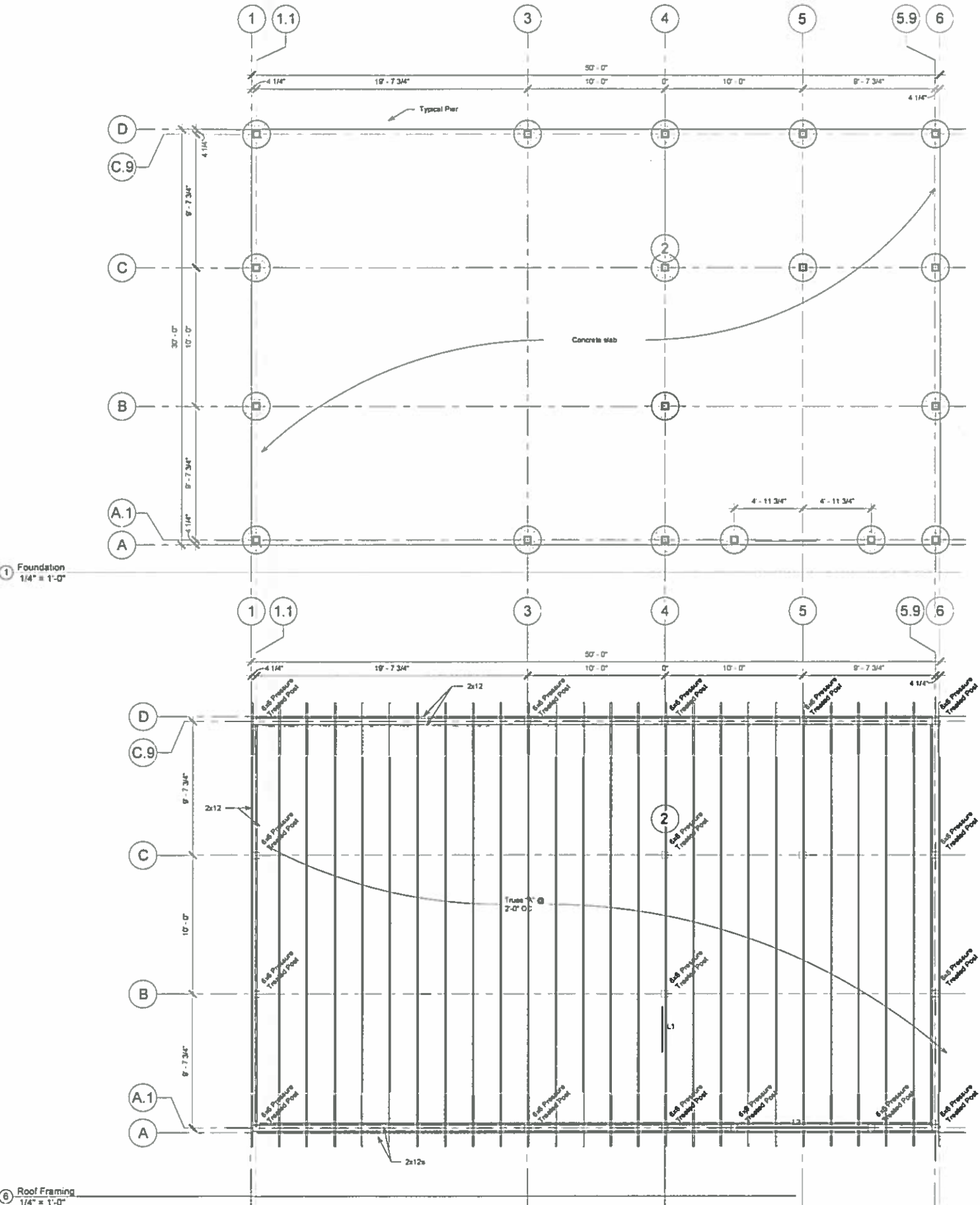
5 Typical slab on grade detail
3/8" = 1'-0"

General Framing Notes

1 Truss Manufacturer to supply truss drawings sealed by a professional engineer for architect review.

Framing Notes

- All framing shall be of visual grade structural lumber southern pine or #2 Pine or Select Structural SPF.
- All framing per all local, state, and national codes, and per manufacturer's specs.
- Contractor to provide temp. bracing during erection of framing and permanent bracing as required.
- Contractor and truss company to field verify dimensions before manufacturing trusses.
- Roof truss ties to top plate to be Simpson HZ 5 Seismic ties @ each truss.
- Provide truss stringers and bracing per manufacturer's recommendations.
- Na // horizontal top chord roof stringers with (3) 1x6s @ each truss.



Structural Plan



Donald A. Highlander #88537
Expiration Date 12/31/2023

REVISION

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1	x/x/x

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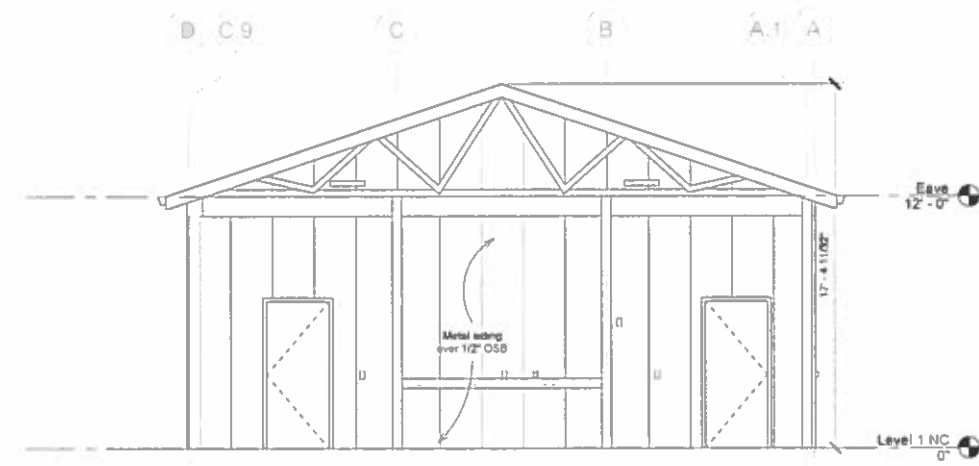
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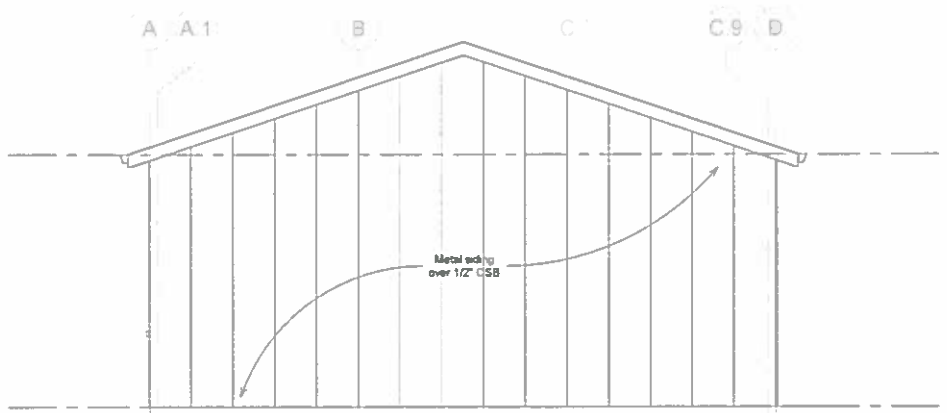
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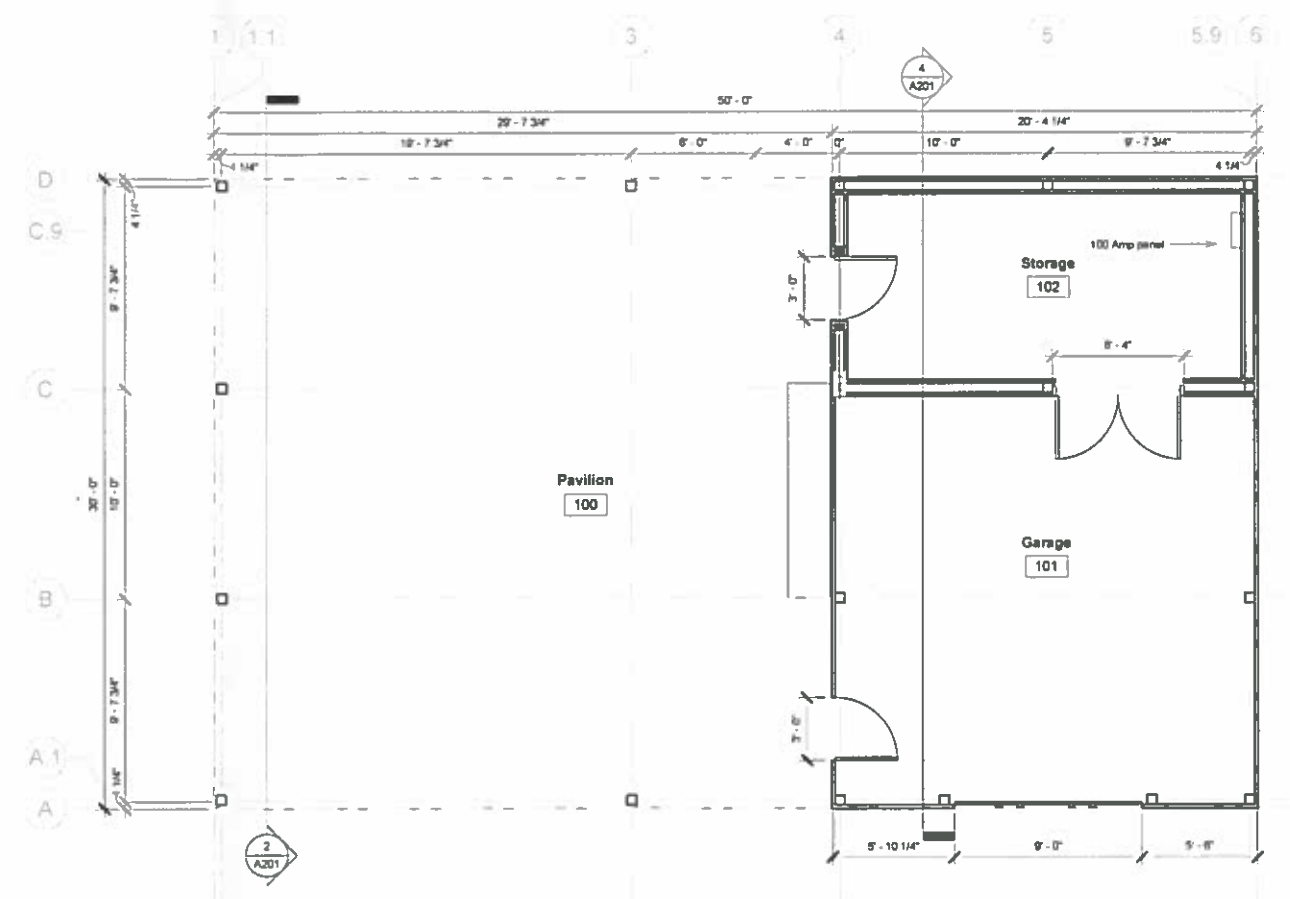
S101



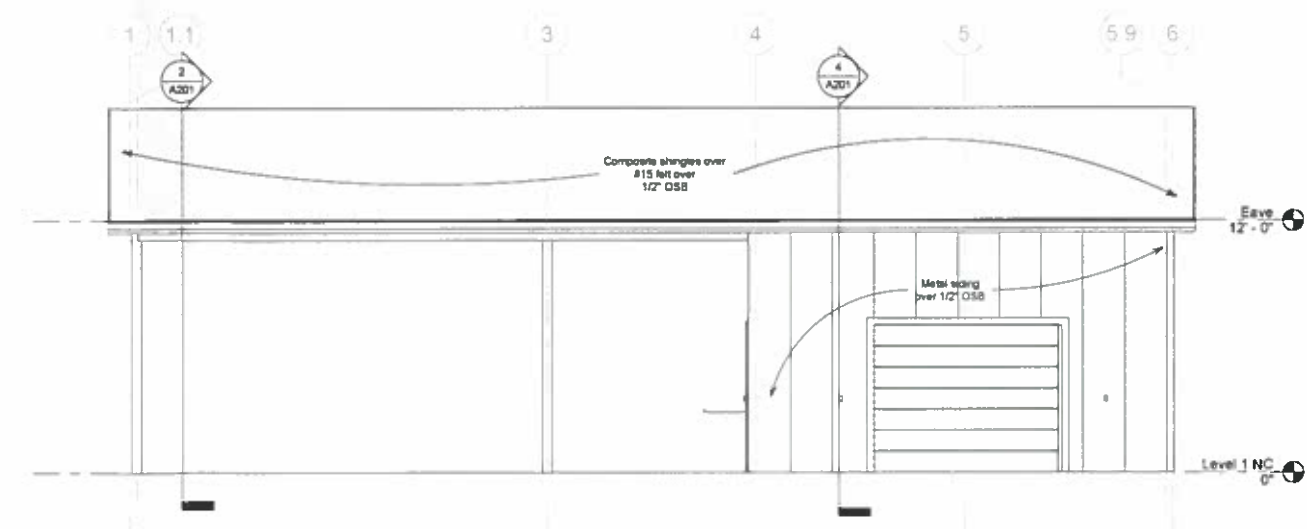
1 Southeast Elevation
1/4" = 1'-0"



3 Northwest Elevation
1/4" = 1'-0"



2 Floor Plan
1/4" = 1'-0"



4 Northeast Elevation
1/4" = 1'-0"



Donald A. Highlander #85337
Expiration Date 12/31/2023

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NO	DATE
1	X/X/X

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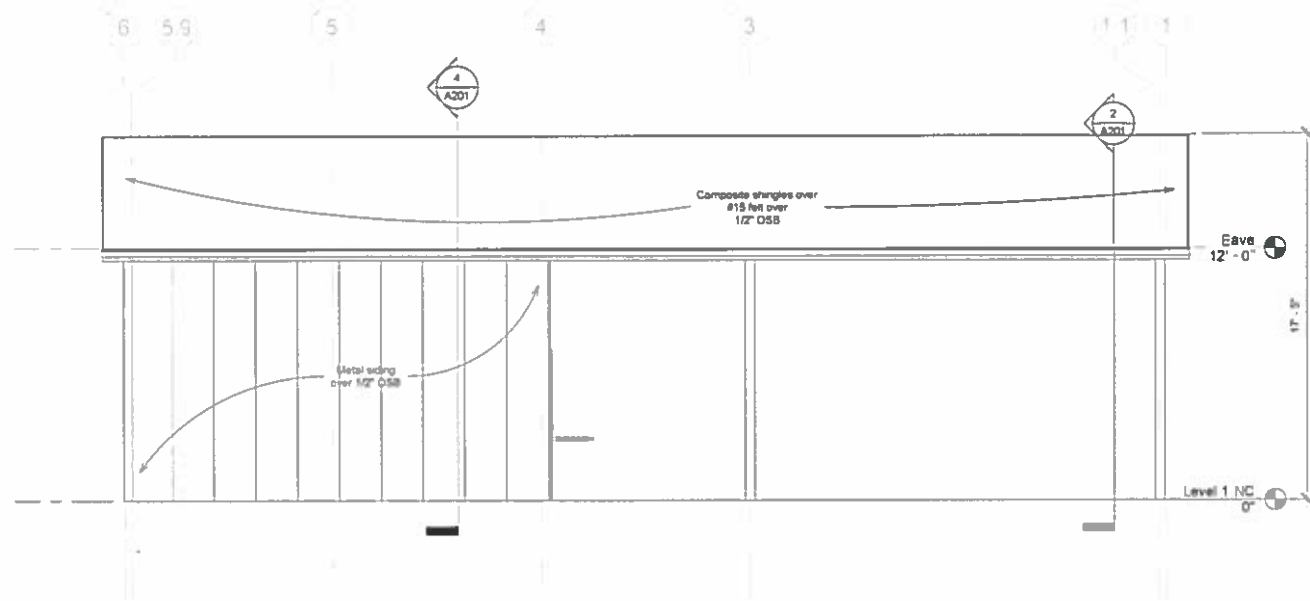
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Floor Plan and
Elevations

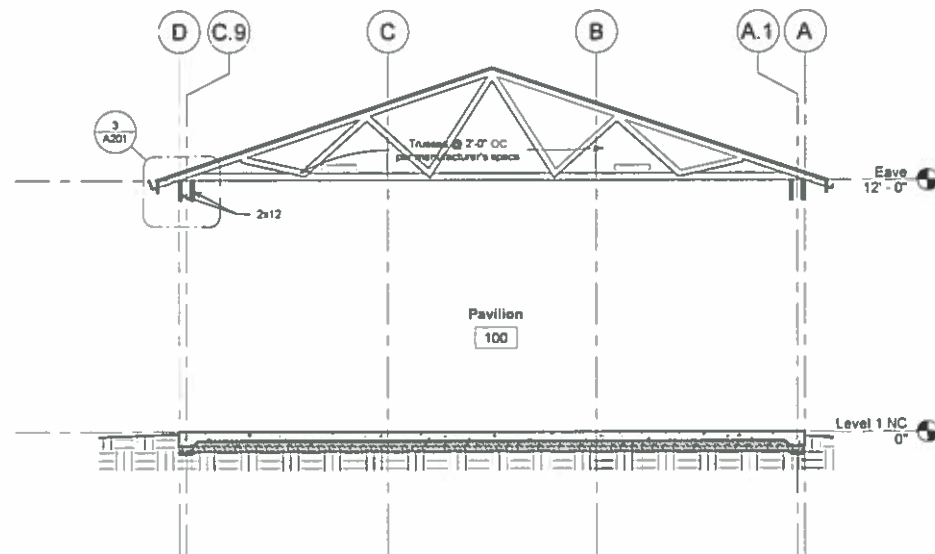


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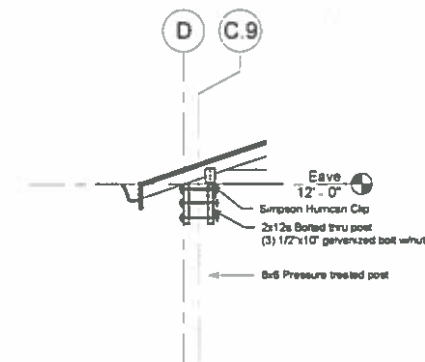
A103



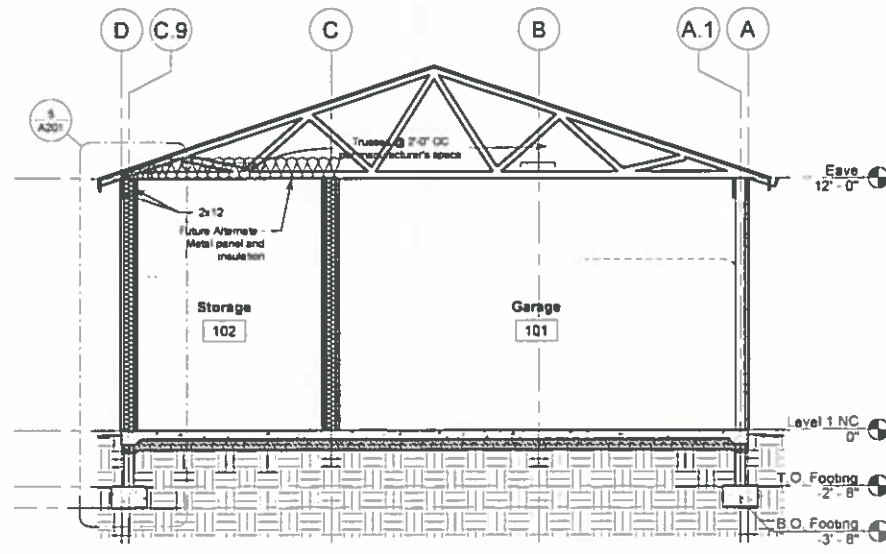
1 Southwest Elevation
1/4" = 1'-0"



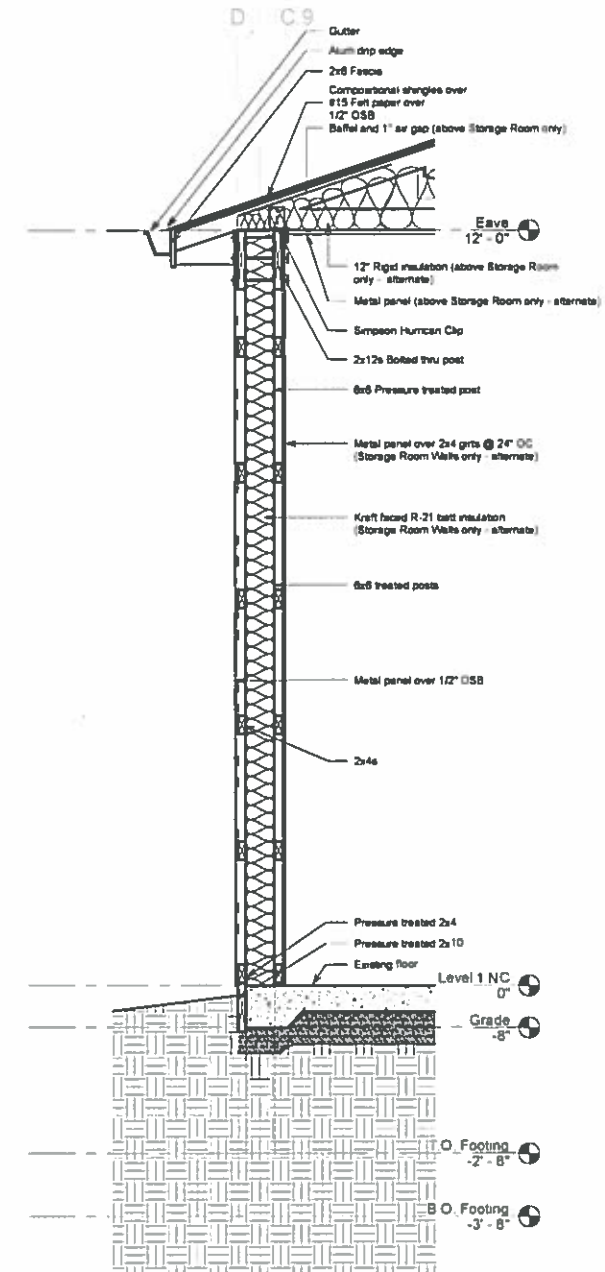
2 Section 2
1/4" = 1'-0"



3 Post and Beam Connection
1/2" = 1'-0"



4 Section 4
1/4" = 1'-0"



5 Wall Section
3/4" = 1'-0"



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Elevations and
Sections



DATE
3/5/2022

A201



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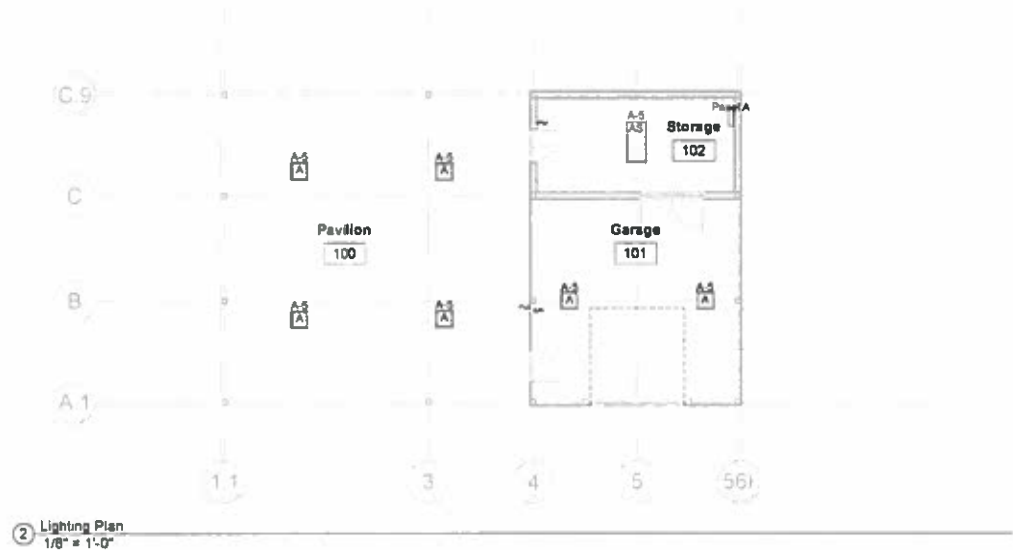
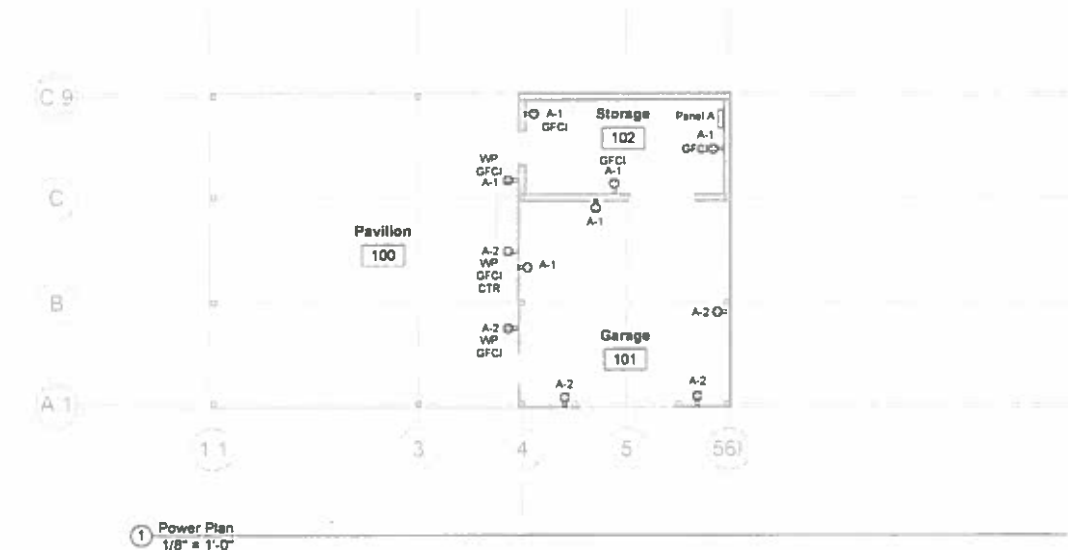
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DATE
3/5/2022

E101



Branch Panel: A

Location:
Supply From:
Mounting: Surface
Enclosure:

Volts: 120/240 Single
Phases: 1
Wires: 3

A.I.C. Rating:
Maine Type:
Maine Rating: 100 A
MCB Rating: 100 A

Notes:

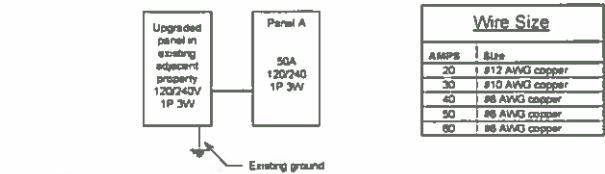
CKT	Circuit Description	Trips	Poles	A	B	Poles	Trips	Circuit Description	CKT
A-1	Power	20 A	1	1080 VA	900 VA	1	20 A	Power	A-2
A-3									A-4
A-5	Lighting	20 A	1	1336 VA					A-6
A-7									A-8
A-9									A-10
A-11									A-12
A-13									A-14
A-15									A-16
A-17									A-18
A-19									A-20
A-21									A-22
A-23									A-24
Total Load:				3278 VA	0 VA				
Total Amps:				27 A	0 A				

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
Lighting	1336 VA	100.00%	1336 VA	Total Conn. Load: 3278 VA
Power	1980 VA	100.00%	1980 VA	Total Est. Demand: 3278 VA
				Total Conn. Current: 14 A
				Total Est. Demand Current: 14 A

Notes:

Lighting Fixture Schedule				
Mark	Lamp	Description	Manufacturer	Model
A	LED	Exterior LED	Lithonia	DSXPOT LED 40C 30K MVOLT
AS	LED	2x4 Surface mounted LED	Lithonia	SBL4 LPB35



- Electrical Schematic Notes:
- General
- All electrical systems to be installed per all local, state, and national codes and per manufacturer's specs
 - Branch circuits to be MC cable or EMT. Raceways in the floor to be non-metallic, encased in concrete
 - Light switches, controls, etc. shall not be located more than 4' AFF for handicapped access
 - Ground fault protection shall be provided for outdoor receptacle outlets & in all restrooms

Symbol Legend			
Symbol	Description	Mount	Model
1	1 - Pole switch	Wall	Hubbell #1221
3	3 - Way switch	Wall	Hubbell #1223
110V	Duplex - 110V	Wall	Hubbell #5362
CTR	Duplex (counter high)	Wall	Hubbell #5362
WP	Duplex, Waterproof	Wall	Hubbell #5362
GFCI	Duplex, Ground Fault	Wall	Hubbell #8300
Floor	Duplex, floor	Floor	Hubbell w/ brass cover
J	Junction box		
Disconnect switch, 'F' indicates fused			

Electrical Power Plan

Plumbing Notes.

- General:
- 1. All work is to be installed per local building codes and approved by local building inspectors.
 - 2. Coordinate connection to existing utilities with the building owner and install per all utility requirements contractor shall obtain and pay for all permits and inspections required for this work.
 - 3. Location of piping and equipment shown on drawings are diagrammatic. Exact locations shall be subject to building construction and interference with other work.

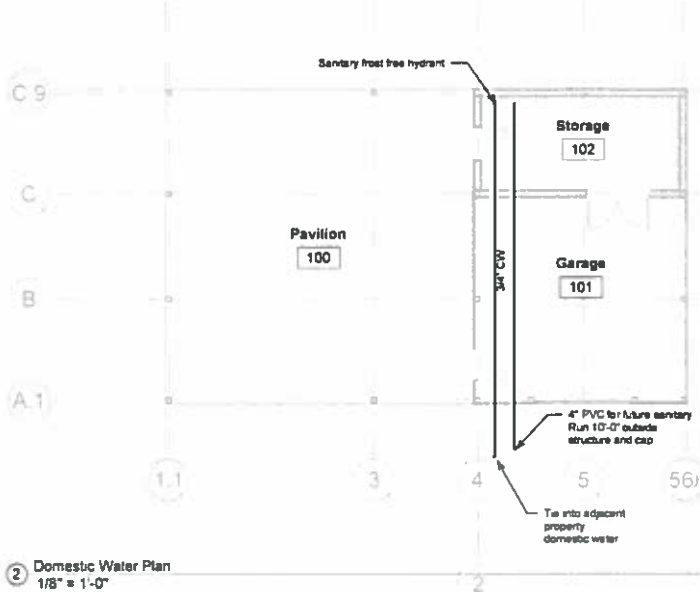
Domestic Water Service

- 1. Domestic hot and cold water piping to be type L seamless copper tubing with cast brass or wrought copper joints, solder to be lead free type. Underground to be Type K copper or plastic.

- 2. Sanitary frost free hydrant - Woodford Manufacturing SS sanitary yard hydrant with 3' depth barrel or equal.

Symbol Legend

HW Hot water
CW Cold water
CO Clean out



Donald A. Highlander #8537
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1	x/x/x

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Plumbing Plan



DATE
3/5/2022

P101

Planning Commission Application



SUBMITTAL INSTRUCTIONS AND PROCEDURES

Plan reviews will be carried out according to the processes described in the City's Zoning Code.

- **Pre-Application.** Prior to making application, applicants are recommended to contact the city to discuss their development project. City staff will outline the review process and provide a checklist of required submittals.
- **Application Submittal.** Following the pre-application meeting, the applicant shall submit this completed application, fee and ten (10) sets of all required exhibits. All submissions shall be made in hard copy to the Building Department. Plans shall be collated, folded and easily legible.
- **Staff Review.** The applicant shall attend a staff review meeting and may be required to submit additional information and/or revised plans based on staff input.
- **Variances.** Where zoning variances are sought by the applicant, review by the Board of Zoning and Building Appeals will be necessary prior to consideration by the Planning Commission, requiring a separate application.
- **Decision or Referral.** Following staff review, complete submittals for Administrative Review projects may be considered for approval. For Council Review projects, complete submittals shall be referred to the next available Planning Commission meeting, which are held the second Tuesday of each month.

PROJECT INFORMATION

Location address

Parcel number

Current zoning

Proposed project

APPLICANT/AGENT INFORMATION

Name/Company

Applicant address

Applicant phone

Applicant email

PROPERTY OWNER INFORMATION

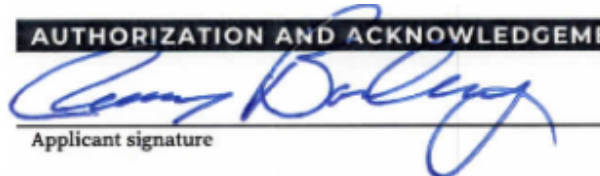
Name/Company

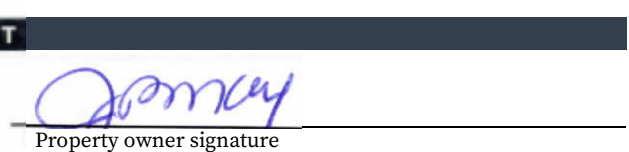
Property owner address

Property owner phone

Property owner email

AUTHORIZATION AND ACKNOWLEDGEMENT


Applicant signature


Property owner signature

I hereby authorize the City of North Ridgeville, including Planning Commission members, to view the premises and consent to their entry onto the property for the purpose of observing site conditions related to review of my application.

OFFICE	PPZ No.	Date Received	ACTION
	Planning Fee Paid	Engineering Fee Paid	



Planning Review

March 28, 2023

Project: Victory Park Cabins
Location: TBD Victory Lane
PPNs: 07-00-003-102-091, 07-00-003-102-090
District: B-4 Commercial Parkway District

Project Summary:

The proposal consists of constructing cabins and an RV campground facility on a vacant 3.51-acre lot and a portion of the adjacent lot to the north in common ownership, which is currently the location of Mulligans Family Fun Center. The properties are zoned B-4 Commercial Parkway District, as is the property to the north and south. Adjacent property to the west is zoned Special Development District and adjacent property to the east (Victory Park) is zoned I-2 Limited Industrial District.

Permitted uses in the B-4 Commercial Parkway District include hotels and motels and “other similar uses which serve the long-distance motoring public.” Since cabin/campground rentals are not specifically listed in the B-4 District or anywhere else in the Zoning Code, and since the character of the use is somewhat different than traditional hotels and motels, it would be appropriate for the Planning Commission to make a determination of similar use in addition to development plan review for this project.

The applicant is proposing a phased approach, with the construction of three cabin clusters and a lodge along with ten RV spaces and a dog run along with parking and drives in the first phase. Areas of the site have been designated for future development.

One curb cut is proposed into the site; however, cross access is shown with the Family Fun Center, including a turnaround drive for RVs. Some existing parking at the Family Fun Center will be lost.

Recommendations:

- Planning Commission should review the use as a similar use.
- Since improvements for the Cabins project crosses the property line, a lot consolidation or deed restriction/cross access agreement is required.
- Indicate paving for new construction area and condition of remaining parking at Family Fun Center.
- Provide planting plan with species, quantities and sizes.
- Proposed ground sign should meet required 12 foot setback from the ROW.
- Provide sidewalk along frontage; provide crosswalk across Victory Lane.
- Provide detail of fencing around dog run.

Planning Commission

APPLICANT GUIDE

COMMISSION AUTHORITY

The Planning Commission is a five member board with the responsibility to hear applications for land use, zoning classifications or districts; to review and recommend legislation and regulations on all matters of municipal planning, land use and zoning; and to review and recommend to Council ordinances creating regulations governing all development and redevelopment, both public and private. The Commission has control over platting and subdividing of lands. The Commission evaluates the plan, design, location, removal, relocation and alteration of buildings and structures located on public lands and along public streets. All plans and recommendations of the Planning Commission must be approved by Council.

APPLICATIONS

Commission meetings are held in Council Chambers at City Hall on the second Tuesday of each month starting at 7:00 p.m. Complete applications must be received at least 25 days prior to a regular meeting to appear on the agenda. To be considered complete, an application must be signed by the property owner, include the required fee and be accompanied by the required plans, exhibits and materials of the type and number listed in the application. All materials submitted become the property of the Commission.

FEES

See the Planning and Zoning Fee Schedule for a complete list of applicable fees for your project.

SUBMITTAL REQUIREMENTS

For residential subdivisions and other platting of property, applicant shall refer to the City's Subdivision Regulations for submittal requirements. For all other projects, Section 1243.05 of the Zoning Code contains the complete list of development plan requirements. Applicants shall submit information responsive to these requirements, as applicable and directed by city staff.

Note that a traffic impact study is required for all developments involving a new use, change of use and/or expansion of use based on trip generation rates and in accordance with the requirements of Chapter 1210.

All drawings for subdivision of property must have the seal of a licensed professional engineer or registered surveyor. Development plans should be stamped by a registered architect or licensed professional engineer. Plats shall be 24 by 36 inches in size. Site improvement plans shall be 22 by 34 inches in size.

NOTICE AND APPEARANCE

The Commission is required to give public notice ten days in advance of a meeting, as well as notice to all parties in interest, including owners of adjoining properties. Applicants and owners are required to attend the meeting where their application is considered.

APPLICANT PRESENTATION

Applicants are expected to submit any documents or information relevant to their request with their application. At the meeting, the applicant, owner or authorized agent (design professional, contractor, attorney, etc.) should be prepared to make a presentation of their project or request and answer questions of the Commission. Adjoining property owners or other interested parties may also make comment or ask questions. Any public comment or questions regarding a project are directed to the Commission chair.

Planning Commission Comment Sheet



PROJECT INFORMATION

Victory Lane Cabin(s)/RV Campground

Proposed project

Victory Lane

Location

4.11.2023

Meeting date

07-00-003-102-091

Parcel number

3.30.2023

Comments due

RECOMMENDATIONS

Type comments here. Attach additional sheets as necessary.

Planning Commission to determine if Campgrounds with RV spaces and cabins is a similar use with hotels.

B-4 zoning allows 25% lot coverage.

No plans were provided for utilities.

Suggest naming drives and assigning addresses for emergency services locating purposes.

SUBMITTED BY

Guy M. Fursdon

Administrative officer signature

Chief Building Official

Title

Planning Commission Bylaws Article V Section 2 – Administrative Review. All applications including those plans and maps submitted to the Commission shall be referred to Administrative Officers. Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Secretary not later than ten (10) calendar days after receipt. Administrative Officers who have not acted within the allotted time shall be deemed to have concurred with plans as submitted.

Planning Commission Comment Sheet



PROJECT INFORMATION

Victory Lane Cabin(s)/RV Campground

Proposed project

Victory Lane

Location

07-00-003-102-091

Parcel number

4.11.2023

3.30.2023

Meeting date

Comments due

RECOMMENDATIONS

Please contact Asst. Chief Mike Uhnak of the North Ridgeville Fire Department to discuss the following code requirements of the Ohio Fire Code and Ch. 16 Fire Prevention of the Codified Ordinance of North Ridgeville. North Ridgeville Fire Department
Fire Prevention
(440)653-6362

- 1- OFC Rule 5 Fire Service Features-
Section 506: Fire Department Lock Box.
Section 503: Fire Access Roads.
Section 507: Fire Protection Water Supply
- 2- OFC Rule 33 Fire Safety During Construction
- 3- NFPA 241 Standards for Safeguarding Construction Operations.
- 4- Chapter 16 Fire Prevention NR Ordinance.
1640.01: Fire Hydrants

Respectfully

Asst. Chief Mike Uhnak

SUBMITTED BY

Administrative officer signature

Assistant Fire Chief

Title

Planning Commission Bylaws Article V Section 2 – Administrative Review. All applications including those plans and maps submitted to the Commission shall be referred to Administrative Officers. Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Secretary not later than ten (10) calendar days after receipt. Administrative Officers who have not acted within the allotted time shall be deemed to have concurred with plans as submitted.

Staff Meeting Bulletin

Meeting Date: March 27, 2023

Project: Victory Lane Cabins/RV Campground

Applicant: Joe Boo Entertainment LLC, Joe Borkey, 9091 Hilo Farm Dr, Mentor, OH 44060

Zoning: B-4 Commercial Parkway District

In Attendance: Mayor Kevin Corcoran
Guy Fursdon, Chief Building Official
Kim Lieber, Planning and Economic Development Director
Christina Eavenson, City Engineer
Tina Wieber, Deputy Clerk of Council
Vic Stewart, Bramhall Engineering
Kevin Kramer, Osborn Engineering
Joe Borkey, Joe Boo Entertainment, LLC

Project Introduction

- Kevin explained that they were proposing building three different types of cabins with the smallest being 12 by 34 feet, around 400 square feet, with a lodge area and RV parking in the back and a turn-around drive in the family golf portion. He stated that the cabins would have a fire ring, picnic table area and their own parking area. He stated that there would be a main lodge area and that in the back would be RV hookups with fire rings and picnic table area for them as well. He stated that each cabin would be a prefabricated unit with a master bedroom, bathroom and screened in porch. He explained that it would be phased with 10 models built for phase one as well as the lodge. He added that phase one would have a capacity for 60 to 65 people.

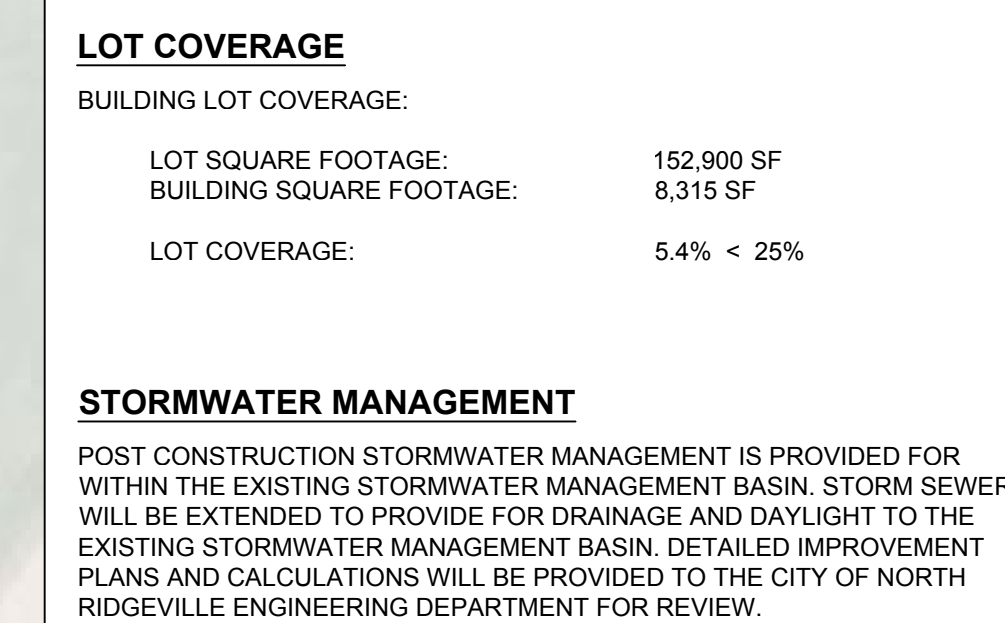
Staff Comments

- Kim stated that in the B-4 District that hotels, motels and accessory uses serving the long-distance motoring public were allowed but that she wanted Planning Commission to evaluate the proposal as a similar use in that RVs were different from motel rooms. She mentioned that plans show the development of a portion of the property to the north. To preserve cross access, they would need a lot consolidation or deed restriction. She asked if the southern entrance would be the cabin entrance. Joe stated that was correct. She added that the turn around drive would need be asphalt along with any of the new parking and drives and needed to be indicated as such on the plans; however, the gravel parking area could remain gravel. She discussed that the landscaping plan would need to indicate the plant species, sizes and quantities of plants. She explained that the ground sign would need to be set back 12 feet from the right-of-way.
- Christine asked if the dog run would have a fence. Joe stated that it would. Kim asked that they show the fence on the plans and provide a spec. Christine asked if they had enquired about the storm water management for the existing pond. Kevin stated that they had not. Christina explained that she would provide the information. She asked for a detailed sewer and water plan connecting all RVs and cabins as it wasn't shown on the plans.
- Christina asked if there would be sidewalk installed. Kevin stated that there was sidewalk going up to the property on either side and that they could add a segment along the frontage. A crosswalk should be provided across Victory Lane. Christina asked about auto-turn. Kevin stated that the turn around drive was designed for a semi-truck and that it was 125 to 150 feet and that vehicles could also loop through the property to the north.

- Guy asked about the lot coverage and stated that B-4 allowed for 25%. Kevin stated that he would put the calculations on the drawing. Guy stated that regarding fire rings, North Ridgeville had a no open burn policy but they could apply for recreational fire permits.

Next Steps

- The applicant will submit supplemental information, including updated site and landscape plans by April 7th.



PLANT LIST

KEY	COMMON NAME	SIZE	QTY
BU WG	WINTERGREEN BOXWOOD	NO. 3	23
CA KF	KARL FOERSTER FEATHER REED GRASS	CLUMP	29
JU SC	MOONGLOW JUNIPER	6' HT.	24

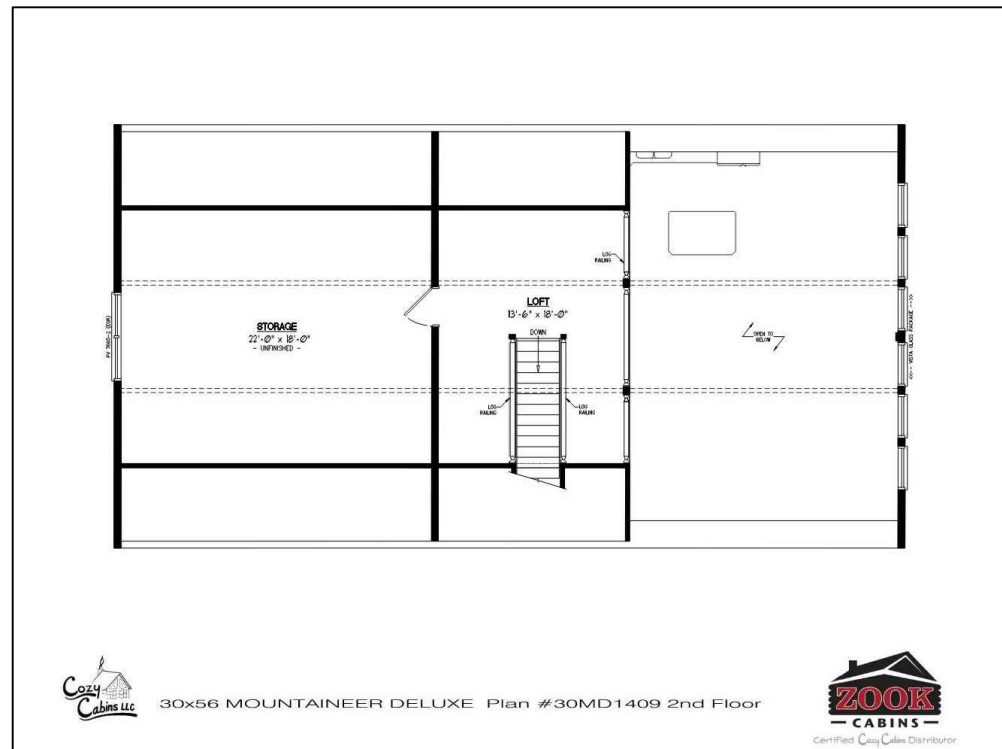
[illegible]

DRAWING NO.

A-100



LODGE - IMAGE 07 - ZOOK "MOUNTAINEER DELUXE" CABIN



LODGE - IMAGE 06 - ZOOK "MOUNTAINEER DELUXE" CABIN UPPER
FLOOR PLAN



CABINS "A" AND CABINS "B" - IMAGE 04 - DEER RUN "ELK" CABIN



CABINS "C" - IMAGE 02 - DEER RUN "MOOSE" CABIN

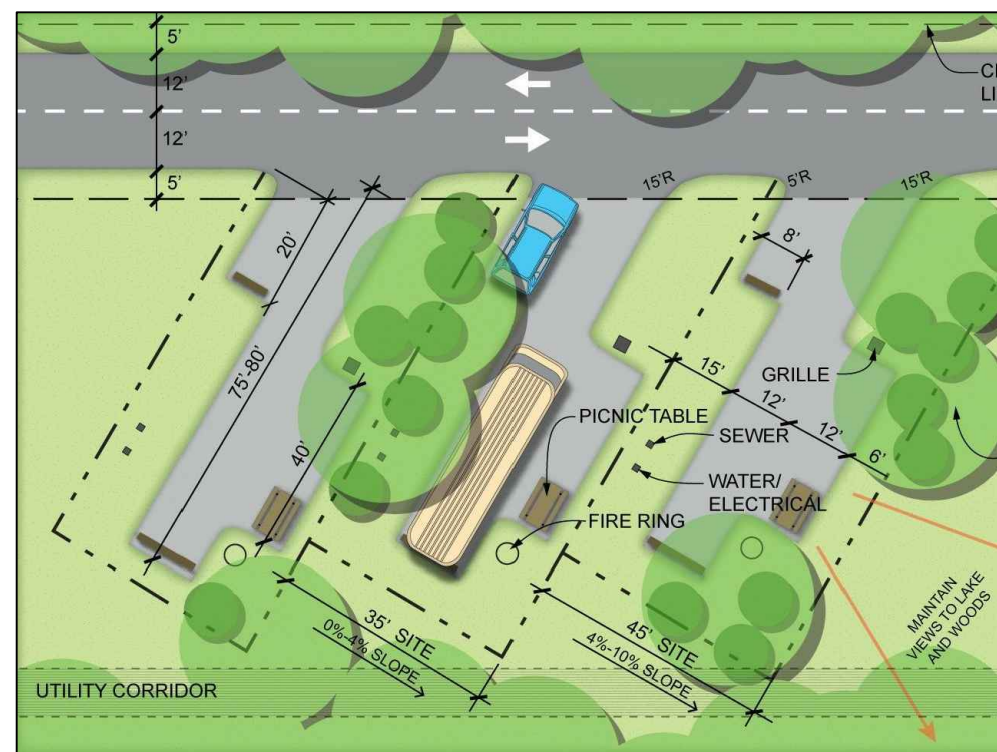
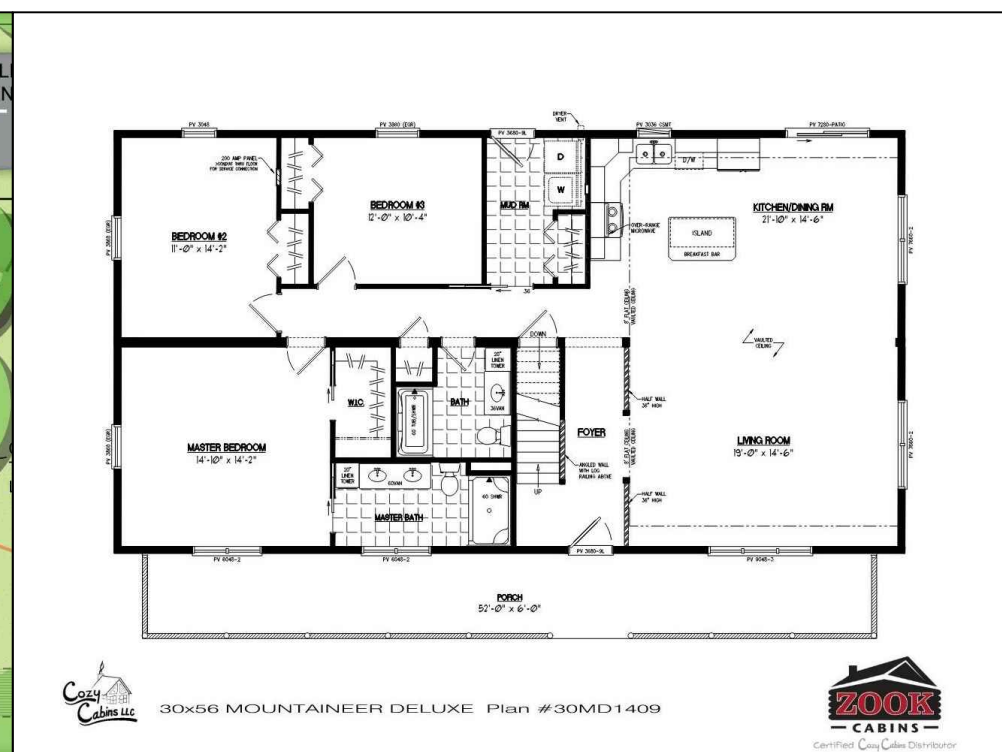
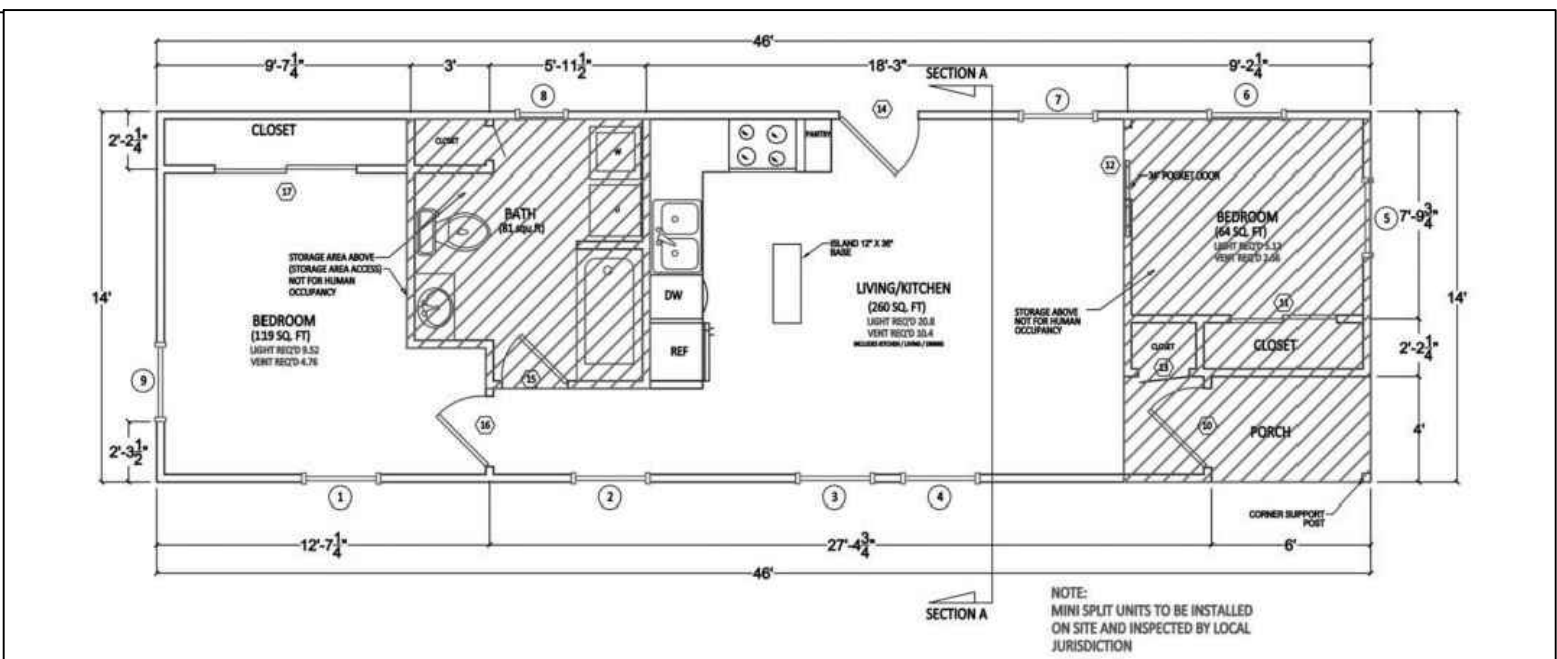


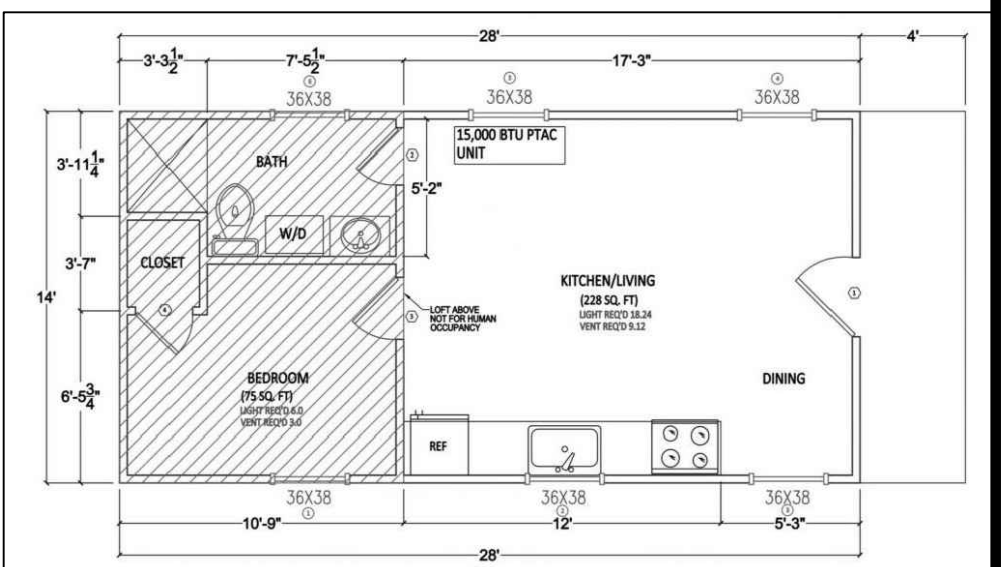
IMAGE 08 - RV PARKING EXAMPLE



LODGE - IMAGE 05 - ZOOK "MOUNTAINEER DELUXE" CABIN FLOOR PLAN



CABINS "A" AND CABINS "B" - IMAGE 03 - DEER RUN "ELK" CABIN FLOOR PLAN



CABINS "C" - IMAGE 01 - DEER RUN "MOOSE" CABIN FLOOR PLAN

[illegible]

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CHECKED BY	CHK
CLIENT PROJ NO.	
OSBORN PROJ NO.	J20221606.000

CABINS
REFERENCE
IMAGES

DRAWING NO.

A-301

CABINS "A" ARE MODELED AFTER THE DEER RUN "ELK" CABIN,
14' X 46'.

CABINS "B" ARE MODELED AFTER THE DEER RUN "ANTELOPE" C
CONFIGURATION - THREE "ELK" CABINS.

CABINS "C" ARE MODELED AFTER THE DEER RUN "MOOSE" CABIN,
14' X 28'.

LODGE IS MODELED AFTER THE ZOOK MOUNTAINEER DELUXE CABIN,
30' X 56' WITH SECOND FLOOR.



JOEBOO
ENTERTAINMENT

NORTH RIDGEVILLE
OHIO

[illegible]

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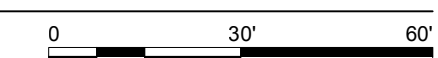
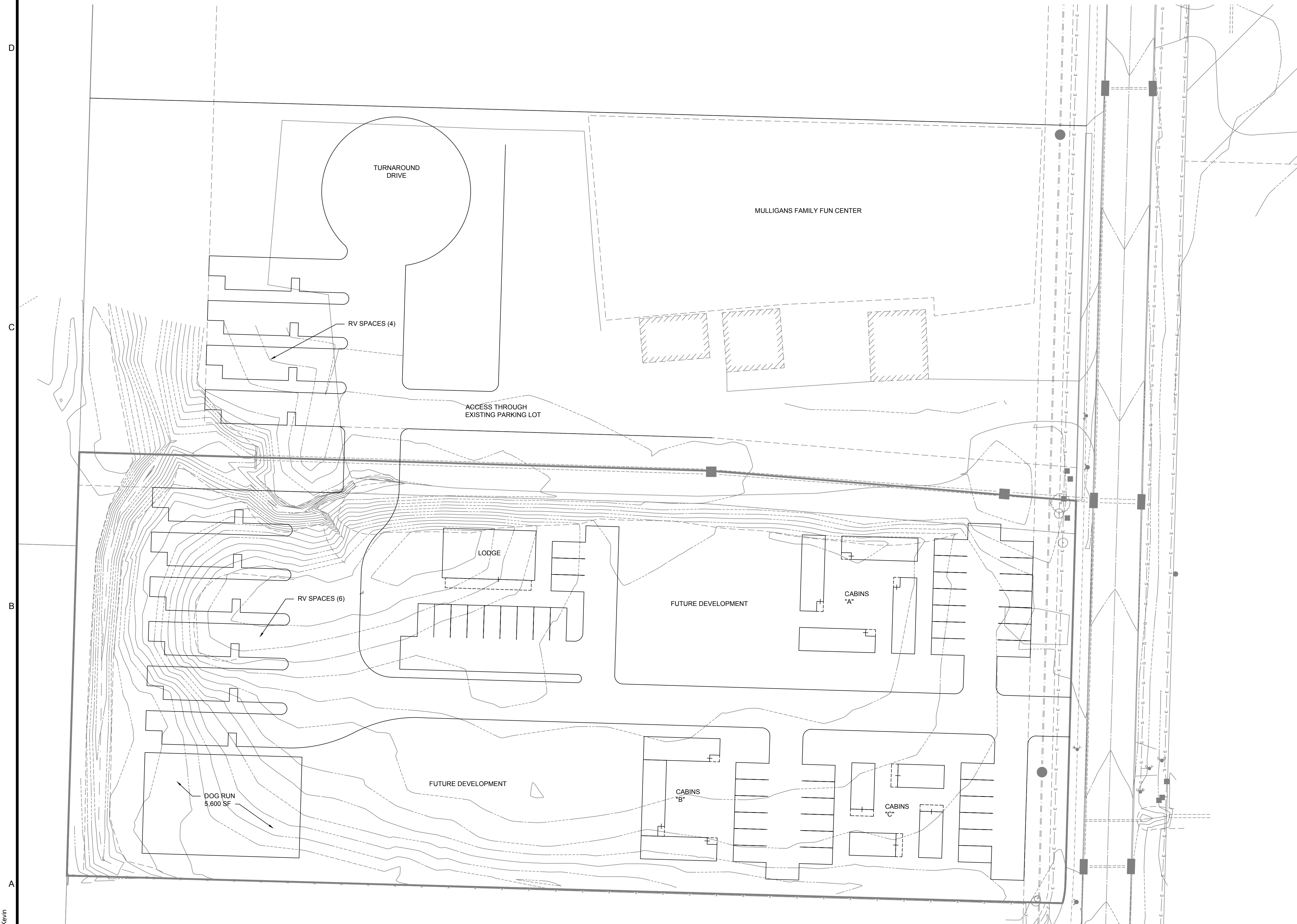
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CHECKED BY	CHK
CLIENT PROJ NO.	
OSBORN PROJ NO. J20221606.000	

CABINS

SITE PLAN

DRAWING NO.

A-101



1

VICTORY PARK CABINS SITE PLAN

SCALE: 1" = 30'

L:\Proposals\Private - Commercial\JoeBoo.000\20230309 Victory Park - Cabins - A101.dwg
3/10/2023 12:35 PM
Cramer, Kevin



IMAGE 07 - ZOOK "MOUNTAINEER DELUXE" CABIN

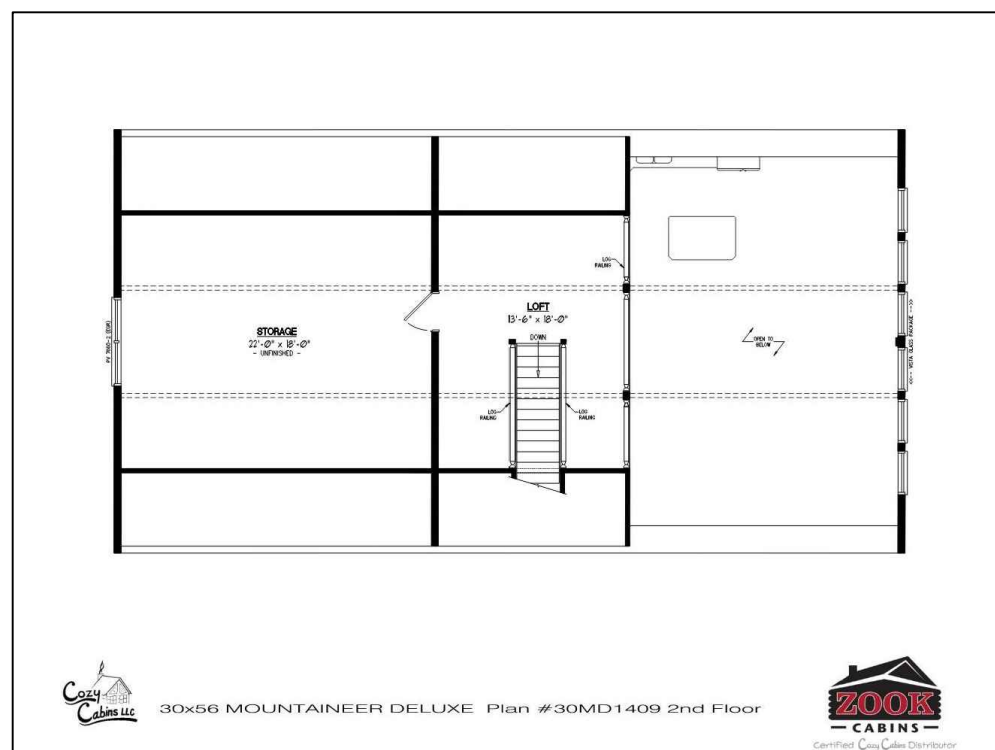


IMAGE 06 - ZOOK "MOUNTAINEER DELUXE" CABIN UPPER FLOOR PLAN



IMAGE 04 - DEER RUN "ELK" CABIN



IMAGE 02 - DEER RUN "MOOSE" CABIN

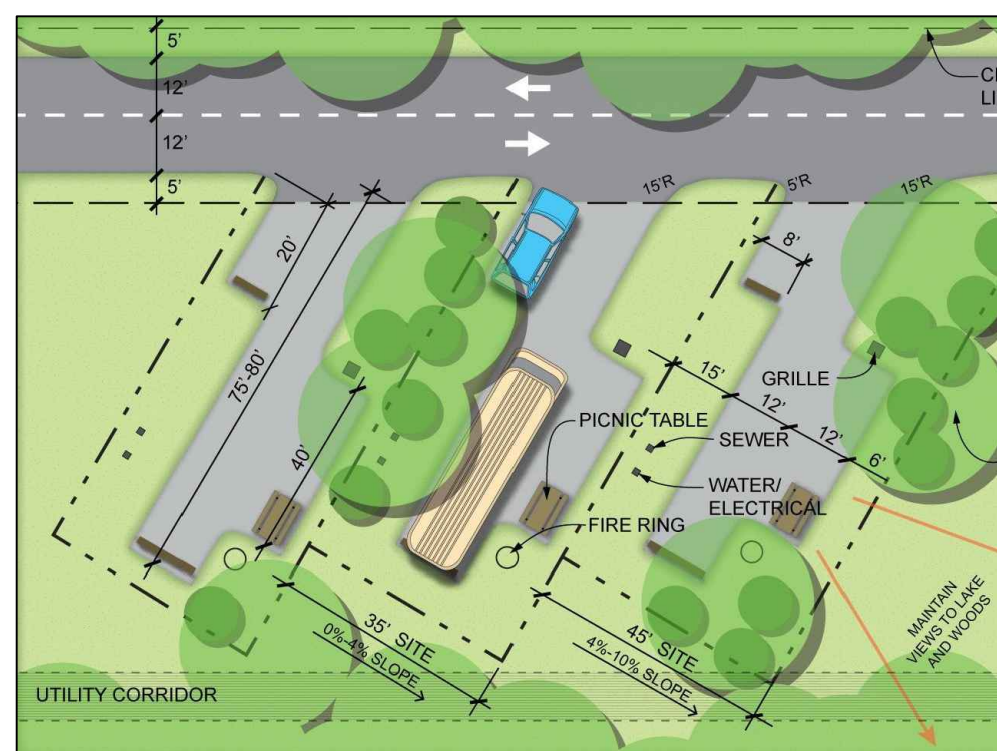


IMAGE 08 - RV PARKING EXAMPLE

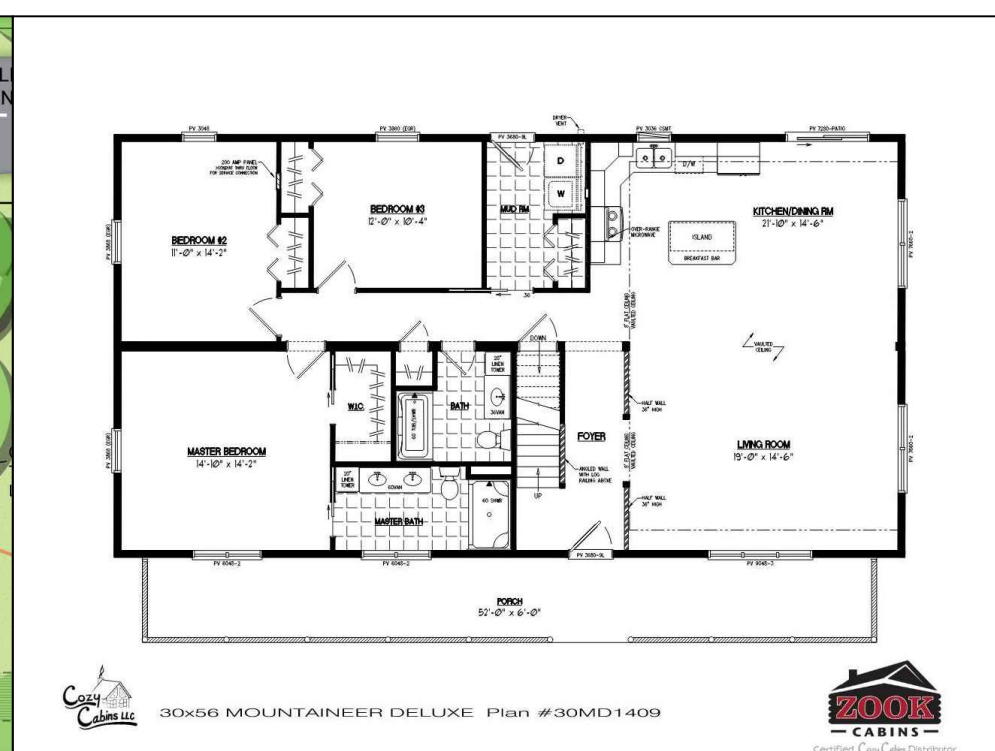


IMAGE 05 - ZOOK "MOUNTAINEER DELUXE" CABIN FLOOR PLAN

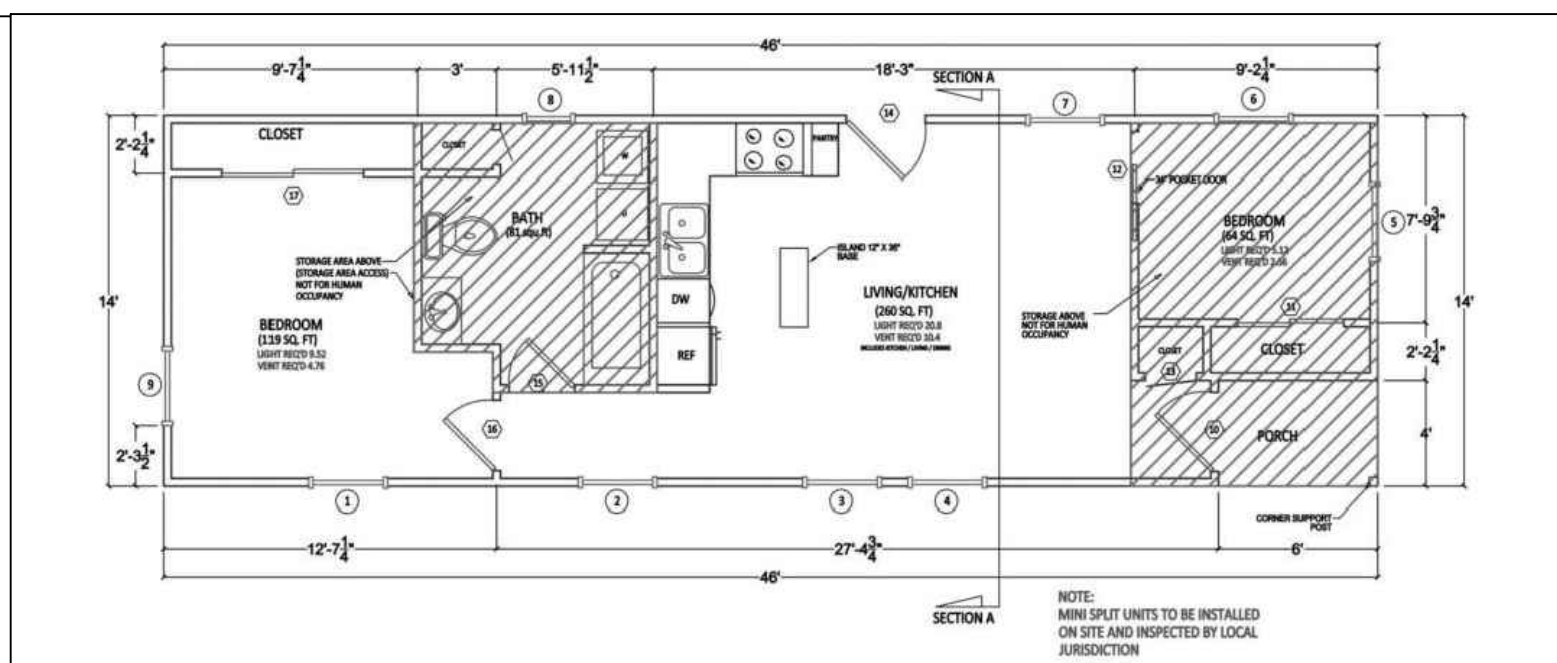


IMAGE 03 - DEER RUN "ELK" CABIN FLOOR PLAN

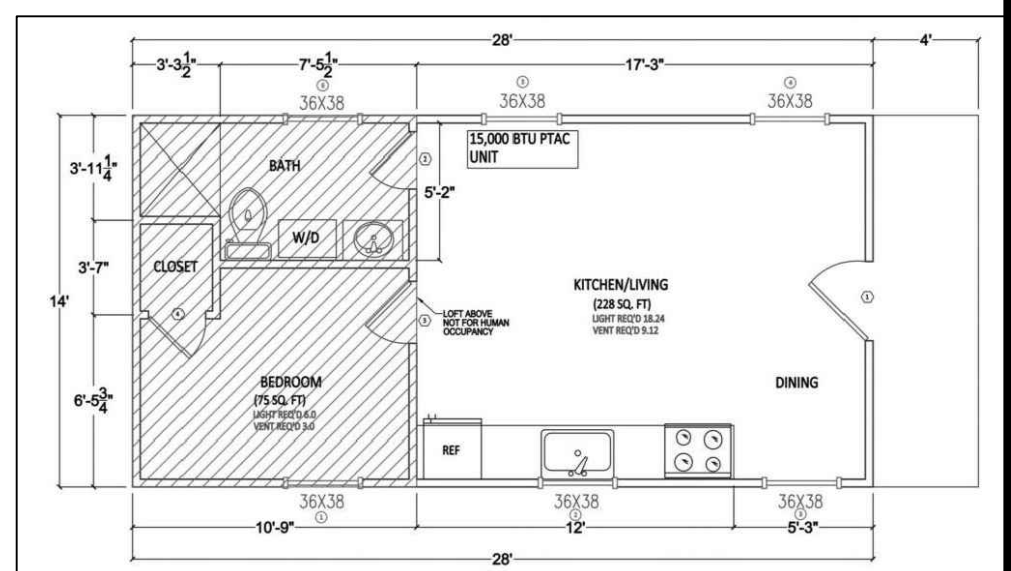


IMAGE 01 - DEER RUN "MOOSE" CABIN FLOOR PLAN



VICTORY PARK CABINS

JOEBOO
ENTERTAINMENT

NORTH RIDGEVILLE
OHIO

[illegible]

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CLIENT PROJ NO.	
OSBORN PROJ NO.	J20221606.000

CABINS
REFERENCE
IMAGES

DRAWING NO.

A-301

J:\225846B Joe Boo Entertainment, LLC\DRAWINGS\Existing Conditions.dwg, Plotted: Feb 08, 2025 - 10:41am

REVISION	DATE	BY	DESCRIPTION
	01-30-2023	APA	ISSUE TO CLIENT
	02-08-2023	APA	ADDED BORE LOCATIONS

DRAWN BY:	JLT
CHECKED BY:	VES

BRAMHALL

ENGINEERING AND SURVEYING COMPANY

801 MOORE ROAD AVON, OHIO 44011

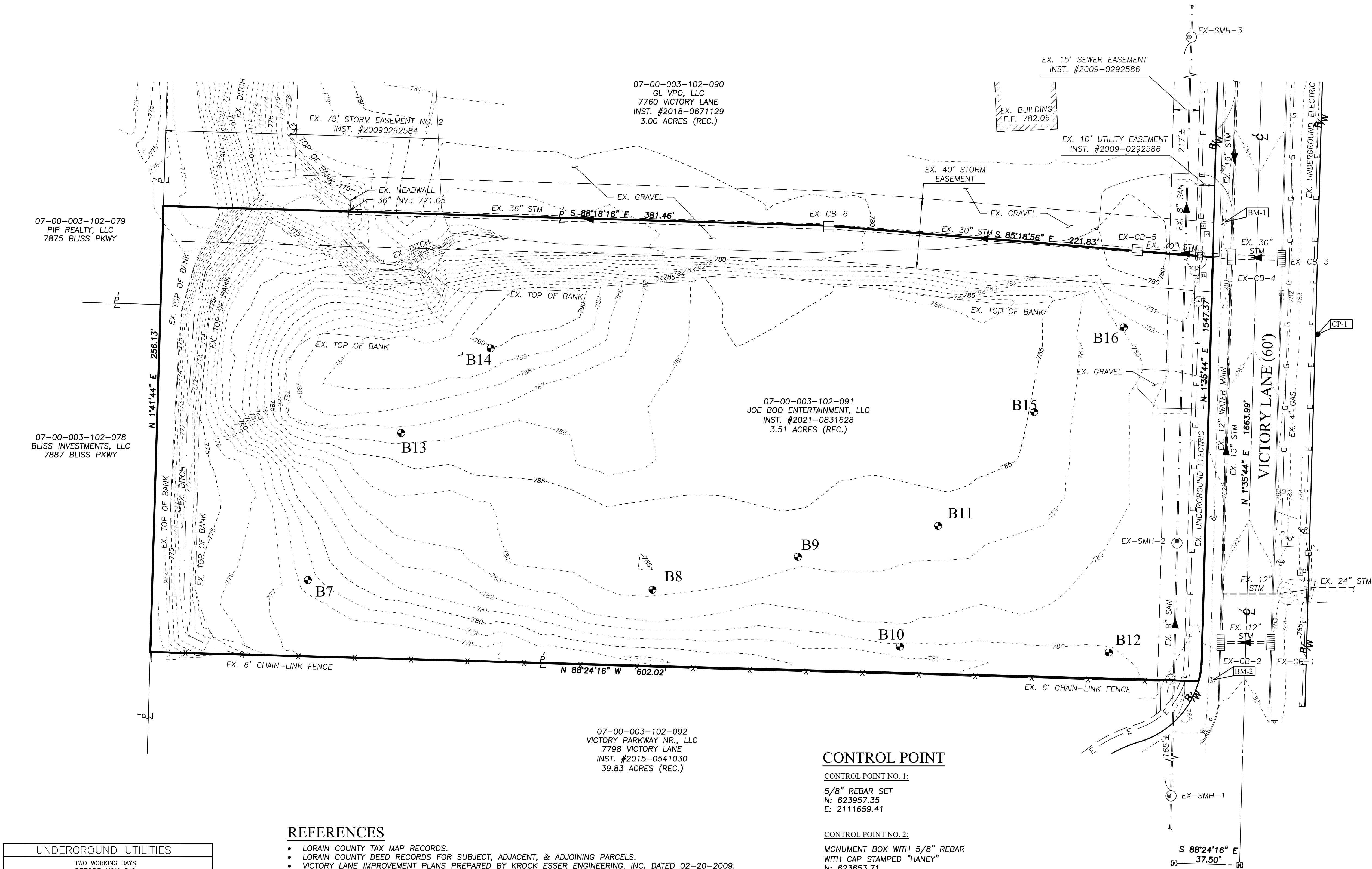
(440) 934 - 7878 (440) 934 - 7879 FAX

PREPARED FOR:

JOE BOO ENTERTAINMENT, LLC
9091 HILO FARM DRIVE
MENTOR, OHIO 44060

VICTORY PARK CABIN BUILDOUT
EXISTING CONDITIONS
CITY OF NORTH RIDGEVILLE, COUNTY OF LORAIN,
STATE OF OHIO

SHEET
1 OF 1
JOB NO.
22-5846B



LEGEND

PROPERTY LINE

EASEMENT

CENTERLINE DITCH/CREEK

EX. STORM

EX. FENCE

EX. 1FT CONTOUR

EX. 5FT CONTOUR

EX. CATCH BASIN

EX. YARD DRAIN

EX. ELECTRIC BOX

EX. POST/BOLLARD

EX. TREE (DECIDUOUS)

EX. TREE (CONIFER)

EX. BUSH

IRON PIN

BENCHMARKS

BENCHMARK No. 1:
TOP TURN NUT ON HYDRANT
ELEVATION = 783.66

BENCHMARK No. 2:
TOP TURN NUT ON HYDRANT
ELEVATION = 786.00

EXISTING SANITARY STRUCTURE TABLE

STRUCTURE NAME	RIM	INVERT(S)
EX-SMH-1	RIM 785.23	8" PVC (N) INV.: 772.73 8" PVC (S) INV.: 772.73
EX-SMH-2	RIM 781.35	8" PVC (N) INV.: 771.05 8" PVC (S) INV.: 771.05
EX-SMH-3	RIM 781.23	8" PVC (S) INV.: 768.93 8" PVC (N) INV.: 768.93

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EX-CB-3	RIM 780.34	30" RCP (W) INV.: 774.89
EX-CB-4	RIM 780.34	15" RCP (N) INV.: 775.79 15" RCP (S) INV.: 775.79 30" RCP (E) INV.: 774.74 30" HDPE (W) INV.: 774.74
EX-CB-5	RIM 779.20	30" HDPE (E) INV.: 774.05 30" HDPE (W) INV.: 774.05
EX-CB-6	RIM 779.25	30" HDPE (E) INV.: 772.75 36" HDPE (W) INV.: 772.60

DATUM:

OHIO STATE PLANE COORDINATE SYSTEM
NORTH ZONE (3401)
HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD 88

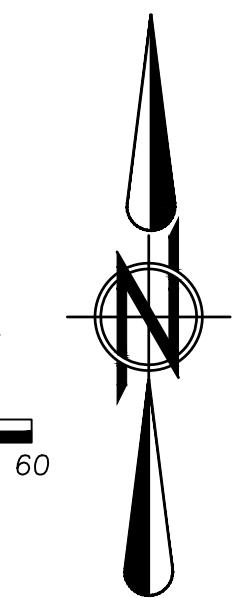
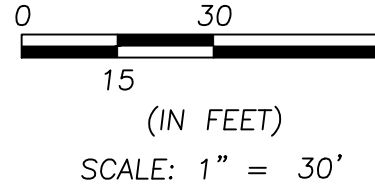
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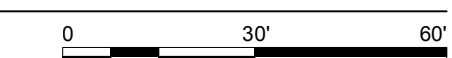
A BOUNDARY SURVEY PURSUANT TO CHAPTER 4733-37 OF THE OHIO ADMINISTRATIVE CODE HAS NOT BEEN PERFORMED BY BRAMHALL ENGINEERING & SURVEYING COMPANY. THIS PLAN IS BASED UPON AVAILABLE COUNTY INFORMATION.

EXISTING UNDERGROUND UTILITIES NOTE:

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GRAPHIC SCALE

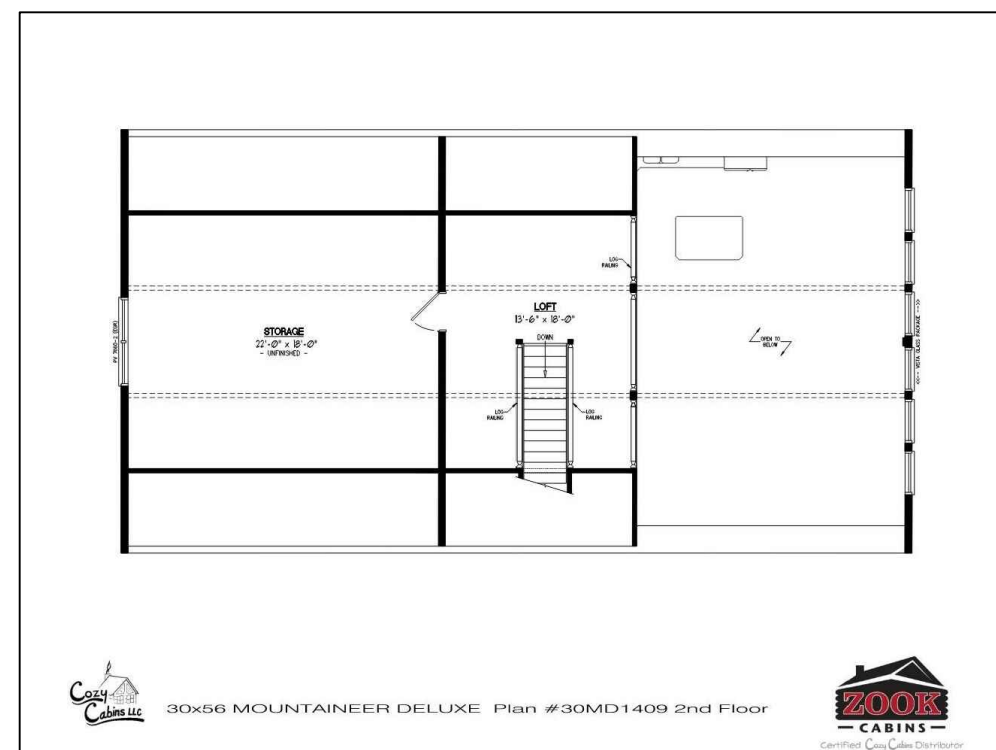




A-100



LODGE - IMAGE 07 - ZOOK "MOUNTAINEER DELUXE" CABIN



LODGE - IMAGE 06 - ZOOK "MOUNTAINEER DELUXE" CABIN UPPER
FLOOR PLAN



CABINS "A" AND CABINS "B" - IMAGE 04 - DEER RUN "ELK" CABIN



CABINS "C" - IMAGE 02 - DEER RUN "MOOSE" CABIN

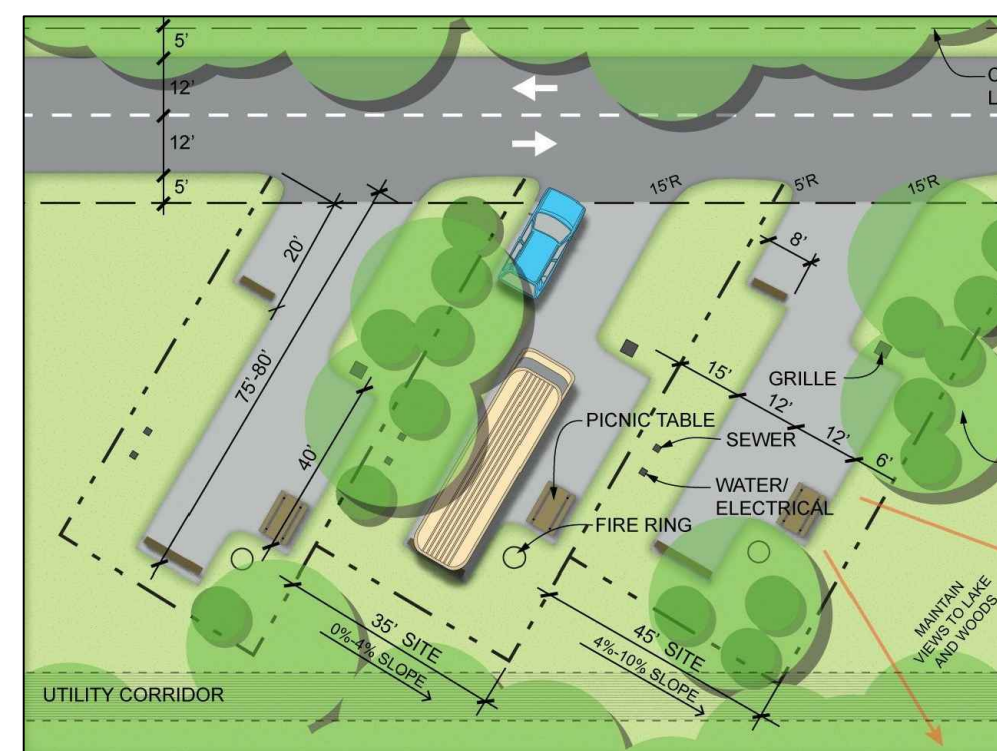
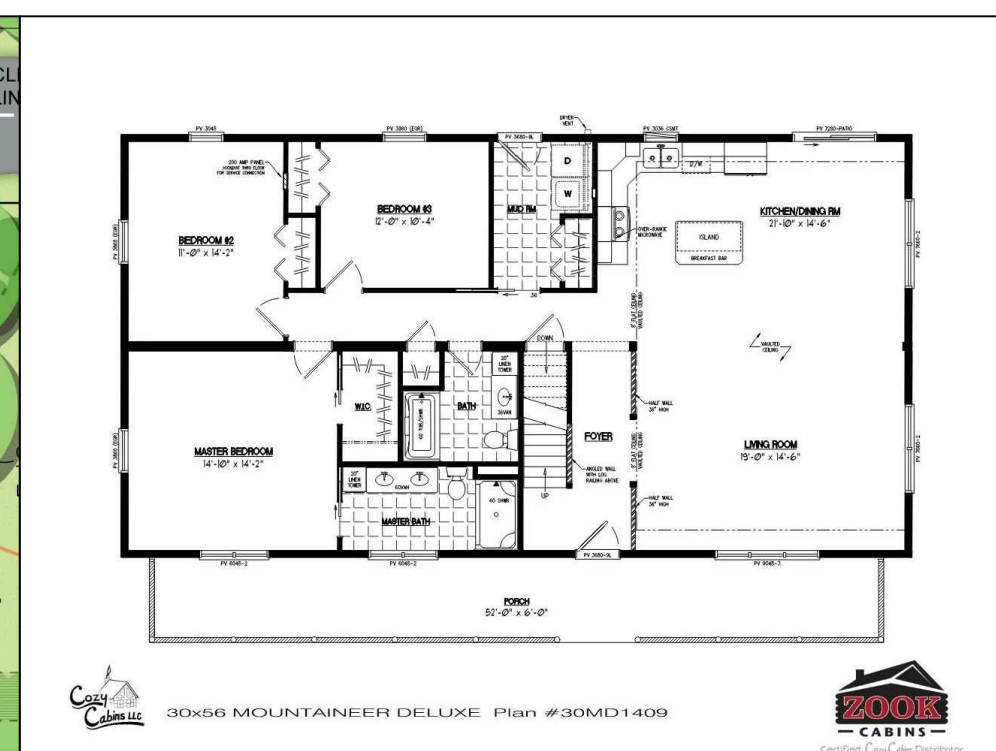
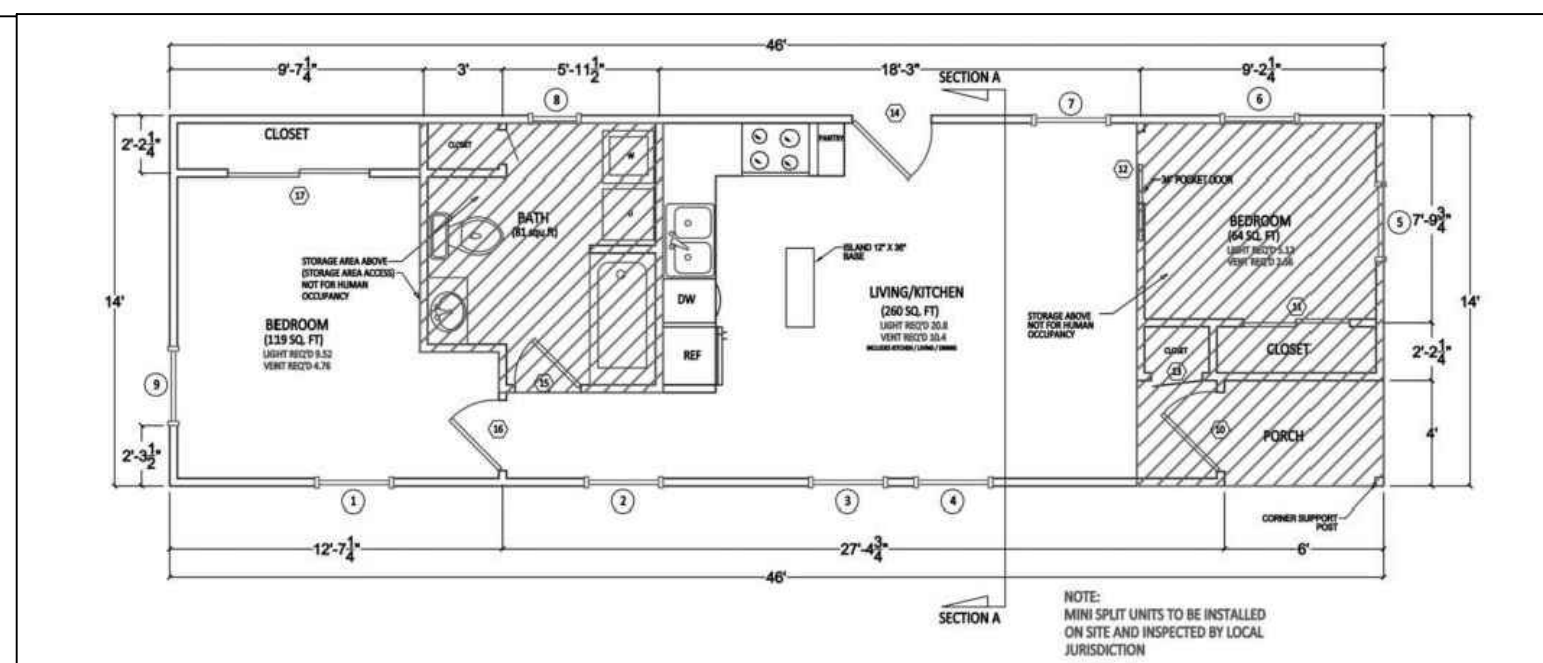


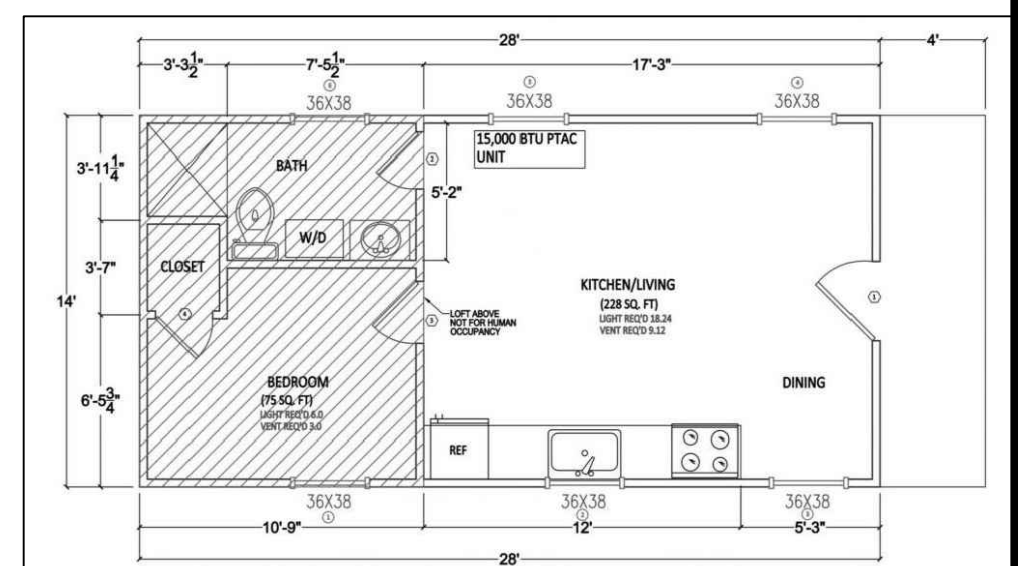
IMAGE 08 - RV PARKING EXAMPLE



LODGE - IMAGE 05 - ZOOK "MOUNTAINEER DELUXE" CABIN FLOOR PLAN



CABINS "A" AND CABINS "B" - IMAGE 03 - DEER RUN "ELK" CABIN FLOOR PLAN



CABINS "C" - IMAGE 01 - DEER RUN "MOOSE" CABIN FLOOR PLAN



VICTORY PARK CABINS

JOEBOO
ENTERTAINMENT

NORTH RIDGEVILLE
OHIO

[illegible]

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CHECKED BY	CHK
CLIENT PROJ NO.	
OSBORN PROJ NO.	J20221606.000

CABINS REFERENCE IMAGES

DRAWING NO.

A-301

J:\225846B Joe Boo Entertainment, LLC\DRAWINGS\Auto\dm.dwg, Plotted: Apr 11, 2023 - 9:02am

REVISION

DATE	BY	DESCRIPTION
04-11-2023	APA	ISSUE TO CLIENT AND CITY FOR REVIEW

DRAWN BY:
JLT

CHECKED BY:
VES

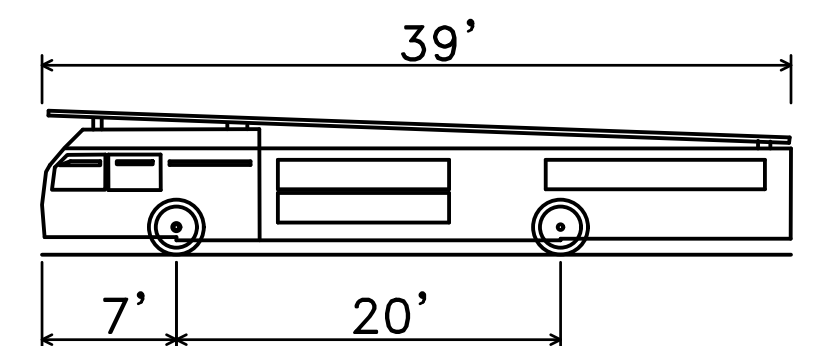
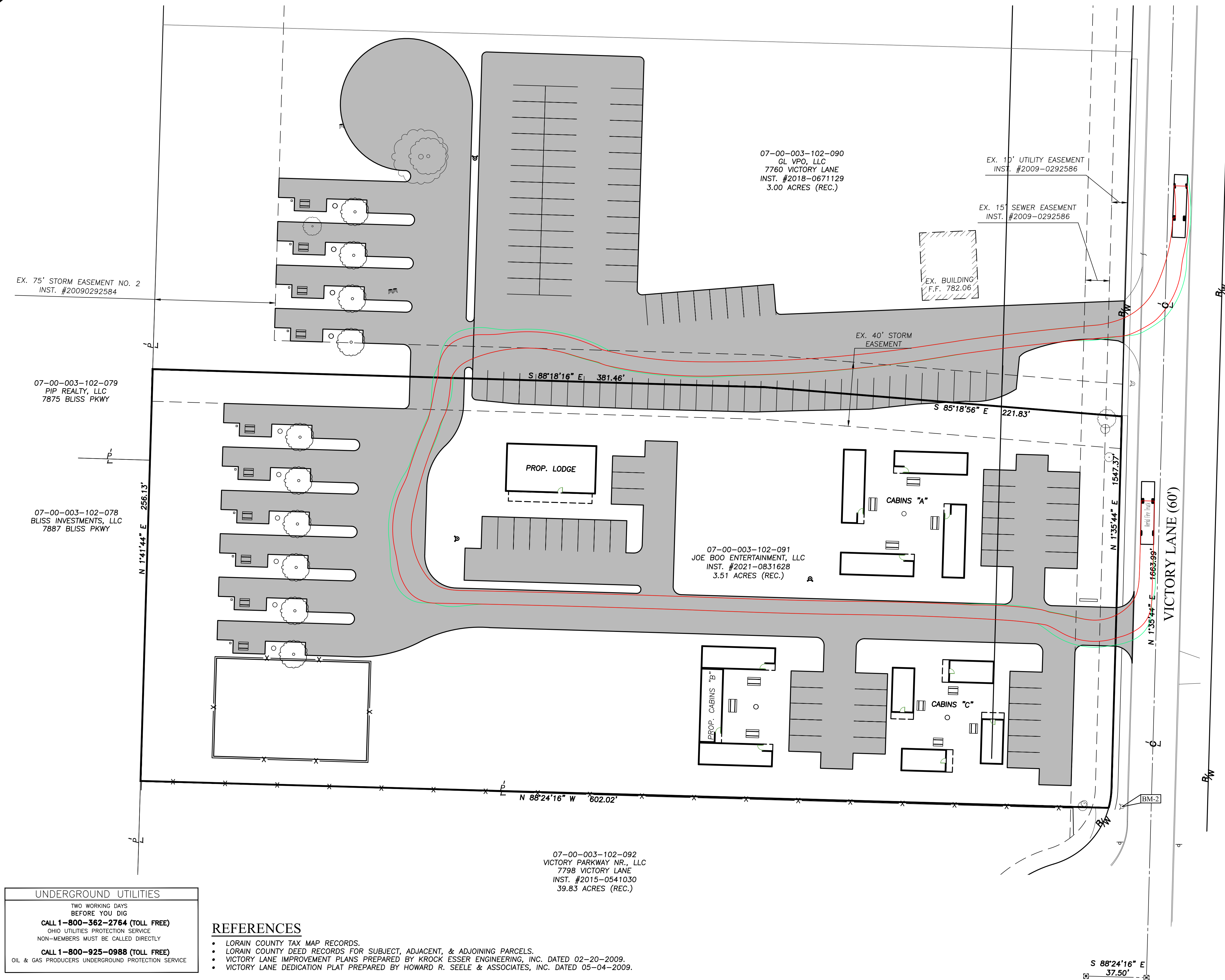
BRAMHALL
ENGINEERING AND SURVEYING COMPANY
801 MOORE ROAD AVON, OHIO 44011
(440) 934 - 7878 (440) 934 - 7879 FAX

PREPARED FOR:
JOE BOO ENTERTAINMENT, LLC
9091 HILO FARM DRIVE
MENTOR, OHIO 44060

VICTORY PARK CABIN BUILDOUT
FIRE TRUCK EXHIBIT
CITY OF NORTH RIDGEVILLE, COUNTY OF LORAIN,
STATE OF OHIO

SHEET
C2.1

JOB NO.
22-5846B



Aerial Fire Truck
Overall Length 39.000ft
Overall Width 8.167ft
Overall Body Height 7.500ft
Min Body Ground Clearance 0.750ft
Track Width 8.167ft
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°

FIRETRUCK PROFILE
- NOT TO SCALE -



GRAPHIC SCALE
0 15 30 60
(IN FEET)
SCALE: 1" = 30'



J:\225648B Joe Boo Entertainment LLC\Drawings\Utility Plan.dwg, Plotted Apr 11, 2023 - 9:26am

REVISION

DATE	BY	DESCRIPTION
04-11-2023	APA	ISSUE TO CLIENT

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JLT

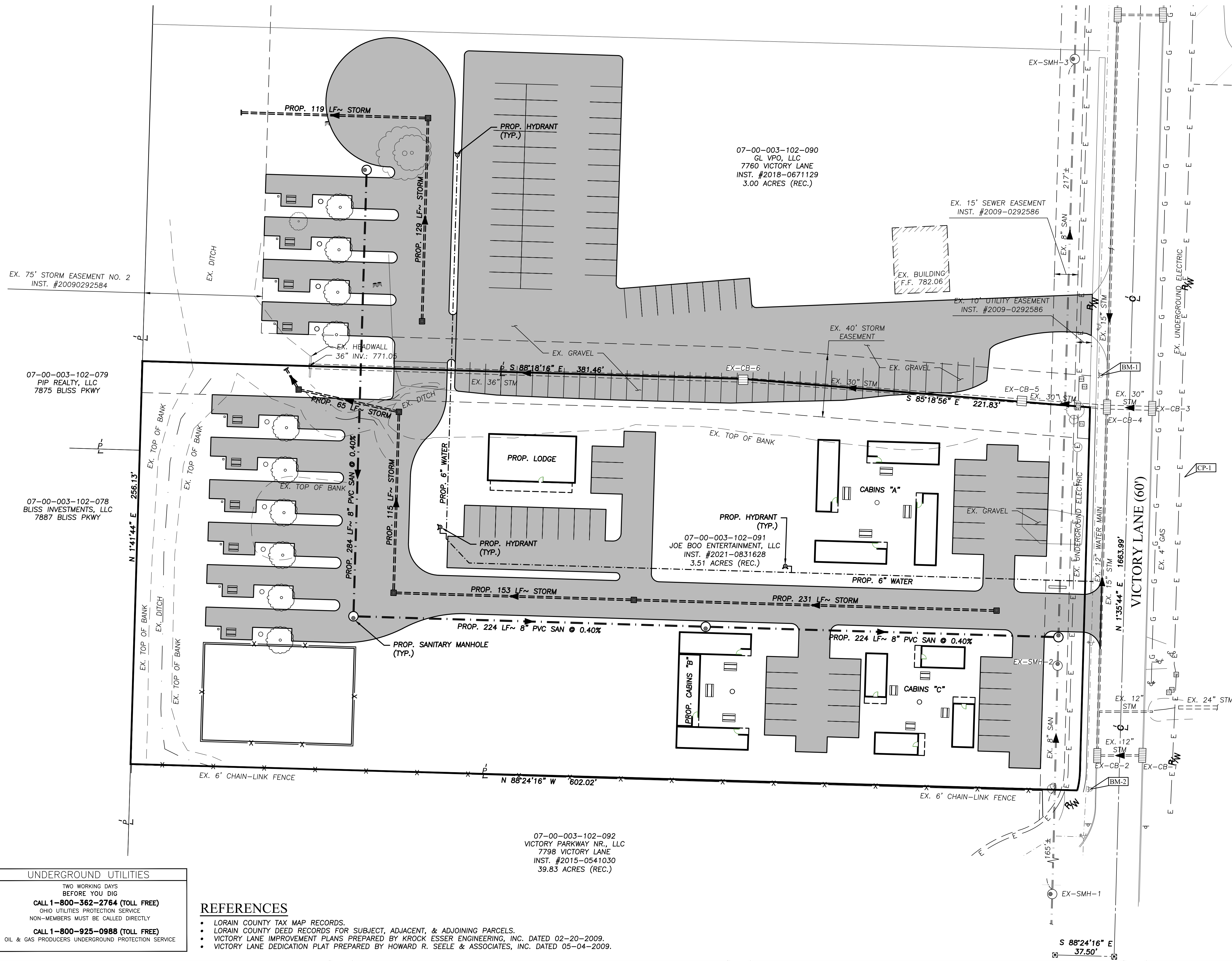
CHECKED BY:
VES

BRAMHALL
ENGINEERING AND SURVEYING COMPANY
801 MOORE ROAD AVON, OHIO 44011
(440) 934 - 7878 (440) 934 - 7879 FAX

PREPARED FOR:
JOE BOO ENTERTAINMENT, LLC
9091 HILO FARM DRIVE
MENTOR, OHIO 44060

VICTORY PARK CABIN BUILDOUT
OVERALL UTILITY PLAN
CITY OF NORTH RIDGEVILLE, COUNTY OF LORAIN,
STATE OF OHIO

SHEET
C3.0
JOB NO.
22-5846B



LEGEND

	PROPERTY LINE
	EASEMENT
	CENTERLINE DITCH/CREEK
	EX. STORM
	EX. FENCE
	EX. 1FT CONTOUR
	EX. 5FT CONTOUR
	EX. CATCH BASIN
	EX. YARD DRAIN
	EX. ELECTRIC BOX
	EX. POST/BOLLARD
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	EX. TREE (CONIFER)
	EX. BUSH
	IRON PIN

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ELEVATION = 783.66

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DATUM:

OHIO STATE PLANE COORDINATE SYSTEM
NORTH ZONE (3401)
HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD 88

SURVEY NOTE:

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CONTROL POINT

CONTROL POINT NO. 1:

5/8" REBAR SET
N: 623957.35
E: 2111659.41

CONTROL POINT NO. 2:

MONUMENT BOX WITH 5/8" REBAR
WITH CAP STAMPED "HANEY"
N: 623653.71
E: 2111577.02

GRAPHIC SCALE

0 15 30 60
(IN FEET)
SCALE: 1" = 30'



Planning Commission Application



SUBMITTAL INSTRUCTIONS AND PROCEDURES

Plan reviews will be carried out according to the processes described in the City's Zoning Code.

- **Pre-Application.** Prior to making application, applicants are recommended to contact the city to discuss their development project. City staff will outline the review process and provide a checklist of required submittals.
- **Application Submittal.** Following the pre-application meeting, the applicant shall submit this completed application, fee and ten (10) sets of all required exhibits. All submissions shall be made in hard copy to the Building Department. Plans shall be collated, folded and easily legible.
- **Staff Review.** The applicant shall attend a staff review meeting and may be required to submit additional information and/or revised plans based on staff input.
- **Variances.** Where zoning variances are sought by the applicant, review by the Board of Zoning and Building Appeals will be necessary prior to consideration by the Planning Commission, requiring a separate application.
- **Decision or Referral.** Following staff review, complete submittals for Administrative Review projects may be considered for approval. For Council Review projects, complete submittals shall be referred to the next available Planning Commission meeting, which are held the second Tuesday of each month.

PROJECT INFORMATION

7777 Victory Ln

Location address

07-00-003-102-107

39.83 acres

Parcel number

I 2 Light Industrial

Current zoning

Storage Garage

Proposed project

APPLICANT/AGENT INFORMATION

PMJ Park Holdings LLC - Joe Borkey

Name/Company

7777 Victory Ln., North Ridgeville, OH 44039

Applicant address

440-477-3311

Applicant phone

jborkey@victoryparkohio.com

Applicant email

PROPERTY OWNER INFORMATION

City of North Ridgeville

Name/Company

7307 Avon Belden Road, North Ridgeville, OH 44039

Property owner address

440-353-0867

Property owner phone

klieber@nridgeville.org

Property owner email

AUTHORIZATION AND ACKNOWLEDGEMENT


Applicant signature


Property owner signature

I hereby authorize the City of North Ridgeville, including Planning Commission members, to view the premises and consent to their entry onto the property for the purpose of observing site conditions related to review of my application.

OFFICE	PPZ No.	Date Received	ACTION
	Planning Fee Paid	Engineering Fee Paid	



Planning Review

March 28, 2023

Project: Victory Park – Storage Garage
Location: 7777 Victory Lane
PPNs: 07-00-003-102-107
District: I-2 Light Industrial District

Project Summary:

The proposal consists of constructing a new storage garage at Victory Park. The property is zoned I-2 Light Industrial District, but is currently used for ballfields. Property to the west is zoned B-4 Commercial Parkway District. Victory Park is owned by the City of North Ridgeville.

The building will be 80 feet by 80 feet, or 6,400 square feet in size, and will be used to house equipment and materials currently stored in containers at the park. The building will be metal panel with a blue metal roof to match the other structures on site. To provide access, a concrete drive from the cul-de-sac of Victory Lane will be installed.

Recommendations:

None

Planning Commission Comment Sheet



PROJECT INFORMATION

Victory Lane Maintenance Garage

Proposed project

7777 Victory Lane

Location

4.11.2023

Meeting date

07-00-003-102-107

Parcel number

3.30.2023

Comments due

RECOMMENDATIONS

Type comments here. Attach additional sheets as necessary.

Appears to be code compliant.

SUBMITTED BY

Guy M. Fursdon

Administrative officer signature

Chief Building Official

Title

Planning Commission Bylaws Article V Section 2 – Administrative Review. All applications including those plans and maps submitted to the Commission shall be referred to Administrative Officers. Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Secretary not later than ten (10) calendar days after receipt. Administrative Officers who have not acted within the allotted time shall be deemed to have concurred with plans as submitted.

Planning Commission Comment Sheet



PROJECT INFORMATION

Victory Lane Maintenance Garage

Proposed project

7777 Victory Lane

Location

07-00-003-102-107

Parcel number

4.11.2023

Meeting date

3.30.2023

Comments due

RECOMMENDATIONS

Please contact Asst. Chief Mike Uhnak of the North Ridgeville Fire Department to discuss the following code requirements of the Ohio Fire Code and Ch. 16 Fire Prevention of the Codified Ordinance of North Ridgeville. North Ridgeville Fire Department
Fire Prevention
(440)653-6362

- 1- OFC Rule 5 Fire Service Features-
Section 506: Fire Department Lock Box.
Section 503: Fire Access Roads.
Section 507: Fire Protection Water Supply
- 2- OFC Rule 33 Fire Safety During Construction
- 3- NFPA 241 Standards for Safeguarding Construction Operations.
- 4- Chapter 16 Fire Prevention NR Ordinance.
1640.01: Fire Hydrants

Respectfully

Asst. Chief Mike Uhnak

SUBMITTED BY

Administrative officer signature

Assistant Fire Chief

Title

Planning Commission Bylaws Article V Section 2 – Administrative Review. All applications including those plans and maps submitted to the Commission shall be referred to Administrative Officers. Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Secretary not later than ten (10) calendar days after receipt. Administrative Officers who have not acted within the allotted time shall be deemed to have concurred with plans as submitted.

Staff Meeting Bulletin

Meeting Date: March 27, 2023

Project: 7777 Victory Lane storage building

Applicant: PMJ Park Holdings, LLC, Borkey, 9091 Hilo Farm Dr, Mentor, OH 44060

Zoning: I-2 Light Industrial District

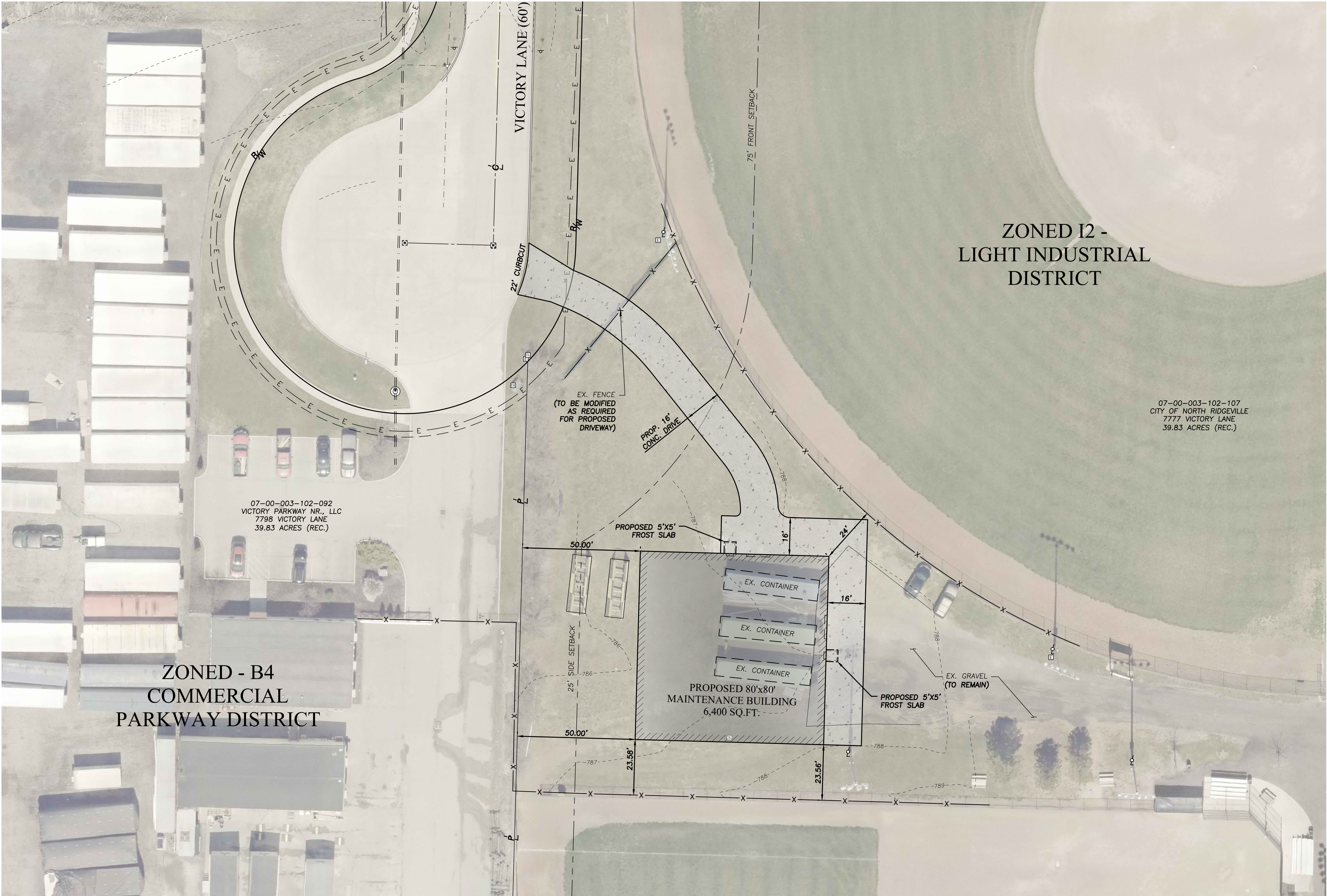
In Attendance: Mayor Kevin Corcoran
Guy Fursdon, Chief Building Official
Kim Lieber, Planning and Economic Development Director
Christina Eavenson, City Engineer
Tina Wieber, Deputy Clerk of Council
Vic Stewart, Bramhall Engineering
Kevin Kramer, Osborn Engineering
Joe Borkey, Joe Boo Entertainment, LLC
Jason Mould, EMD Studio

Project Introduction

- Jason stated that they were proposing a 6,400 square foot storage building with two overhead adjustable man doors that were 10 by 10 in order to store equipment and supplies used to maintain the grounds, eliminating the use of many of the containers currently on site. He stated that there wouldn't be any delivery trucks going to it. He discussed that the building would have no insulation or heat and that it would be cold storage and no high-pile storage.
- Jason stated that the roof and trim would be blue and everything else would be white similar to the other building. He submitted color samples to be included in the Planning Commission packet.

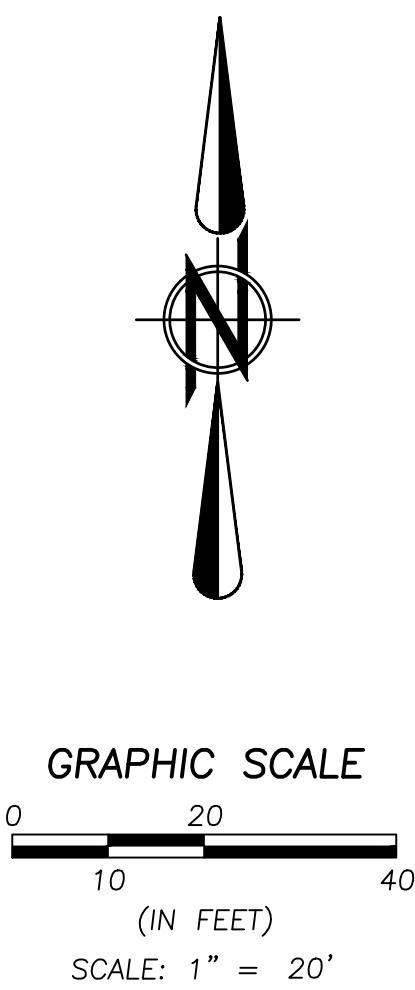
Staff Comments

- Guy asked if there would be a fire hydrant within 300 feet of the RVs. Kevin stated that they would reach out to the Fire Department and address that.



DATUM:
OHIO STATE PLANE COORDINATE SYSTEM
NORTH ZONE (3401)
HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD 88

SURVEY NOTE:
A BOUNDARY SURVEY PURSUANT TO CHAPTER 4733-37 OF THE OHIO ADMINISTRATIVE CODE HAS NOT BEEN PERFORMED BY BRAMHALL ENGINEERING & SURVEYING COMPANY. THIS PLAN IS BASED UPON AVAILABLE COUNTY INFORMATION.



- REFERENCES**
- LORAIN COUNTY TAX MAP RECORDS.
 - LORAIN COUNTY DEED RECORDS FOR SUBJECT, ADJACENT, & ADJOINING PARCELS.
 - VICTORY LANE IMPROVEMENT PLANS PREPARED BY KROCK ESSER ENGINEERING, INC. DATED 02-20-2009.
 - OHIO SPORTS PARK IMPROVEMENT PLANS PREPARED BY B. L. ROBINSON ENGINEERING & SURVEYING DATED 03-17-2009.
 - VICTORY LANE DEDICATION PLAT PREPARED BY HOWARD R. SEELE & ASSOCIATES, INC. DATED 05-04-2009.
 - EASEMENT EXHIBIT FOR VICTORY SPORTS PARK PREPARED BY MCSTEEN LAND SURVEYORS DATED 02-14-2022.
 - LOT SPLIT SURVEY FOR 7777 VICTORY LANE PREPARED BY MCSTEEN LAND SURVEYORS DATED 04-25-2022.

J:\22546C Maintenance Building\DRAWINGS\SITE PLAN.dwg, Plotted: Mar 17, 2023 - 9:45am

REVISION	DATE	BY	DESCRIPTION
	03-16-2023	APA	ISSUE TO CLIENT AND CITY FOR REVIEW

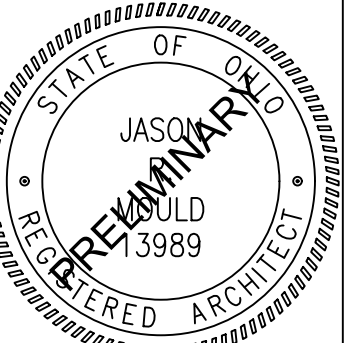
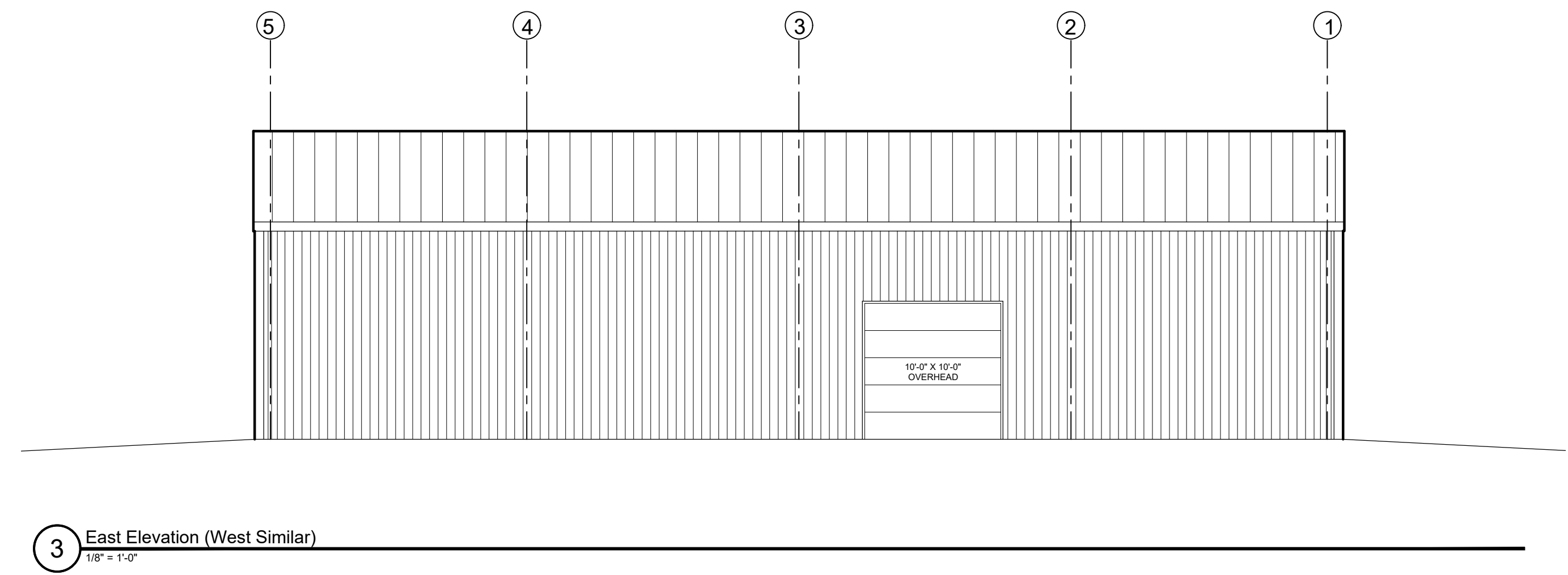
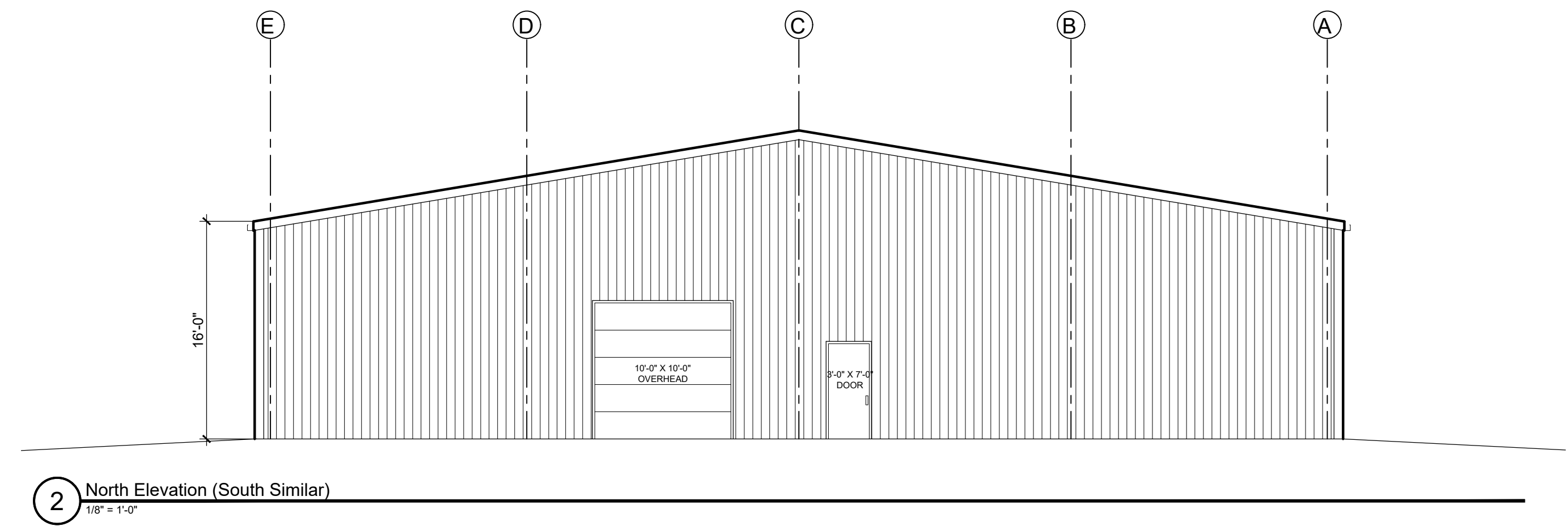
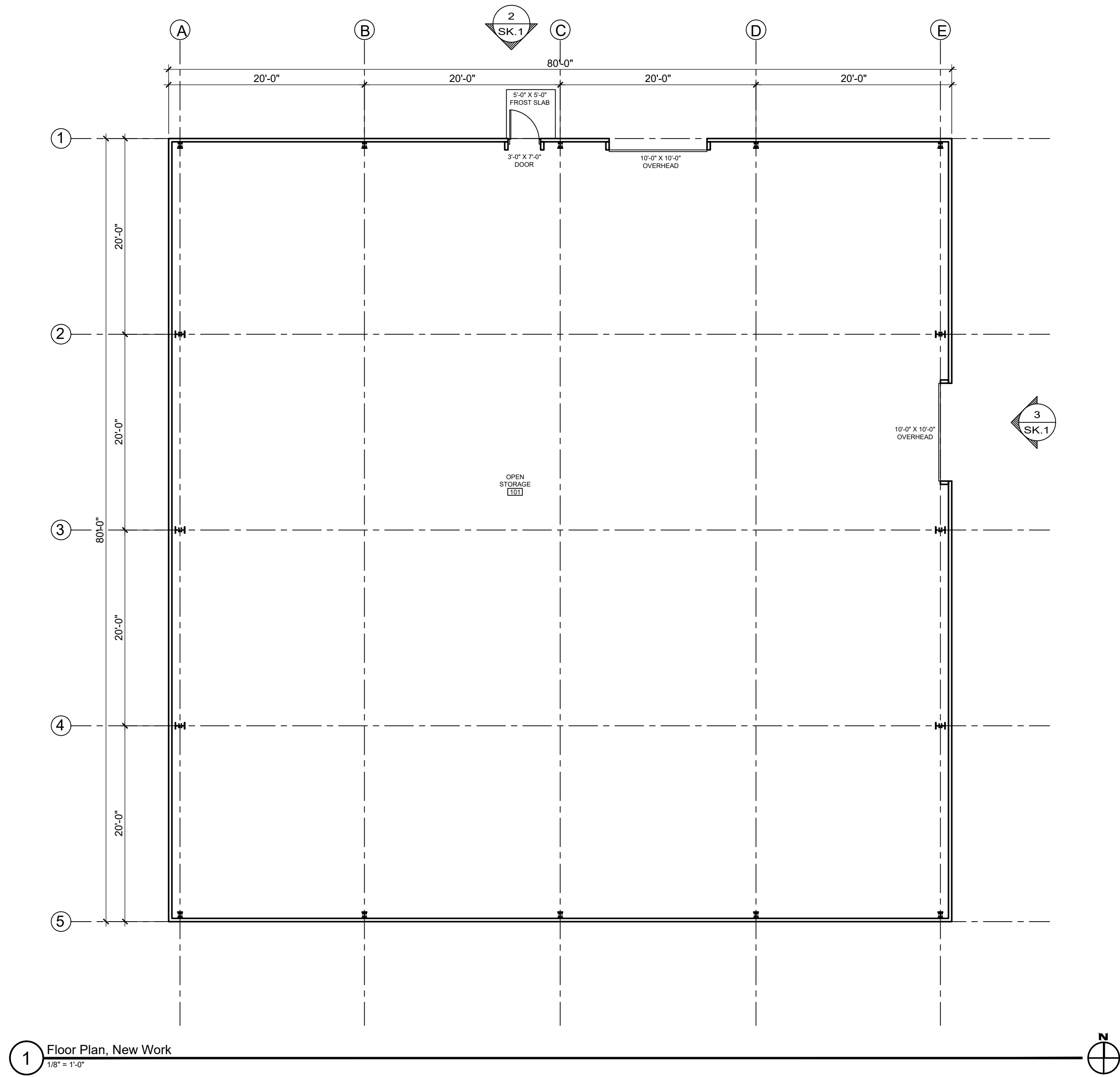
DRAWN BY:
JLT

CHECKED BY:
APA

BRAMHALL
ENGINEERING AND SURVEYING COMPANY
801 MOORE ROAD AVON, OHIO 44011
(440) 934 - 7878 (440) 934 - 7879 FAX

**VICTORY SPORTS PARK IMPROVEMENTS
MAINTENANCE BUILDING - SITE PLAN**
CITY OF NORTH RIDGEVILLE, COUNTY OF LORAIN,
STATE OF OHIO

SHEET
1 OF 1
JOB NO.
22-5846C



Jason R. Mould
License #13989
Exp. Date 12/31/2023

FLOOR PLAN / ELEVATION New Storage Building for Victory Sports Park 7777 Victory Lane North Ridgeville, Ohio 44039	Date:	Project No: 22305
	Planning 03.16.23	© 2023 Emd Studio, Inc.
		Sheet No:
		SK.1

Color Selection Guide featuring Kynar®



02 - SLATE BLUE



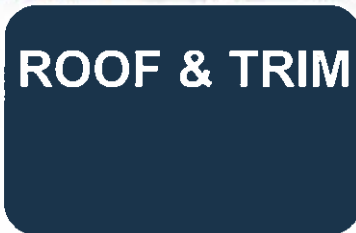
***03 - ARCTIC WHITE**



04 - CHARCOAL GRAY



11 - CHOCOLATE BROWN



12 - HARBOR BLUE



***13 - LIGHT STONE**

When you choose "R", "A", 24 or 26 gauge panels for commercial or industrial buildings, you can choose from a selection of twelve great high-quality Kynar colors. All trim is also available in the same colors at no extra charge. No matter which color you choose, your panels come with a 30-year limited warranty.

***Cool Colors:**

"Cool Color" wall and roof panels are manufactured with reflective Kynar 70% paint. Durable Kynar on our panels provides reflectance and emissivity to meet ENERGY STAR® requirements, which can provide the benefits of lower energy costs, increased roof life expectancies, superior roof color choices, the comfort of 30-year limited warranty, and a cooler, cleaner, "Greener" environment for all of us.

*Low Slope Cool Roof (less than 2:12): Arctic White

*High Slope Cool Roof (greater than 2:12): Arctic White, Parchment, Buckskin Tan, Antique Red, Ash Gray, Light Stone